

8-A-5
425 Marginal Way
Map and Text Amendment
U-Haul

#2015-090



Commercial Real Estate
Due Diligence Management
3485 South Arlington Rd Sulle E#183
Akron, OH 44312
866.290.8121
www.amnational.net

ALTA/ACSM Land Title Survey

Marginal Way, ME

Surveyor Certification

425 Marginal Way
Portland, ME
County of Cumberland

To: Amerco Real Estate Company, a Nevada corporation; Five SAC Self-Storage Corporation, a Nevada corporation; U-Haul Co. of Maine; First American Title Insurance Company; and American National, LLC. This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 5, 6b, 7a, 7b1, 7c, 8, 9, 11b, 13, 16, 17, 18 of Table A thereof. The field work was completed on 07-01-13.

Name of Surveyor: Bruce W. Martinson

Land Surveyor Number: 2137
In State of: Maine
Date of Plat or Map: 07-24-13
Date of last revision: 09-17-14
Date of this Printing: 09-17-14

Network reference #20130363-1

Survey Prepared By:
Stitelines, P.A.
8 Cumberland Street
Brunswick, ME 4011
1743.12



Bruce W. Martinson

Legal Description

THE LAND REFERRED TO IN THIS COMMITMENT IS DESCRIBED AS FOLLOWS:
REAL PROPERTY IN THE CITY/TOWN OF PORTLAND, COUNTY OF CUMBERLAND, STATE OF MAINE, DESCRIBED AS FOLLOWS:

PARCEL ONE:

A CERTAIN LOT OR PARCEL OF LAND, SITUATED IN THE CITY OF PORTLAND, COUNTY OF CUMBERLAND AND STATE OF MAINE, BOUNDED AND DESCRIBED AS FOLLOWS:

BEGINNING ON THE EASTERLY SIDE LINE OF MARGINAL WAY AT THE POINT OF CURVE OF THE FIRST CURVE IN MARGINAL WAY NORTHERLY OF PLOWMAN STREET; THENCE SOUTHERLY ALONG THE EASTERLY SIDE LINE OF MARGINAL WAY, A DISTANCE OF SEVENTY-SIX AND SEVEN TENTHS (76.7) FEET TO ANOTHER POINT OF CURVE, BEING THE JUNCTION OF THE EASTERLY SIDE LINE OF MARGINAL WAY WITH THE NORTHERLY SIDE LINE OF PLOWMAN STREET; THENCE SOUTHERLY AND EASTERLY, ALONG A CURVE IN THE NORTHERLY SIDE LINE OF PLOWMAN STREET, A DISTANCE OF SEVENTY-SIX AND NINETY-SEVEN ONE-HUNDREDTHS (76.87) FEET, MEASURED ON THE ARC, TO THE POINT OF TANGENT OF THE AFOREMENTIONED CURVE; THENCE EASTERLY ALONG THE NORTHERLY SIDE LINE OF PLOWMAN STREET, A DISTANCE OF ONE HUNDRED THIRTY (130) FEET, MORE OR LESS, TO THE WESTERLY SIDE LINE OF LAND OF THE PORTLAND TERMINAL COMPANY, HEREINAFTER CALLED "RAILROAD LOCATION"; THENCE NORTHERLY ALONG THE WESTERLY SIDE LINE OF SAID RAILROAD LOCATION, A DISTANCE OF SEVENTY-THREE (73) FEET, MORE OR LESS, TO A POINT OF CURVE IN THE WESTERLY SIDE LINE OF SAID RAILROAD LOCATION; THENCE NORTHERLY ALONG THE WESTERLY SIDE LINE OF SAID RAILROAD LOCATION, FOLLOWING A CURVE THEREON, A DISTANCE OF ONE HUNDRED FIFTY-SEVEN AND EIGHT ONE-HUNDREDTHS (157.08) FEET, MORE OR LESS, TO THE POINT OF TANGENT OF THE AFOREMENTIONED CURVE; THENCE NORTHERLY ALONG THE WESTERLY SIDE LINE OF SAID RAILROAD LOCATION, A DISTANCE OF TWO HUNDRED NINETEEN AND NINETY-THREE ONE-HUNDREDTHS (219.93) FEET, MORE OR LESS, TO THE EASTERLY SIDE LINE OF LAND OF THE STATE OF MAINE; THENCE SOUTHWESTERLY, MAKING AN INCLUDED ANGLE OF 25° 30' THROUGH THE SOUTH WITH THE SOUTHERLY DIRECTION OF THE LAST DESCRIBED COURSE AND ON THE LINE OF LAND OF THE STATE OF MAINE, A DISTANCE OF SEVENTY AND FOUR TENTHS (70.4) FEET TO A GRANITE MONUMENT; THENCE SOUTHWESTERLY, MAKING A DEFLECTION ANGLE OF 23° 08' TO THE RIGHT AND ALONG THE LINE OF LAND OF THE STATE OF MAINE, A DISTANCE OF FORTY-SIX AND NINE TENTHS (46.9) FEET TO A POINT; THENCE WESTERLY, MAKING A DEFLECTION ANGLE OF 23° 51' TO THE RIGHT, A DISTANCE OF SIXTY-ONE AND THIRTY-EIGHT ONE-HUNDREDTHS (61.38) FEET TO THE EASTERLY SIDE LINE OF MARGINAL WAY; THENCE SOUTHERLY ALONG THE EASTERLY SIDE LINE OF MARGINAL WAY, A DISTANCE OF ONE HUNDRED SIXTY-TWO AND ELEVEN ONE HUNDREDTHS (162.11) FEET TO THE POINT OF BEGINNING.

PARCEL TWO:

ALSO ANOTHER PARCEL OF LAND, BOUNDED AND DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT IN A CURVE ON THE NORTHERLY SIDE LINE OF PLOWMAN STREET, DISTANT TWENTY-EIGHT AND SEVENTY-FIVE ONE-HUNDREDTHS (28.75) FEET, MORE OR LESS, FROM THE POINT OF CURVE OF SAID CURVE IN THE NORTHERLY SIDE LINE OF PLOWMAN STREET NEAREST ITS JUNCTION WITH THE WESTERLY SIDE LINE OF ANDERSON STREET; THENCE EASTERLY ALONG THE CURVE IN SAID NORTHERLY SIDE LINE OF PLOWMAN STREET TO THE WESTERLY SIDE LINE OF ANDERSON STREET; THENCE ALONG THE WESTERLY SIDE LINE OF ANDERSON STREET TO LAND OF THE STATE OF MAINE; THENCE WESTERLY BY LAND OF THE STATE OF MAINE TO A GRANITE MONUMENT; THENCE WESTERLY FROM SAID MONUMENT AND ON THE SAME COURSE TO THE EASTERLY SIDE LINE OF LAND OF THE STATE OF MAINE; THENCE SOUTHERLY BY LAND OF THE PORTLAND TERMINAL COMPANY TO THE NORTHERLY SIDE LINE OF PLOWMAN STREET AT THE POINT OF BEGINNING, EXCEPTING FROM THE ABOVE DESCRIBED PREMISES SUCH PORTION THEREOF AS WAS CONVEYED BY THE MAINE AUTOMOBILE ASSOCIATION TO THE STATE OF MAINE BY DEED DATED NOVEMBER 28, 1973, AND RECORDED IN SAID REGISTRY IN BOOK 3488, PAGE 278.

THE ABOVE DESCRIBED PARCEL IS THE SAME PARCEL AS DESCRIBED IN FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NUMBER: NCS-617804-A1L, BEARING AN EFFECTIVE DATE OF JULY 08, 2013 AT 4:30 P.M.

Legend of Symbols & Abbreviations

● OR ■	IRON PIPE OR MONUMENT
○	5/8" REBAR W/ CAP TO BE SET
△	BENCH MARK (SEE NOTES)
▽	TRAVERSE STATION
□	CATCH BASIN
⊙	SEWER MANHOLE
⊕	FIRE HYDRANT
⊖	WATER GATE VALVE
⊗	WATER SHUT-OFF
⊘	DRAINAGE MANHOLE
⊙	WELL
○	UTILITY POLE
○	LIGHT POLE
▨	PAVEMENT PAINT MARKINGS
---	RIGHT IF WAY
---	PROPERTY LINE
---	EASEMENTS
---	SETBACK/BUFFER
---	CULVERT
---	CURB
---	EDGE OF PAVEMENT
---	BUILDING
---	STORM DRAIN(SEE PLAN FOR SIZE)
---	SEWER LINE(SEE PLAN FOR SIZE)
---	SEWER FORCE MAIN(SEE PLAN FOR SIZE)
---	WATER LINE(SEE PLAN FOR SIZE)
---	NATURAL GAS LINE(SEE PLAN FOR SIZE)
---	UTILITIES LINE(SEE PLAN FOR SIZE)
---	SPOT ELEVATION
---	CONTOURS
---	TREE LINE
---	TREE 6"+

General Notes

- (GN1) ACCESS TO THE PROPERTY VIA PUBLIC RIGHT OF WAYS OF EAST COMMERCIAL STREET AND PLOWMAN STREET
- (GN2) THERE ARE 37 REGULAR PARKING SPACES AND 1 HANDICAP SPACE FOR A TOTAL OF 38 PARKING SPACES ON THE SUBJECT PROPERTY.
- (GN3) CITY PARCEL NUMBER: 008 A005
- (GN4) ON DATE OF FIELD SURVEY THERE WAS NO OBSERVABLE EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS WITHIN RECENT MONTHS.
- (GN5) ON DATE OF THE FIELD SURVEY THERE WAS NOT OBSERVABLE EVIDENCE OF SITE USE AS A SOLD WASTE DUMP, SUMP OR SANITARY LANDFILL.
- (GN6) TBM IS NAIL SET IN POLE CMP#1. ELEVATIONS PER PLAN REFERENCE #4.

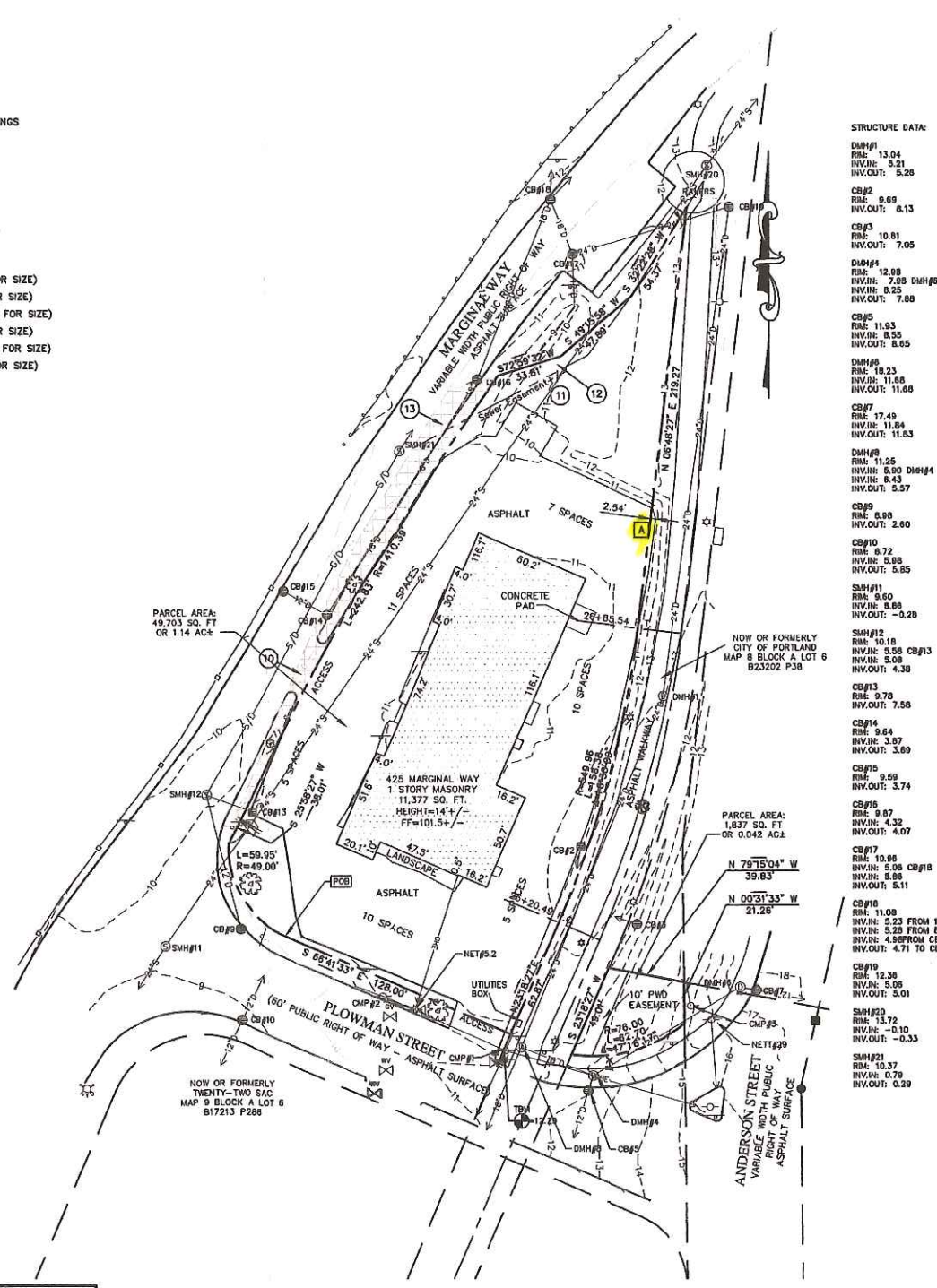
Plan References

- 1) "STANDARD BOUNDARY SURVEY, LAND IN PORTLAND, MAINE - ANDERSON ST., PLOWMAN STREET, & MARGINAL WAY, MADE FOR PORTLAND TERMINAL COMPANY BY WILLIAM I. MCKENZIE," DATED MAY 4, 2001, PREPARED BY STEPHEN J. MARTIN, PLS.
- 2) "MAINE STATE HIGHWAY COMMISSION RIGHT OF WAY MAP, STATE HIGHWAY 295, PORTLAND, CUMBER, LAND COUNTY, FED. AID PROJECT 1-295-3(30)," DATED DEC. 1967, SHEET 69 OF 73, S.H.C. FILE NO. 3-185, RECORDED AT THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN PLAN BOOK 112, 71.
- 3) "MAINE STATE HIGHWAY COMMISSION RIGHT OF WAY MAP, PORTLAND, STATE HIGHWAY 295, TURKEYS BRIDGE, FED. AID PROJECT 1-295-3(4)," DATED JAN. 1958, SHEETS 1-4 OF 8, S.H.C. FILE NO. 3-122, RECORDED AT SAID REGISTRY IN PLAN BOOKS 64, PAGES 44-50.
- 4) "WASHINGTON AVENUE SIDE PATH - ANDERSON ST. RAMP & PLOWMAN ST., EXISTING SITE CONDITIONS" DATED MAY 16, 2012, BY CITY OF PORTLAND, MAINE PUBLIC SERVICES DEPARTMENT, ENGINEERING DIVISION, PLAN NUMBER 881/38.

FLOOD NOTE: By graphic plotting only, this property is in Zone(s) 2300051 of the Flood Insurance Rate Map, Community Panel No. 12/08/98 and is not in a Special Flood Hazard Area.

Encroachment Statement

A THE SUBJECT PROPERTY PAVEMENT PROJECTS ONTO ADJOINING PROPERTY OF 2.54 FEET



STRUCTURE DATA:
DMH#1
R&E: 13.04
IN/VE: 5.21
INV. OUT: 5.25

CB#2
R&E: 9.69
INV. OUT: 8.13

CB#3
R&E: 10.81
INV. OUT: 7.05

DMH#4
R&E: 12.88
IN/VE: 7.28 DMH#6
INV. OUT: 8.25

CB#5
R&E: 11.03
INV. OUT: 8.55

DMH#8
R&E: 10.23
INV. OUT: 11.68

CB#9
R&E: 17.49
INV. OUT: 11.84

DMH#8
R&E: 11.25
IN/VE: 6.90 DMH#4
INV. OUT: 8.43

CB#9
R&E: 8.88
INV. OUT: 2.60

CB#10
R&E: 8.72
INV. OUT: 5.85

DMH#11
R&E: 9.60
INV. OUT: -0.28

DMH#12
R&E: 16.18
IN/VE: 5.58 CB#13
INV. OUT: 4.38

CB#13
R&E: 9.78
INV. OUT: 7.58

CB#14
R&E: 9.64
INV. OUT: 3.89

CB#15
R&E: 9.59
INV. OUT: 3.74

CB#16
R&E: 9.87
INV. OUT: 4.32

CB#17
R&E: 10.86
IN/VE: 5.98 CB#18
INV. OUT: 5.11

CB#18
R&E: 11.08
INV. OUT: 4.71 to CB#17

CB#19
R&E: 12.38
INV. OUT: 5.06

DMH#20
R&E: 13.72
INV. OUT: -0.33

DMH#21
R&E: 10.37
INV. OUT: 0.29

Utility Notes

- (UN1) THE LOCATION OF UTILITIES SHOWN HEREON ARE FROM OBSERVED EVIDENCE OF ABOVE GROUND APPURTENANCES ONLY. THE SURVEYOR WAS NOT PROVIDED WITH UNDERGROUND PLANS OF SURFACE GROUND MARKINGS TO DETERMINE THE LOCATION OF ANY SUBTERRANEAN USES.
- (UN2) FROM OBSERVED ABOVE GROUND APPURTENANCES ONLY AS SHOWN HEREON, ELECTRIC, STORM SEWER, SANITARY SEWER, TELEPHONE, AND WATERLINES AND/OR SERVICES IS AVAILABLE FOR SUBJECT PROPERTY WITHIN PUBLIC RIGHT OF WAY OF EAST COMMERCIAL STREET AND/OR PLOWMAN STREET.
- (UN3) SUBSURFACE UTILITY INFORMATION ZONE IS BASED ON INFORMATION FROM MULTIPLE SOURCES. CONNECTIONS BETWEEN SEWER AND DRAINAGE STRUCTURES IS INTERPRETED FROM THE AVAILABLE INFORMATION. WHILE EVERY EFFORT HAS BEEN MADE TO DEPICT THE UTILITY INFORMATION ACCURATELY, STITELINES PA MAKE NO WARRANTY AS TO THE ACCURACY OF THE UTILITY INFORMATION SHOWN.

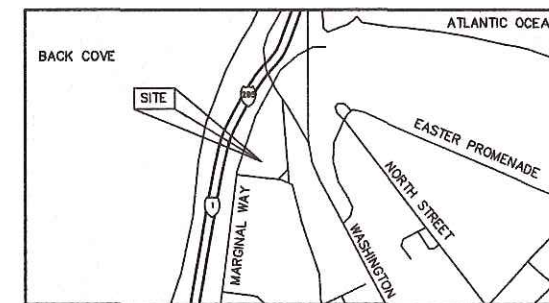
Notes Corresponding to Schedule B

- (10) LAYOUT AND NOTICE OF TAKING AGAINST INDUSTRIES, INC. ET AL, DATED APRIL 30, 1958 AND RECORDED IN CUMBERLAND COUNTY REGISTRY OF DEEDS IN BOOK 2407, PAGE 418, AS DEPICTED ON RIGHT OF WAY MAP, STATE HIGHWAY "295", TURKEYS BRIDGE, PORTLAND, FEDERAL AID PROJECT 1-295-3(4), DATED JANUARY 1958, SHEETS 1 AND 3, AS AFFECTED BY A RECEIPT AND CONFIRMATION OF TAKING DATED OCTOBER 10, 1961, AND RECORDED IN SAID REGISTRY IN BOOK 2836, PAGE 351. [SAME NOTE AS 13]
- (11) SEWER EASEMENTS DESCRIBED IN A DEED FROM INDUSTRIES, INC. TO MAINE AUTOMOBILE ASSOCIATION DATED AUGUST 2, 1962, AND RECORDED IN SAID REGISTRY IN BOOK 2693, PAGE 288. [AFFECTS LOCUS, PLOTTED]
- (12) RIGHTS AND EASEMENTS FROM MAINE AUTOMOBILE ASSOCIATION TO PORTLAND WATER DISTRICT AS SET FORTH IN AN INSTRUMENT DATED OCTOBER 11, 1962, AND RECORDED IN SAID REGISTRY IN BOOK 2710, PAGE 492. [AFFECTS LOCUS, PLOTTED]
- (13) SUCH STATE OF FACTS AS SHOWN ON A RIGHT OF WAY MAP, STATE HIGHWAY "95", PORTLAND, FEDERAL AID PROJECT NO. 1-295-3 (30), DATED DECEMBER 1967, SHEET 69, INCLUDING WITHOUT LIMITATIONS, CONTROLLED ACCESS LIMITS SHOWN ON SAID PLAN. [PLAN SHOWS CURRENT RIGHT OF WAY LOCATION, AFFECTS LOCUS, PLOTTED]
- (14) TO THE EXTENT THE LEASE IS STILL IN EFFECT, TERMS AND CONDITIONS OF A LEASE FROM AAA NORTHERN NEW ENGLAND TO 425 MARGINAL WAY ASSOCIATES, LLC, A MEMORANDUM OF WHICH IS DATED OCTOBER 1, 2002, RECORDED IN SAID REGISTRY IN BOOK 18168, PAGE 330. [NON-SURVEY]
- (15) TO THE EXTENT THE LEASE IS STILL IN EFFECT, TERMS AND CONDITIONS OF A LEASE FROM 425 MARGINAL WAY ASSOCIATES, LLC TO EVERETT ENTERPRISES, A MEMORANDUM OF WHICH IS DATED SEPTEMBER 27, 2002, AND RECORDED IN SAID REGISTRY IN BOOK 18169, PAGE 335, AS AFFECTED BY A SUBORDINATION, NON-DISTURBANCE, ATTORNMEN AND ESTOPPEL AGREEMENT WITH BANKNORTH, N.A. DATED FEBRUARY 7, 2003, AND RECORDED IN SAID REGISTRY IN BOOK 19387, PAGE 70. [NON-SURVEY]
- (16) LEASEHOLD MORTGAGE AND SECURITY AGREEMENT FROM 425 MARGINAL WAY ASSOCIATES, LLC TO BANKNORTH, N.A., IN THE PRINCIPAL AMOUNT OF \$250,000.00, DATED FEBRUARY 7, 2003, AND RECORDED IN SAID REGISTRY IN BOOK 18843, PAGE 37. [NON-SURVEY]
- (17) COLLATERAL ASSIGNMENT OF LEASES AND RENTS FROM 425 MARGINAL WAY ASSOCIATES, LLC TO BANKNORTH, N.A., DATED FEBRUARY 7, 2003, AND RECORDED IN SAID REGISTRY IN BOOK 18843, PAGE 58. [NON-SURVEY]
- (18) TO THE EXTENT THE LEASE IS STILL IN EFFECT, TERMS AND CONDITIONS OF A LEASE DATED SEPTEMBER 18, 2002 FROM 425 MARGINAL WAY ASSOCIATES, LLC TO PIERRE'S SCHOOL OF COSMETOLOGY AS REFERENCED IN AND AFFECTED BY A SUBORDINATION, NON-DISTURBANCE, ATTORNMEN AND ESTOPPEL AGREEMENT WITH BANKNORTH, N.A. DATED FEBRUARY 5, 2003, AND RECORDED IN SAID REGISTRY IN BOOK 19387, PAGE 64. [NON-SURVEY]
- (19) TO THE EXTENT THE LEASE IS STILL IN EFFECT, TERMS AND CONDITIONS OF A LEASE DATED OCTOBER 21, 2002 FROM 425 MARGINAL WAY ASSOCIATES, LLC TO PORTLAND QUEST CENTER AS REFERENCED IN AND AFFECTED BY A SUBORDINATION, NON-DISTURBANCE, ATTORNMEN AND ESTOPPEL AGREEMENT WITH BANKNORTH, N.A. DATED JUNE 10, 2003, AND RECORDED IN SAID REGISTRY IN BOOK 20051, PAGE 89. [NON-SURVEY]

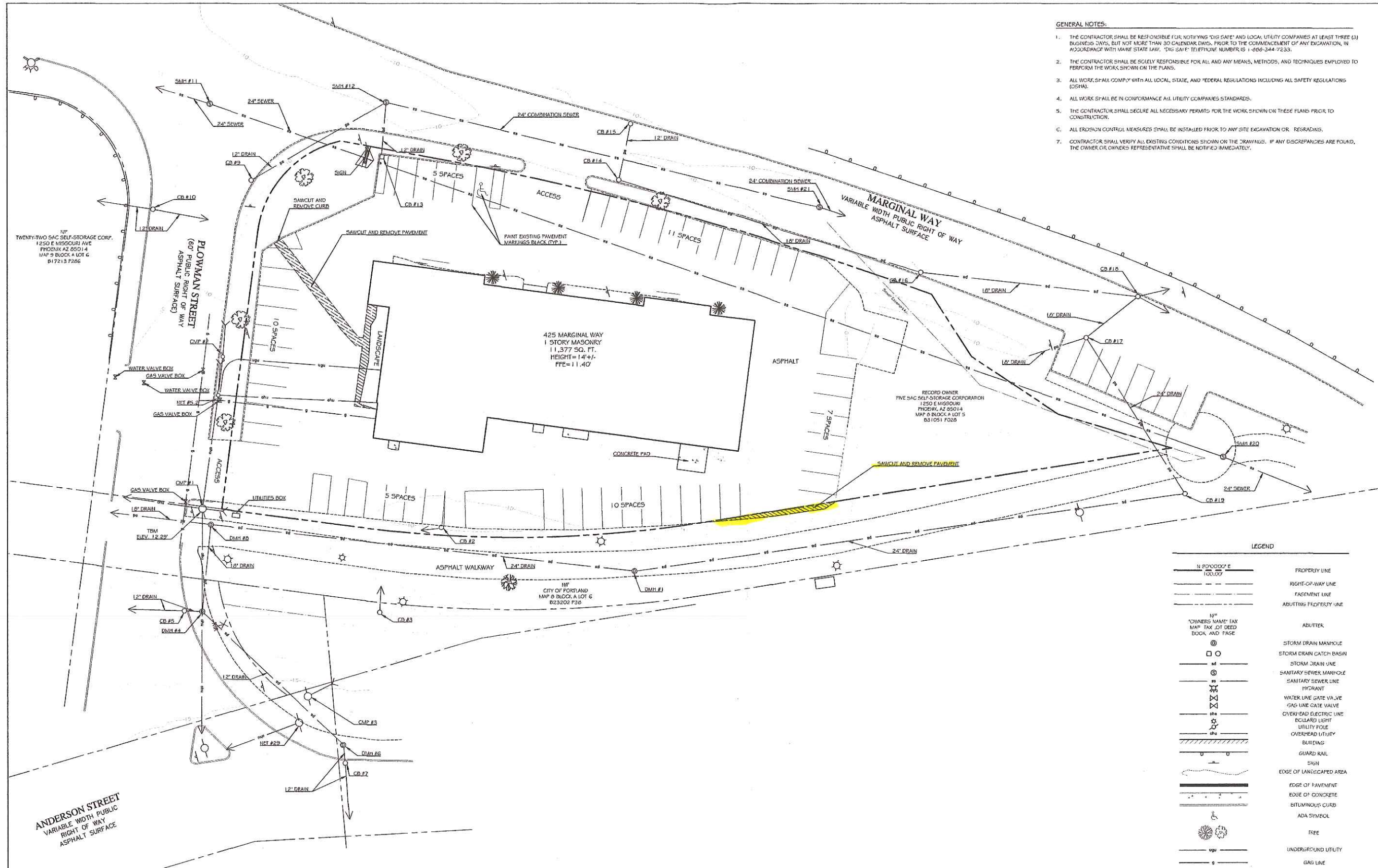
Zoning Information

ZONING CLASSIFICATION: B5 - URBAN COMMERCIAL MIXED USE ZONE
PERMITTED USE: YES
MINIMUM LOT SIZE: NONE
MINIMUM LOT FRONTAGE: NONE
MINIMUM YARD SETBACKS: FRONT=NONE, SIDE=NONE, REAR=NONE
MAXIMUM STREET SETBACK: 10 FT
MAXIMUM LOT COVERAGE: 100%
MAXIMUM BUILDING HEIGHT: 65 FT
MINIMUM BUILDING HEIGHT: SHALL NOT BE LESS THAN THREE (3) FLOORS
PARKING RATIO: 1 SPACE PER EVERY 400 SF OF FLOOR AREA
SOURCE: PORTLAND CODE OF ORDINANCES
NOTE: AS OF JULY 30TH 2013 SURVEYOR HAS NOT BEEN PROVIDED WITH ZONING INFORMATION BY CLIENT.

Vicinity Map

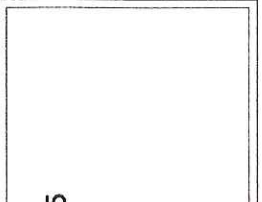
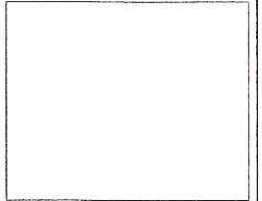
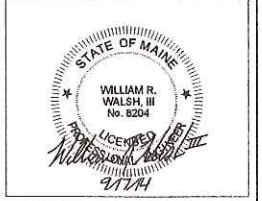


SCALE: 1" = 40'
0' 20' 40' 80'



- GENERAL NOTES:**
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING "DIG SAFE" AND LOCAL UTILITY COMPANIES AT LEAST THREE (3) BUSINESS DAYS, BUT NOT MORE THAN 30 CALENDAR DAYS, PRIOR TO THE COMMENCEMENT OF ANY EXCAVATION, IN ACCORDANCE WITH MAINE STATE LAW. "DIG SAFE" TELEPHONE NUMBER IS 1-855-344-7235.
 2. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL AND ANY MEANS, METHODS, AND TECHNIQUES EMPLOYED TO PERFORM THE WORK SHOWN ON THE PLANS.
 3. ALL WORK SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS INCLUDING ALL SAFETY REGULATIONS (OSHA).
 4. ALL WORK SHALL BE IN CONFORMANCE ALL UTILITY COMPANIES STANDARDS.
 5. THE CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS FOR THE WORK SHOWN ON THESE PLANS PRIOR TO CONSTRUCTION.
 6. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY SITE EXCAVATION OR REGRADING.
 7. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS SHOWN ON THE DRAWINGS. IF ANY DISCREPANCIES ARE FOUND, THE OWNER OR OWNER'S REPRESENTATIVE SHALL BE NOTIFIED IMMEDIATELY.

WALSH
ENGINEERING ASSOCIATES, INC.
One Karen Dr., Suite 2A | Westbrook, Maine 04092
ph: 207.553.9888 | www.walsh-eng.com
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U-Haul Moving & Storage at Rte 295
425 Marginal Way
Portland, Maine 04101
Uhaul Co. of New Hampshire & Maine
515 South Willow Street
Manchester, NH 03103

LEGEND

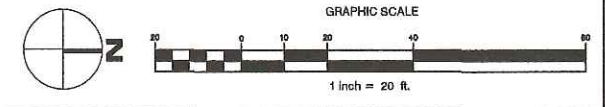
	PROPERTY LINE
	RIGHT-OF-WAY LINE
	FACEMENT LINE
	ABUTTING PROPERTY LINE
	ABUTTER
	STORM DRAIN MANHOLE
	STORM DRAIN CATCH BASIN
	STORM DRAIN LINE
	SANITARY SEWER MANHOLE
	SANITARY SEWER LINE
	HYDRANT
	WATER LINE GATE VALVE
	GAS LINE GATE VALVE
	OVERHEAD ELECTRIC LINE
	ECLAIR LIGHT
	UTILITY POLE
	OVERHEAD UTILITY
	BUILDING
	GUARD RAIL
	SIGN
	EDGE OF LANDSCAPED AREA
	EDGE OF PAVEMENT
	EDGE OF CONCRETE
	BITUMINOUS CURB
	ADA SYMBOL
	TREE
	UNDERGROUND UTILITY
	GAS LINE
	REMOVAL AREA

ZONING INFORMATION

	REQUIRED	EXISTING
LOT SIZE	NO MINIMUM	1.208 ACRES
FRENTAGE	NO MINIMUM	470 FEET
SETBACKS		
FRONT	NO MINIMUM	36.65 FEET
SIDE	NO MINIMUM	54.43 FEET
REAR	NO MINIMUM	25.74 FEET
MAX. LOT COVERAGE (BUILDING)	100%	22.9%

- PARCEL INFORMATION**
1. OWNER OF RECORD: FIVE SAC SELF-STORAGE CORPORATION, 1250 E MISSOURI, PHOENIX, AZ 85014
 2. STREET ADDRESS: 425 MARGINAL WAY, PORTLAND, MAINE
 3. PARCEL SHOWN HEREON IS CITY OF PORTLAND, MAINE TAX MAP #, LOT 3.
 4. TOTAL AREA OF PARCEL: 1.143 ACRES
 5. SITE BENCHMARK: NAIL ON U/I CMP#11 AT ELEVATION OF 12.29'

- PLAN REFERENCES**
1. TOPOGRAPHIC AND PROPERTY BOUNDARY INFORMATION TAKEN FROM A COMPILED OF THE FOLLOWING:
 - 1.1. A PLAN TITLED "ALTAIRCOM LAND TITLE SURVEY FOR 425 MARGINAL WAY, PORTLAND, MAINE", PREPARED BY SITEUNES, P.A., OF 6 CLAMBERLAND STREET, BRUNSWICK, MAINE, DATED AUGUST 1ST, 2014.
 - 1.2. SITE OBSERVATIONS BY WALSH ENGINEERING ASSOCIATES ON AUGUST 29TH, 2014.
 - 1.3. INFORMATION PROVIDED BY THE CITY OF PORTLAND ENGINEERING DEPARTMENT.

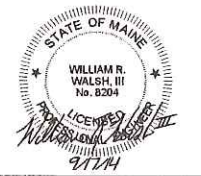


Rev.	Date	Description	Drawn	Check
1	9/17/14	Submitted for Level 1 Bid Plan Application	SWC	WRW

Sheet Title:
Existing Conditions and Removals Plan

Job No.: 264 Sheet No.:
Date: SEP, 17, 2014
Scale: 1" = 20'
Drawn: SWC
Checked: WRW

C1.0



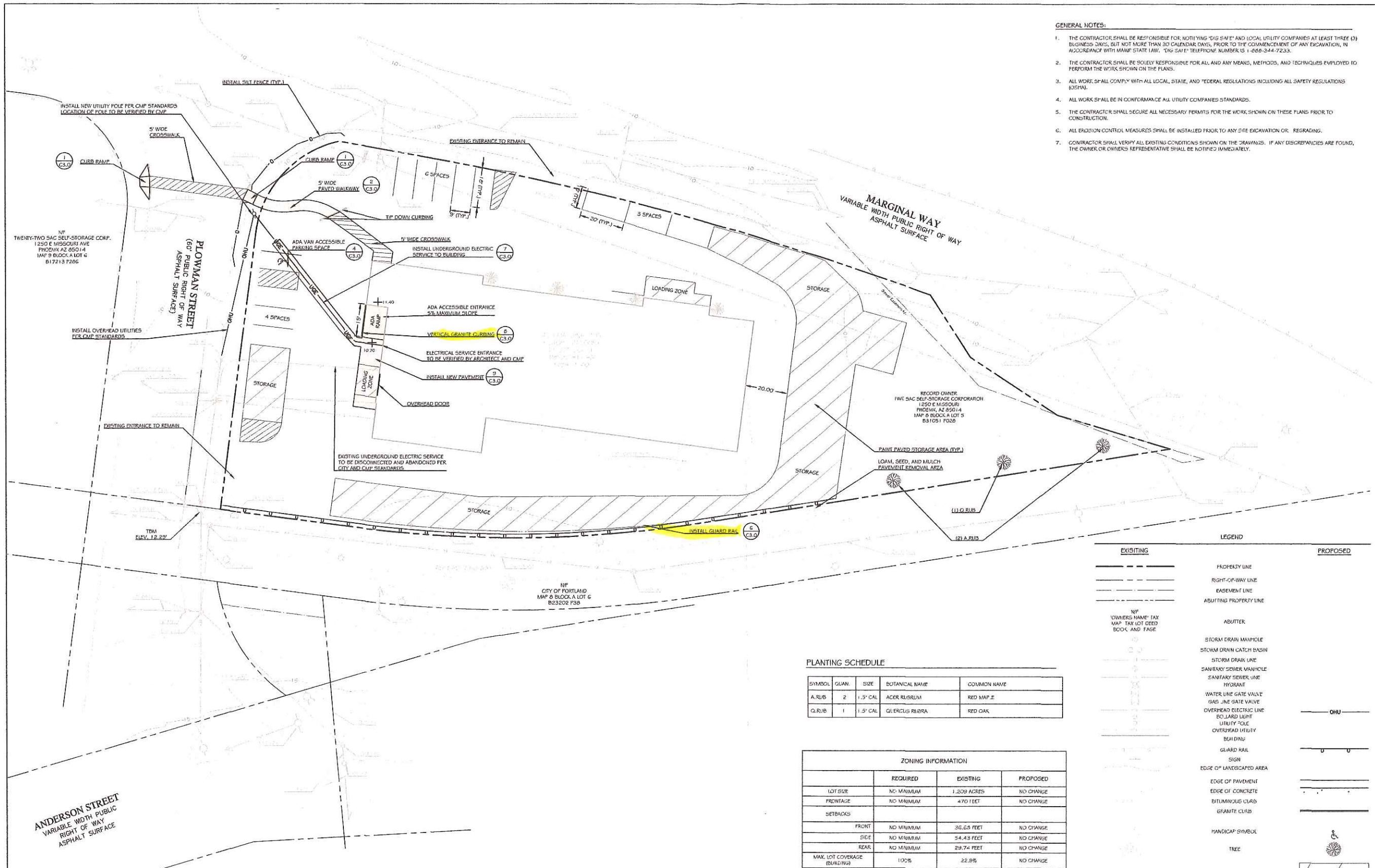
U-Haul Moving & Storage at Rte 295

425 Marginal Way
Portland, Maine 04101

Uhaul Co. of New Hampshire & Maine
515 South Willow Street
Manchester, NH 03103

GENERAL NOTES:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING "DIG SAFE" AND LOCAL UTILITY COMPANIES AT LEAST THREE (3) BUSINESS DAYS, BUT NOT MORE THAN 30 CALENDAR DAYS, PRIOR TO THE COMMENCEMENT OF ANY EXCAVATION, IN ACCORDANCE WITH MAINE STATE LAW. "DIG SAFE" TELEPHONE NUMBER IS 1-888-344-7233.
2. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL ANY MEANS, METHODS, AND TECHNIQUES EMPLOYED TO PERFORM THE WORK SHOWN ON THE PLANS.
3. ALL WORK SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS INCLUDING ALL SAFETY REGULATIONS (OSHA).
4. ALL WORK SHALL BE IN CONFORMANCE ALL UTILITY COMPANIES STANDARDS.
5. THE CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS FOR THE WORK SHOWN ON THESE PLANS PRIOR TO CONSTRUCTION.
6. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY SITE EXCAVATION OR REGRADING.
7. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS SHOWN ON THE DRAWINGS. IF ANY DISCREPANCIES ARE FOUND, THE OWNER OR OWNER'S REPRESENTATIVE SHALL BE NOTIFIED IMMEDIATELY.



EXISTING	LEGEND	PROPOSED
---	PROPERTY LINE	---
---	RIGHT-OF-WAY LINE	---
---	EASEMENT LINE	---
---	ADJUTING PROPERTY LINE	---
---	ADJUTER	---
---	STORM DRAIN MANHOLE	---
---	STORM DRAIN CATCH BASIN	---
---	STORM DRAIN LINE	---
---	SANITARY SEWER MANHOLE	---
---	SANITARY SEWER LINE	---
---	HYDRANT	---
---	WATER LINE GATE VALVE	---
---	GAS LINE GATE VALVE	---
---	OVERHEAD ELECTRIC LINE	---
---	UNDERGROUND LIGHT	---
---	UTILITY POLE	---
---	OVERHEAD UTILITY	---
---	STORM DRAIN	---
---	GUARD RAIL	---
---	SIGN	---
---	EDGE OF LANDSCAPED AREA	---
---	EDGE OF PAVEMENT	---
---	EDGE OF CONCRETE	---
---	BUTYLOUS CURB	---
---	GRANITE CURB	---
---	HANDICAP SYMBOL	---
---	TREE	---
---	STORAGE AREA	---
---	UNDERGROUND UTILITY	---
---	GAS LINE	---
---	SILT FENCE	---
---	UTILITY POLE	---

PLANTING SCHEDULE

SYMBOL	QUAN.	SIZE	BOTANICAL NAME	COMMON NAME
A.RUB	2	1.5" CAL	ACER RUBRUM	RED MAPLE
G.RUB	1	1.5" CAL	QUERCUS RUBRA	RED OAK

ZONING INFORMATION

	REQUIRED	EXISTING	PROPOSED
LOT SIZE	NO MINIMUM	1,209 ACRES	NO CHANGE
FRONTAGE	NO MINIMUM	470 FEET	NO CHANGE
SETBACKS			
FRONT	NO MINIMUM	36.65 FEET	NO CHANGE
SIDE	NO MINIMUM	54.43 FEET	NO CHANGE
REAR	NO MINIMUM	29.74 FEET	NO CHANGE
MAX. LOT COVERAGE (BUILDING)	100%	22.8%	NO CHANGE

PARKING REQUIREMENTS

APPROXIMATELY 2,500 SQUARE FEET OF THE BUILDING WILL BE USED AS RETAIL SPACE AND THE REMAINING 9,000 SQUARE FEET WILL BE USED FOR STORAGE. AS SUCH, THE PARKING REQUIREMENTS ARE SUBJECT TO SECTIONS 14-332(b) AND (f) OF THE CITY ORDINANCE.

(2,500 SF - 2,000 SF) (1 SPACE/200 SF) = 3 SPACES
 (9,000 SF) (1 SPACE/1,000 SF) = 9 SPACES
 TOTAL REQUIRED: 12 SPACES

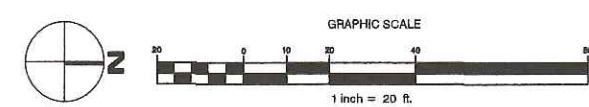
TOTAL PROVIDED: 13 SPACES

PLAN REFERENCES

1. TOPOGRAPHIC AND PROPERTY BOUNDARY INFORMATION TAKEN FROM A COMPILED SET OF THE FOLLOWING:
 - 1.1. A PLAN TITLED "ALTAGRISM LAND FILE SURVEY FOR 425 MARGINAL WAY, PORTLAND, MAINE", PREPARED BY SUTELINES, P.A., 67 CUMBERLAND STREET, BRUNSWICK, MAINE, DATED AUGUST 15TH, 2014.
 - 1.2. SITE OBSERVATIONS BY WALSH ENGINEERING ASSOCIATES ON AUGUST 29TH, 2014.
 - 1.3. INFORMATION PROVIDED BY THE CITY OF PORTLAND ENGINEERING DEPARTMENT.

PARCEL INFORMATION

1. OWNER OF RECORD: FIVE SAC SELF-STORAGE CORPORATION, 1250 E MISSOURI, PHOENIX, AZ 85014
2. STREET ADDRESS: 425 MARGINAL WAY, PORTLAND, MAINE
3. PARCEL SHOWN HEREON IS CITY OF PORTLAND, MAINE TAX MAP 8, LOT 5.
4. TOTAL AREA OF PARCEL: 1.143 ACRES
5. SITE BENCHMARK: NAIL ON U.P. C/MPI AT ELEVATION OF 12.22'

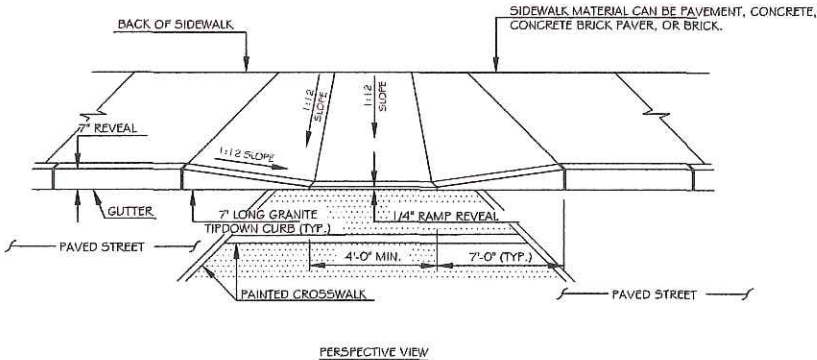
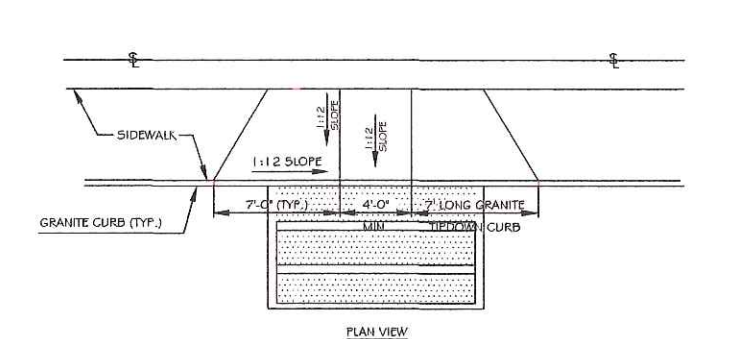


Rev.	Date	Description	Drawn	Check
1	8/17/14	Submitted for Permit Site Plan Application	SWC	WRW

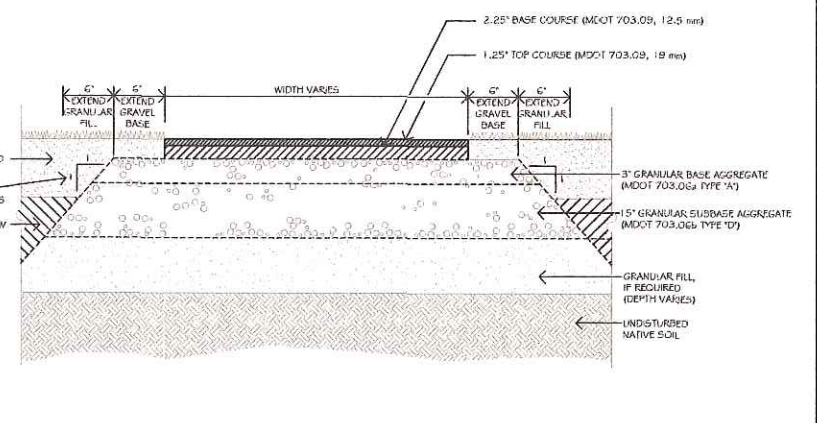
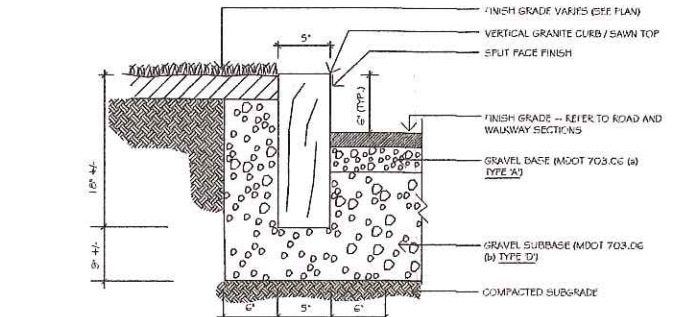
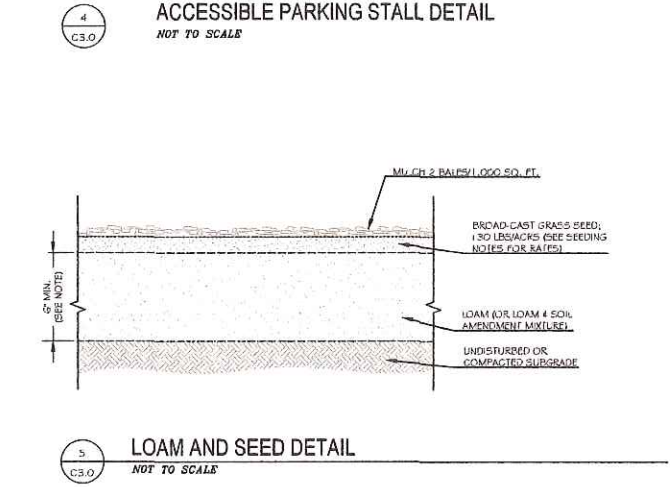
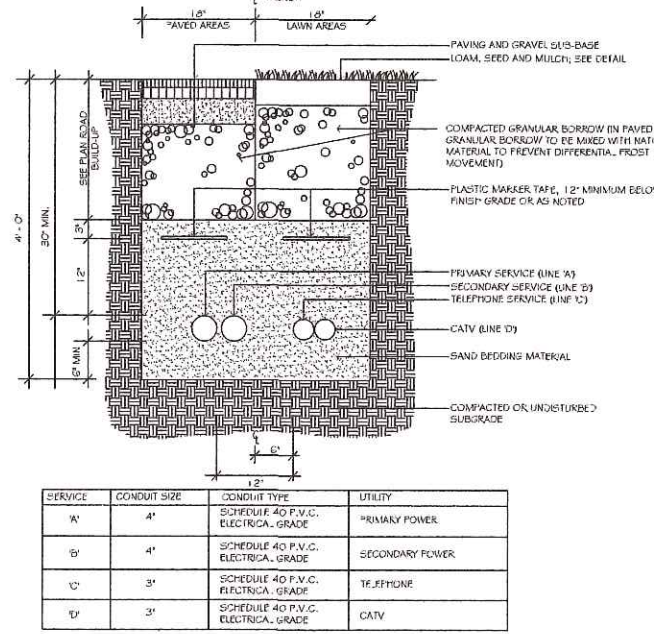
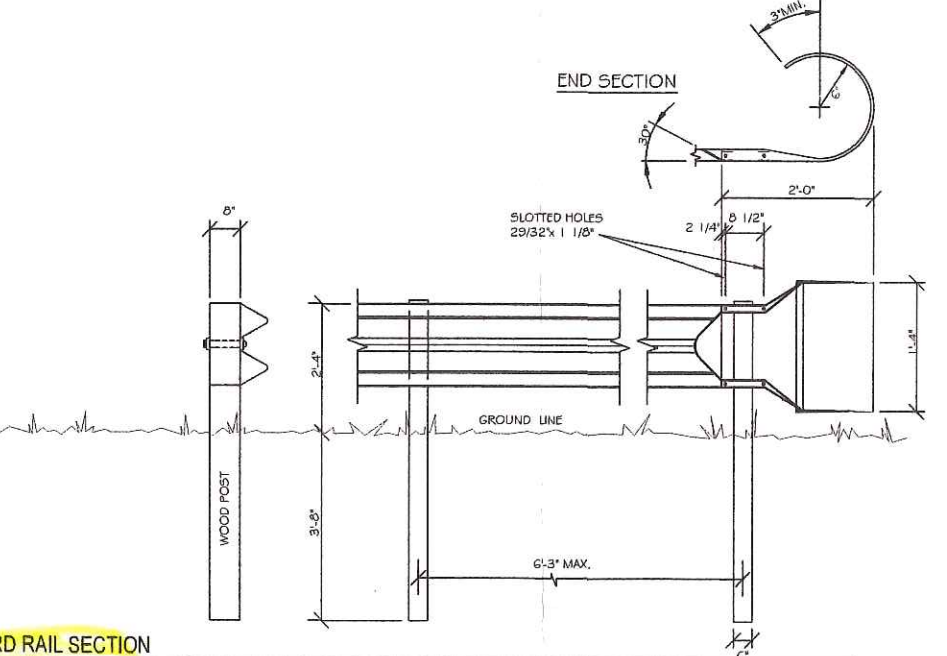
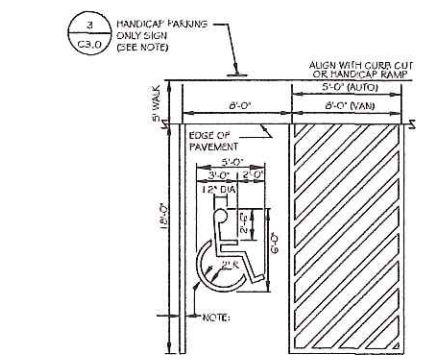
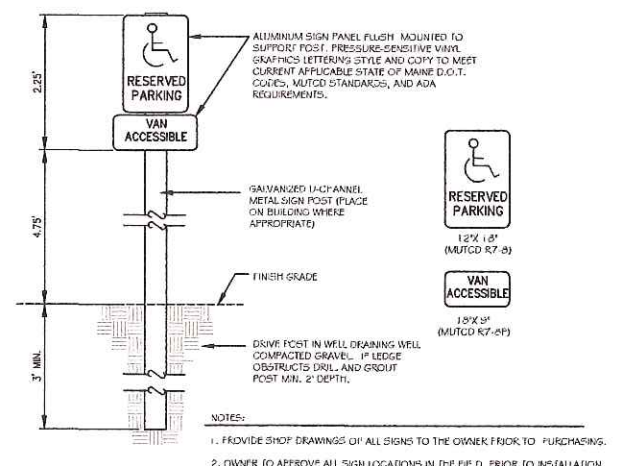
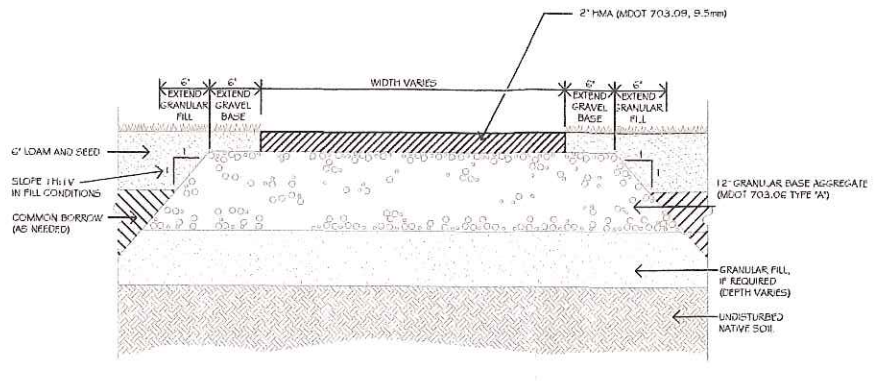
Sheet Title:
Site Layout and Materials Plan

Job No.: 284
Date: SEP. 17, 2014
Scale: 1" = 20'
Drawn: SWC
Checked: WRW

Sheet No.: **C2.0**



1 TYPICAL SIDEWALK - PEDESTRIAN RAMP AT CROSSWALK
C3.0 NOT TO SCALE



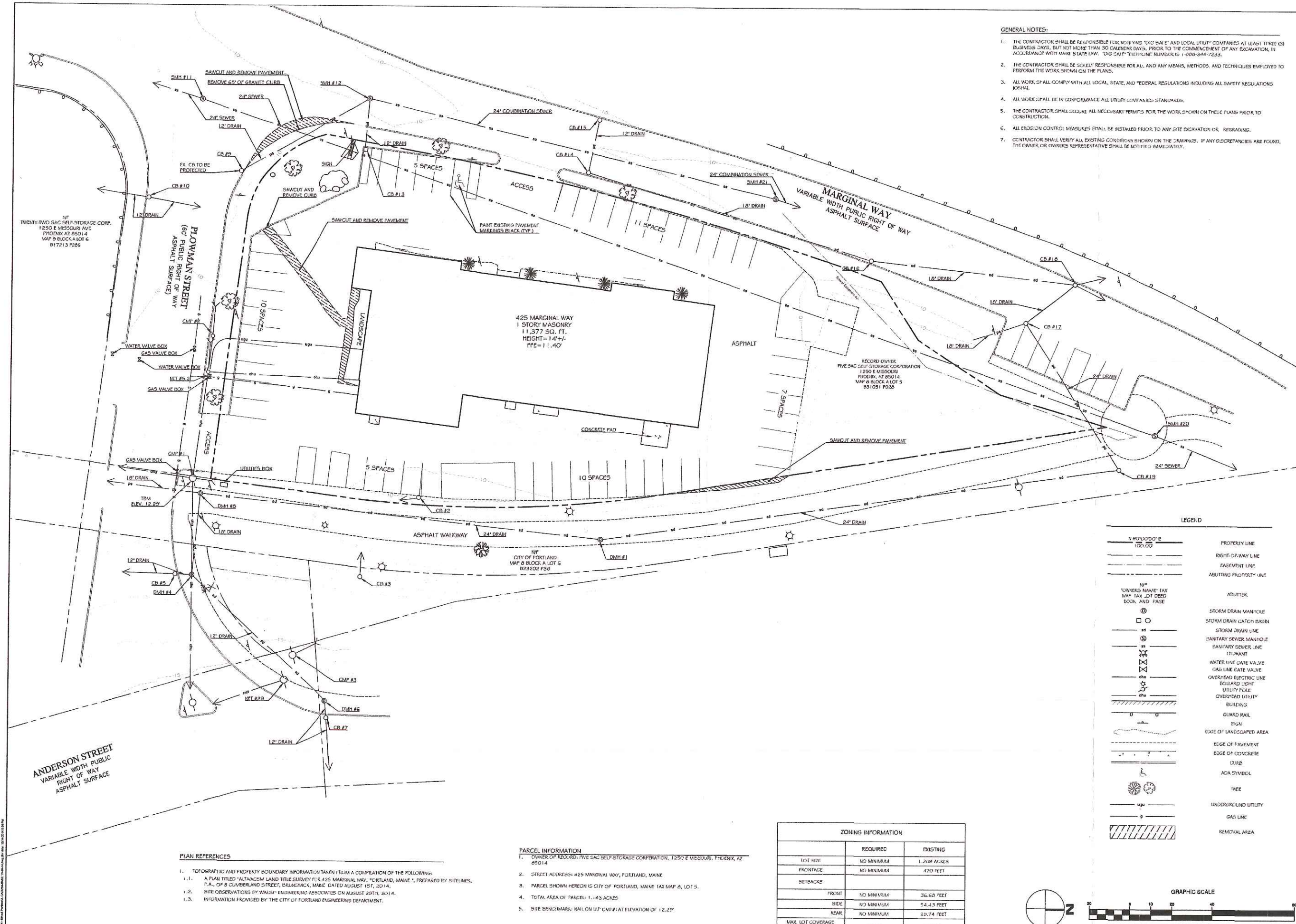
U-Haul Moving & Storage at Rte 295
425 Marginal Way
Portland, Maine 04101
Uhaul Co. of New Hampshire & Maine
515 South Willow Street
Manchester, NH 03103

Rev.	Date	Description	Drawn	Check
1	9/17/14	Submitted for Uhaul Site Plan Application	SWC	WRW

Sheet Title: Details

Job No.: 284
Date: SEP. 17, 2014
Scale: AS NOTED
Drawn: SWC
Checked: WRW

Sheet No.: C3.0

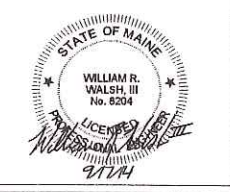


- GENERAL NOTES:**
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING "DIG SALES" AND LOCAL UTILITY COMPANIES AT LEAST THREE (3) BUSINESS DAYS, BUT NOT MORE THAN 30 CALENDAR DAYS, PRIOR TO THE COMMENCEMENT OF ANY EXCAVATION, IN ACCORDANCE WITH MAINE STATE LAW. "DIG SALES" TELEPHONE NUMBER IS 1-888-344-7233.
 2. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL AND ANY MEANS, METHODS, AND TECHNIQUES EMPLOYED TO PERFORM THE WORK SHOWN ON THE PLANS.
 3. ALL WORK SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS INCLUDING ALL SAFETY REGULATIONS (OSHA).
 4. ALL WORK SHALL BE IN CONFORMANCE ALL UTILITY COMPANIES STANDARDS.
 5. THE CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS FOR THE WORK SHOWN ON THESE PLANS PRIOR TO CONSTRUCTION.
 6. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY SITE EXCAVATION OR REGRADING.
 7. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS SHOWN ON THE DRAWINGS. IF ANY DISCREPANCIES ARE FOUND, THE OWNER OR OWNERS REPRESENTATIVE SHALL BE NOTIFIED IMMEDIATELY.

WALSH
ENGINEERING ASSOCIATES, INC.

One Karen Dr., Suite 2A | Westbrook, Maine 04092
ph: 207.553.8898 | www.walsh-eng.com

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U-Haul Moving & Storage at Rte 295

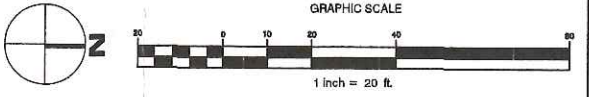
425 Marginal Way
Portland, Maine 04101
Uhaul Co. of New Hampshire & Maine
616 South Willow Street
Manchester, NH 03103

LEGEND

--- (dashed line)	PROPERTY LINE
--- (dashed line)	RIGHT-OF-WAY LINE
--- (dashed line)	EASEMENT LINE
--- (dashed line)	ADJUTING PROPERTY LINE
--- (dashed line)	ABUTTER
⊙	STORM DRAIN MANHOLE
⊙	STORM DRAIN CATCH BASIN
—	STORM DRAIN LINE
⊙	SANITARY SEWER MANHOLE
—	SANITARY SEWER LINE
—	FYORANT
⊙	WATER LINE GATE VALVE
⊙	GAS LINE GATE VALVE
—	OVERHEAD ELECTRIC LINE
⊙	BOLLARD LIGHT
⊙	UTILITY POLE
⊙	OVERHEAD UTILITY
—	BUILDING
—	GUARD RAIL
—	SIGN
—	EDGE OF LANDSCAPED AREA
—	EDGE OF PAVEMENT
—	EDGE OF CONCRETE
—	CURB
—	ADA SYMBO
—	TREE
—	UNDERGROUND UTILITY
—	GAS LINE
—	REMOVAL AREA

ZONING INFORMATION

	REQUIRED	EXISTING
LOT SIZE	NO MINIMUM	1.208 ACRES
FRONTAGE	NO MINIMUM	470 FEET
SETBACKS		
FRONT	NO MINIMUM	36.65 FEET
SIDE	NO MINIMUM	54.43 FEET
REAR	NO MINIMUM	29.74 FEET
MAX. LOT COVERAGE (BUILDING)	100%	22.9%



- PLAN REFERENCES**
1. TOPOGRAPHIC AND PROPERTY BOUNDARY INFORMATION TAKEN FROM A COMPILATION OF THE FOLLOWING:
 - 1.1. A PLAN TITLED "ALTAZCSM LAND TITLE SURVEY FOR 425 MARGINAL WAY, PORTLAND, MAINE", PREPARED BY SITELINES, P.A., OF 9 CUMBERLAND STREET, BOWDOEN, MAINE, DATED AUGUST 15TH, 2014.
 - 1.2. SITE OBSERVATIONS BY WALSH ENGINEERING ASSOCIATES ON AUGUST 29TH, 2014.
 - 1.3. INFORMATION PROVIDED BY THE CITY OF PORTLAND ENGINEERING DEPARTMENT.

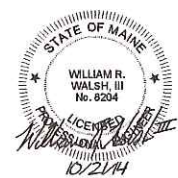
- PARCEL INFORMATION**
1. OWNER OF RECORD: FIVE SAC SELF-STORAGE CORPORATION, 1250 E MISSOURI, FRENCH, AZ 05014
 2. STREET ADDRESS: 425 MARGINAL WAY, PORTLAND, MAINE
 3. PARCEL SHOWN HEREON IS CITY OF PORTLAND, MAINE (TAX MAP 6, LOT 5).
 4. TOTAL AREA OF PARCEL: 1.43 ACRES
 5. SITE IDENTIFICATION: NAIL ON U.P. CMP #1 AT ELEVATION OF 12.28'

Rev.	Date	Description	Drawn	Check
1	8/17/14	Submitted for Level II Site Plan Application	SWC	WRW
2	10/2/14	Revised per City Staff Review	JHC	WRW

Existing Conditions and Removals Plan

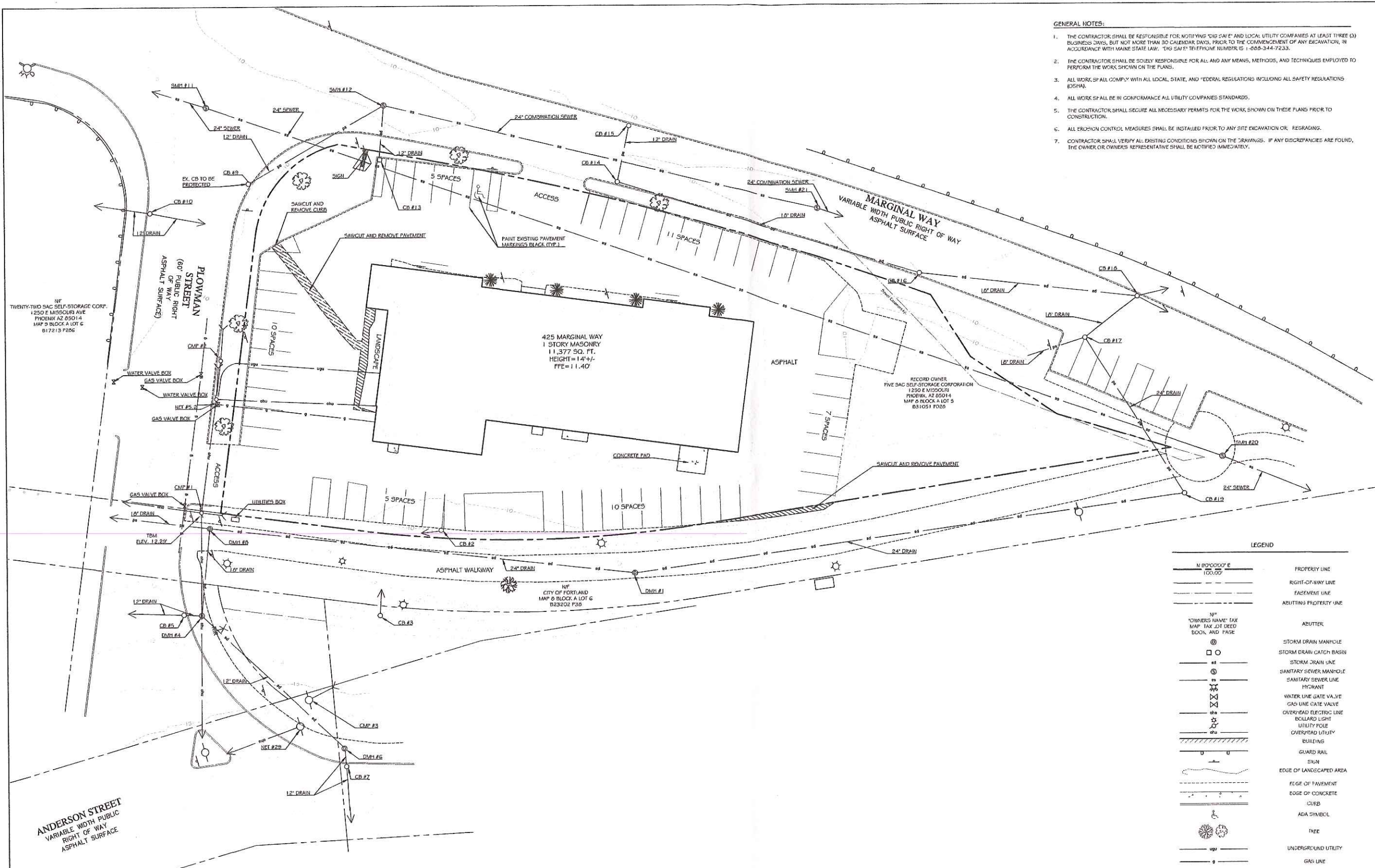
Job No.: 284 Sheet No.:
Date: SEP. 17, 2014
Scale: 1" = 20'
Drawn: SWC
Checked: WRW

C1.0



GENERAL NOTES:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING "DIG SAFE" AND LOCAL UTILITY COMPANIES AT LEAST THREE (3) BUSINESS DAYS, BUT NOT MORE THAN 90 CALENDAR DAYS, PRIOR TO THE COMMENCEMENT OF ANY EXCAVATION, IN ACCORDANCE WITH MAINE STATE LAW. "DIG SAFE" TELEPHONE NUMBER IS 1-888-344-7233.
2. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL AND ANY MEANS, METHODS, AND TECHNIQUES EMPLOYED TO PERFORM THE WORK SHOWN ON THE PLANS.
3. ALL WORK SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS INCLUDING ALL SAFETY REGULATIONS (OSHA).
4. ALL WORK SHALL BE IN CONFORMANCE WITH ALL UTILITY COMPANIES STANDARDS.
5. THE CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS FOR THE WORK SHOWN ON THESE PLANS PRIOR TO CONSTRUCTION.
6. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY SITE EXCAVATION OR REGRADING.
7. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS SHOWN ON THE DRAWINGS. IF ANY DISCREPANCIES ARE FOUND, THE OWNER OR OWNER'S REPRESENTATIVE SHALL BE NOTIFIED IMMEDIATELY.



NET
TWENTY-TWO SAC SELF-STORAGE CORP.
1250 E MISSOURI AVE
PORTLAND, AZ 85014
MAP 8 BLOCK A LOT 5
B317213 P226

425 MARGINAL WAY
1 STORY MASONRY
11,377 SQ. FT.
HEIGHT = 14' +/-
FFE = 11.40'

RECORD OWNER
FIVE SAC SELF-STORAGE CORPORATION
1250 E MISSOURI
PORTLAND, AZ 85014
MAP 8 BLOCK A LOT 5
B31001 P009

NET
CITY OF PORTLAND
MAP 8 BLOCK A LOT G
B23202 P38

LEGEND

- N 80°00'00" E
100.00'
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- FAÇEMENT LINE
- ADJUTING PROPERTY LINE
- ADJUTER
- STORM DRAIN MANHOLE
- STORM DRAIN CATCH BASIN
- STORM DRAIN LINE
- SANITARY SEWER MANHOLE
- SANITARY SEWER LINE
- HYDRANT
- WATER LINE GATE VALVE
- GAS LINE GATE VALVE
- OVERHEAD ELECTRIC LINE
- BOLLARD LIGHT
- UTILITY POLE
- OVERHEAD UTILITY
- BUILDING
- GUARD RAIL
- SIGN
- EDGE OF LANDSCAPED AREA
- EDGE OF PAVEMENT
- EDGE OF CONCRETE
- CURB
- ADA SYMBOL
- TREE
- UNDERGROUND UTILITY
- GAS LINE
- REMOVAL AREA

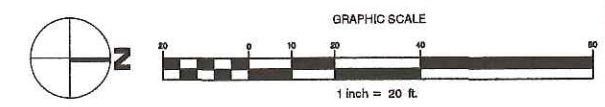
PLAN REFERENCES

1. TOPOGRAPHIC AND PROPERTY BOUNDARY INFORMATION TAKEN FROM A COMPILATION OF THE FOLLOWING:
 - 1.1. A PLAN TITLED "ALTAZCSM LAND TITLE SURVEY FOR 425 MARGINAL WAY, PORTLAND, MAINE", PREPARED BY SITEUNCS, P.A., OF 8 CUMBERLAND STREET, BRUNSWICK, MAINE, DATED AUGUST 15, 2014.
 - 1.2. SITE OBSERVATIONS BY WALSH ENGINEERING ASSOCIATES ON AUGUST 29TH, 2014.
 - 1.3. INFORMATION PROVIDED BY THE CITY OF PORTLAND ENGINEERING DEPARTMENT.

PARCEL INFORMATION

1. OWNER OF RECORD: FIVE SAC SELF-STORAGE CORPORATION, 1250 E MISSOURI, PORTLAND, AZ 85014
2. STREET ADDRESS: 425 MARGINAL WAY, PORTLAND, MAINE
3. PARCEL SHOWN HEREON IS CITY OF PORTLAND, MAINE TAX MAP 8, LOT 5.
4. TOTAL AREA OF PARCEL: 1.148 ACRES
5. SITE BENCHMARK: NAIL ON U.F. CMP#1 AT ELEVATION OF 12.29'

ZONING INFORMATION		
	REQUIRED	EXISTING
LOT SIZE	NO MINIMUM	1.208 ACRES
FRONTAGE	NO MINIMUM	470 FEET
SETBACKS		
FRONT	NO MINIMUM	36.65 FEET
SIDE	NO MINIMUM	54.43 FEET
REAR	NO MINIMUM	29.74 FEET
MAX LOT COVERAGE (BUILDING)	100%	22.9%



U-Haul Moving & Storage at Rte 295

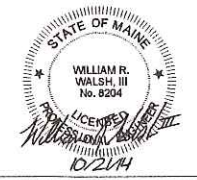
425 Marginal Way
Portland, Maine 04101
Uhaul Co. of New Hampshire & Maine
515 South Willow Street
Manchester, NH 03103

Rev.	Date	Description	Drawn	Check
1	09/17/14	Submitted for Level 1 Site Plan Application	SWC	WRW
2	10/16/14	Revised per City Staff Review	JHC	WRW
3	10/21/14	Revised per City Staff Review	SWC	WRW

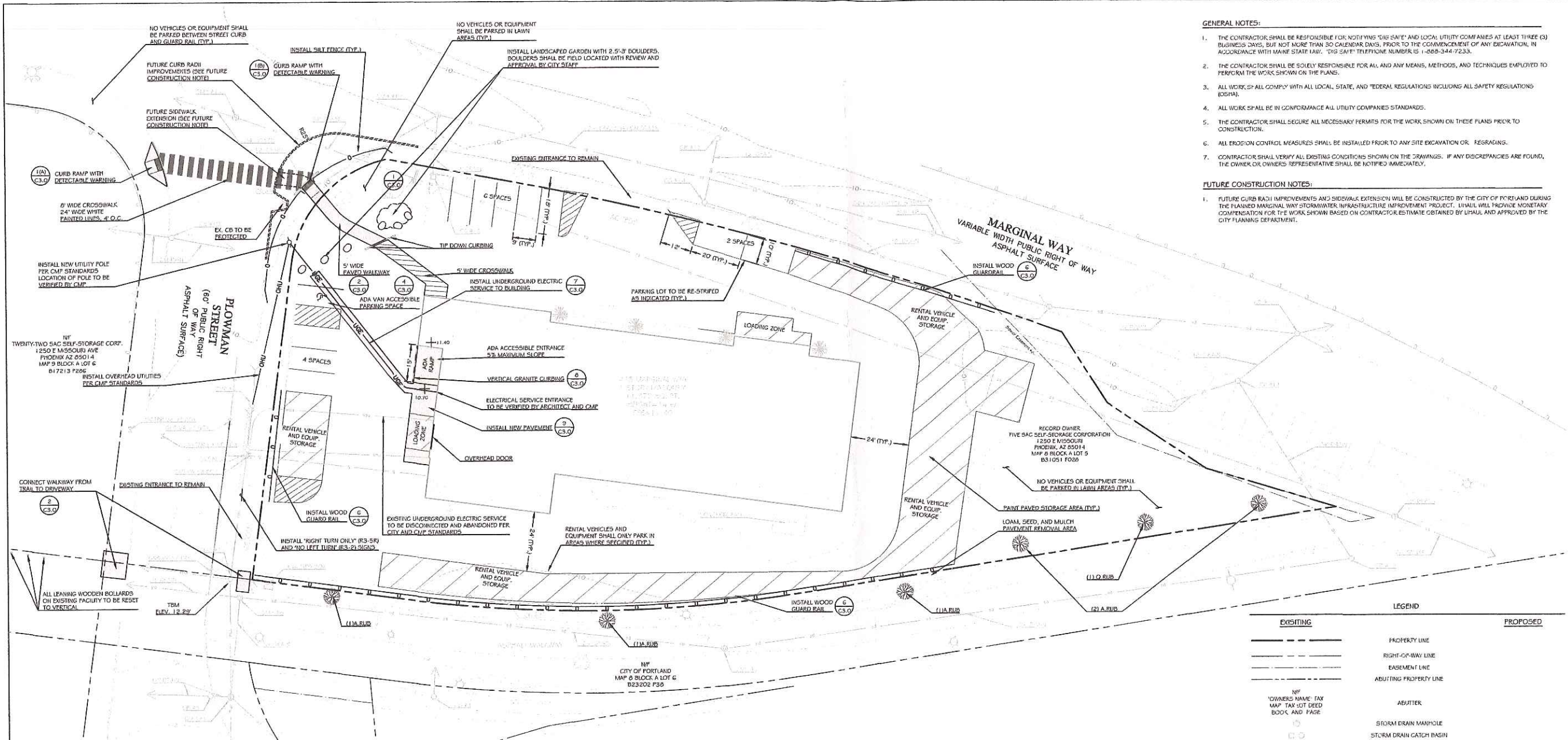
Existing Conditions and Removals Plan

Job No.: 204 Sheet No.:
Date: SEP. 17, 2014
Scale: 1" = 20'
Drawn: SWC
Checked: WRW

C1.0



- GENERAL NOTES:**
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING "DIG SAFE" AND LOCAL UTILITY COMPANIES AT LEAST THREE (3) BUSINESS DAYS, BUT NOT MORE THAN 30 CALENDAR DAYS, PRIOR TO THE COMMENCEMENT OF ANY EXCAVATION, IN ACCORDANCE WITH MAINE STATE LAW. "DIG SAFE" TELEPHONE NUMBER IS 1-888-344-7233.
 - THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL MEANS, METHODS, AND TECHNIQUES EMPLOYED TO PERFORM THE WORK SHOWN ON THE PLANS.
 - ALL WORK SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS INCLUDING ALL SAFETY REGULATIONS (OSHA).
 - ALL WORK SHALL BE IN CONFORMANCE WITH ALL UTILITY COMPANIES STANDARDS.
 - THE CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS FOR THE WORK SHOWN ON THESE PLANS PRIOR TO CONSTRUCTION.
 - ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY SITE EXCAVATION OR REGRADING.
 - CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS SHOWN ON THE DRAWINGS. IF ANY DISCREPANCIES ARE FOUND, THE OWNER OR OWNER'S REPRESENTATIVE SHALL BE NOTIFIED IMMEDIATELY.
- FUTURE CONSTRUCTION NOTES:**
- FUTURE CURB RAMP IMPROVEMENTS AND SIDEWALK EXTENSION WILL BE CONSTRUCTED BY THE CITY OF PORTLAND DURING THE PLANNED MARGINAL WAY STORMWATER INFRASTRUCTURE IMPROVEMENT PROJECT. UHAUL WILL PROVIDE MONETARY COMPENSATION FOR THE WORK SHOWN BASED ON CONTRACTOR ESTIMATE OBTAINED BY UHAUL AND APPROVED BY THE CITY PLANNING DEPARTMENT.



EXISTING	LEGEND	PROPOSED
---	PROPERTY LINE	---
---	RIGHT-OF-WAY LINE	---
---	BASEMENT LINE	---
---	ADJUTING PROPERTY LINE	---
---	ADJUTER	---
---	STORM DRAIN MANHOLE	---
---	STORM DRAIN CATCH BASIN	---
---	STORM DRAIN LINE	---
---	SANITARY SEWER MANHOLE	---
---	SANITARY SEWER LINE	---
---	HYDRANT	---
---	WATER LINE GATE VALVE	---
---	GAS LINE GATE VALVE	---
---	OVERHEAD ELECTRIC LINE	OHU
---	BOARD LIGHT	---
---	UTILITY POLE	---
---	OVERHEAD UTILITY	---
---	BUILDING	---
---	GUARD RAIL	---
---	SIGN	---
---	EDGE OF LANDSCAPED AREA	---
---	EDGE OF PAVEMENT	---
---	EDGE OF CONCRETE	---
---	BITUMINOUS CURB	---
---	GRANITE CURB	---
---	ADA PARKING SYMBOL	---
---	TREE	---
---	STORAGE AREA	---
---	UNDERGROUND UTILITY	UGU
---	GAS LINE	---
---	SILT FENCE	---
---	UTILITY POLE	---
---	BOLLARD	---
---	FUTURE CONSTRUCTION	---

PLANTING SCHEDULE

SYMBOL	QUAN.	SIZE	BOTANICAL NAME	COMMON NAME
A.RUB	5	1.5" CAL.	ACER RUBRUM	RED MAPLE
Q.RUB	1	1.5" CAL.	QUERCUS RUBRA	RED OAK

ZONING INFORMATION

	REQUIRED	EXISTING	PROPOSED
LOT SIZE	NO MINIMUM	1.209 ACRES	NO CHANGE
FRONTAGE	NO MINIMUM	470 FEET	NO CHANGE
SIDEWAYS			
FRONT	NO MINIMUM	36.25 FEET	NO CHANGE
SIDE	NO MINIMUM	54.43 FEET	NO CHANGE
REAR	NO MINIMUM	29.74 FEET	NO CHANGE
MAX. LOT COVERAGE (BUILDING)	100%	22.8%	NO CHANGE

PARKING REQUIREMENTS

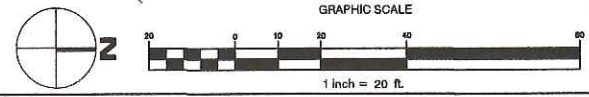
APPROXIMATELY 2,500 SQUARE FEET OF THE BUILDING WILL BE USED AS RETAIL SPACE AND THE REMAINING 9,000 SQUARE FEET WILL BE USED FOR WAREHOUSING. AS SUCH, THE PARKING REQUIREMENTS ARE SUBJECT TO SECTIONS 14-332(N) AND (I) OF THE CITY ORDINANCE.

(2,500 SF - 2,000 SF) (1 SPACE/200 SF) = 3 SPACES
 (9,000 SF) (1 SPACE/1,000 SF) = 9 SPACES
TOTAL REQUIRED: 12 SPACES

TOTAL PROVIDED: 12 SPACES

- PLAN REFERENCES**
- TOPOGRAPHIC AND PROPERTY BOUNDARY INFORMATION TAKEN FROM A COMPILATION OF THE FOLLOWING:
 - A PLAN TITLED "ALTA/C&M LAND TITLE SURVEY FOR 425 MARGINAL WAY, PORTLAND, MAINE", PREPARED BY SITEINES, P.A., OF 8 CUMBERLAND STREET, BRUNSWICK, MAINE, DATED AUGUST 1ST, 2014.
 - SITE OBSERVATIONS BY WALSH ENGINEERING ASSOCIATES ON AUGUST 28TH, 2014.
 - INFORMATION PROVIDED BY THE CITY OF PORTLAND ENGINEERING DEPARTMENT.

- PARCEL INFORMATION**
- OWNER OF RECORD: FIVE SAC SELF-STORAGE CORPORATION, 1250 E MISSOURI, PHOENIX, AZ 05014
 - STREET ADDRESS: 425 MARGINAL WAY, PORTLAND, MAINE
 - PARCEL SHOWN HEREON IS CITY OF PORTLAND, MAINE TAX MAP # 8, LOT 5.
 - TOTAL AREA OF PARCEL: 1.143 ACRES
 - SITE BENCHMARK: NAIL ON U.P. CMP#1 AT ELEVATION OF 12.29'



U-Haul Moving & Storage at Rte 295
425 Marginal Way
Portland, Maine 04101

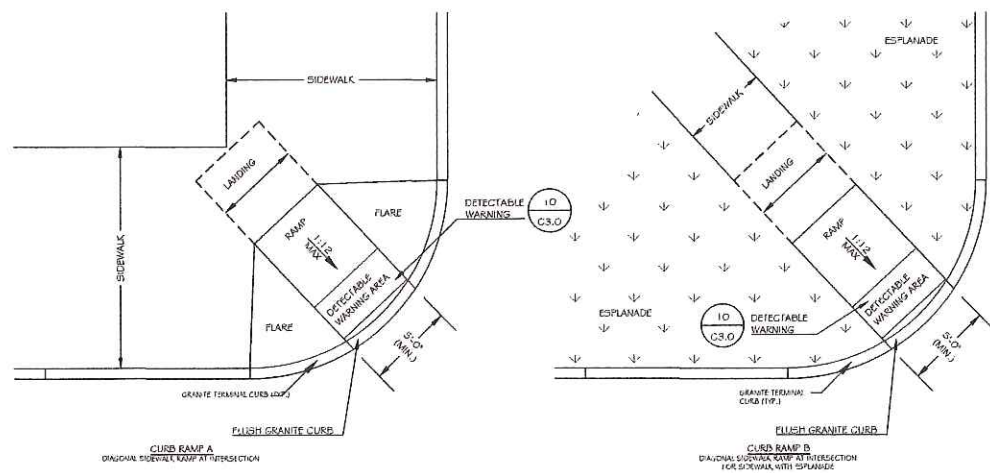
Uhaul Co. of New Hampshire & Maine
515 South Willow Street
Manchester, NH 03103

Rev.	Date	Description	Drawn	Check
1	9/17/14	Submitted for Level 1 Site Plan Application	SWC	WRW
2	10/16/14	Revised per City Staff Review	JHC	WRW
3	10/21/14	Revised per City Staff Review	SWC	WRW

Sheet Title:
Site Layout and Materials Plan

Job No.: 264
Date: SEP, 17, 2014
Scale: 1" = 20'
Drawn: SWC
Checked: WRW

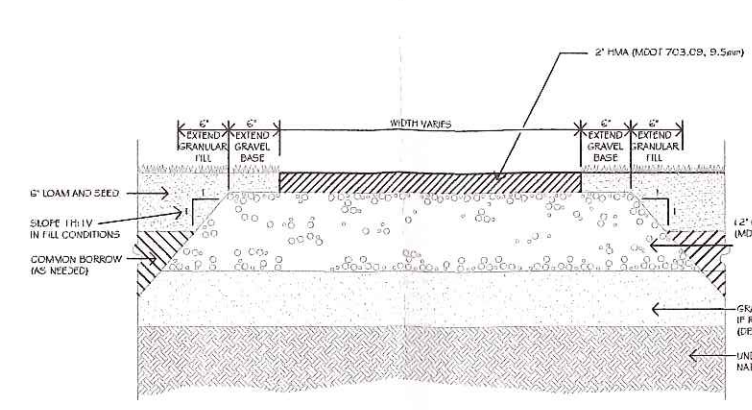
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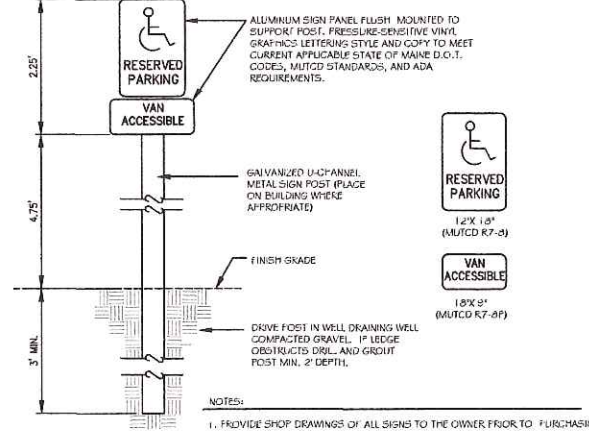
NOTES

- ALL RAMP SLOPES SHALL COMPLY WITH ADA STANDARDS.
- LANDING AREA MAY BE NEGOTIATED BASED ON SIDEWALK DIMENSIONS.
- GRANITE CURB ADJACENT TO PARK SHALL BE FLUSH WITH STREET.
- USE 1/2" DIA. x 12" GALV. CARRIAGE BOLTS (2/RAIL).
- FLARE FINISH: 4" x 4" SIDEWALK WITH GRANITE CURB - SIDEWALK ONLY.

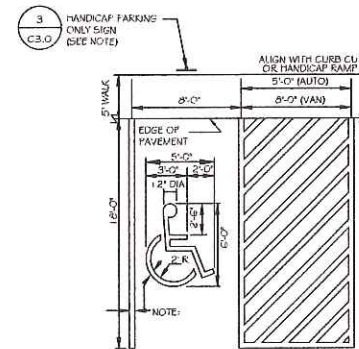
1 TYPICAL CURB RAMPS AT CROSSWALK
C3.0 NOT TO SCALE



2 BITUMINOUS CONCRETE WALKWAY PAVING SECTION
C3.0 NOT TO SCALE



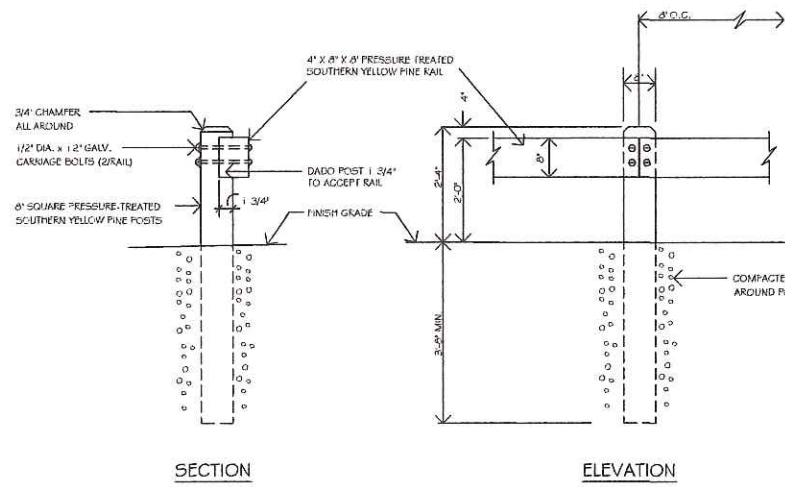
3 ADA SIGNAGE DETAIL
C3.0 NOT TO SCALE



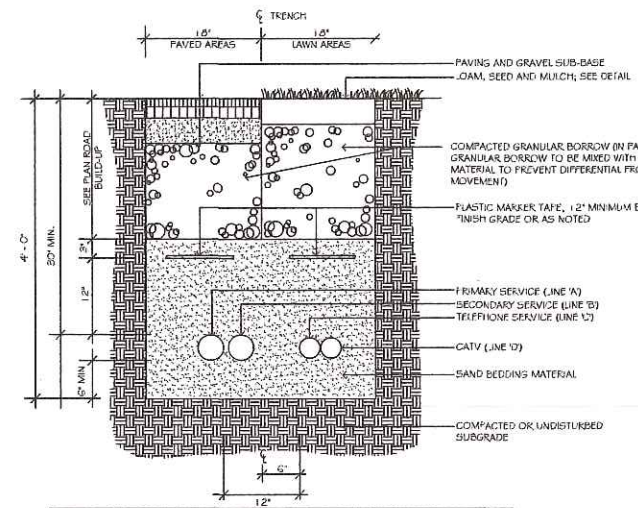
NOTE:

- ALL ACCESSIBLE PARKING SPACE SIGNS SHALL BE MUTCD R7-8. VAN ACCESSIBLE PLACQUES (MUTCD R7-8F) SHALL BE PROVIDED FOR ALL SPACES WITH AN 8' WIDE (OR WIDER) AISLE.
- PAINT ALL PAVEMENT STRIPES AND LINES 4 INCHES WIDE (TYP.).
- ALL ACCESSIBLE PARKING SPACES SHALL MEET MOST RECENT ADA STANDARDS FOR ACCESSIBLE DESIGN.

4 ACCESSIBLE PARKING STALL DETAIL
C3.0 NOT TO SCALE



5 WOODEN GUARD RAIL SECTION
C3.0 NOT TO SCALE

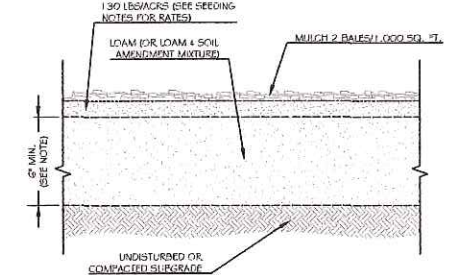


SERVICE	CONDUIT SIZE	CONDUIT TYPE	UTILITY
W	4"	SCHEDULE 40 P.V.C. ELECTRICAL GRADE	PRIMARY POWER
S	4"	SCHEDULE 40 P.V.C. ELECTRICAL GRADE	SECONDARY POWER
T	3"	SCHEDULE 40 P.V.C. ELECTRICAL GRADE	TELEPHONE
C	3"	SCHEDULE 40 P.V.C. ELECTRICAL GRADE	CATV

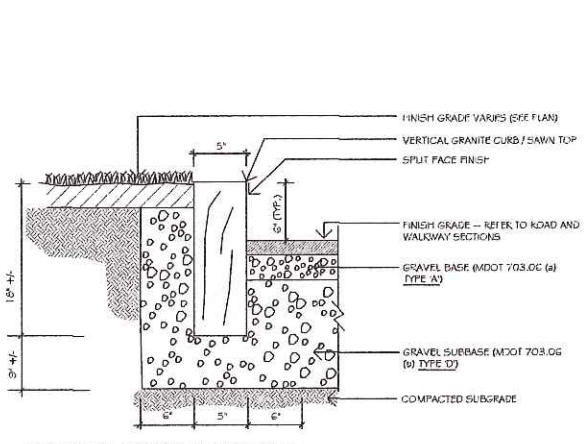
NOTES:

- CONDUIT SIZES TO BE AS LISTED ABOVE (UNLESS OTHERWISE NOTED ON PLANS).
- ALL WORK SHALL COMPLY WITH THE RESPECTIVE UTILITY COMPANY STANDARDS.
- SEE UTILITIES PLANS FOR CONDUIT LOCATIONS.
- CONTRACTOR TO PROVIDE 1/4" POLYPROPYLENE PULL ROPES IN ALL CONDUITS.

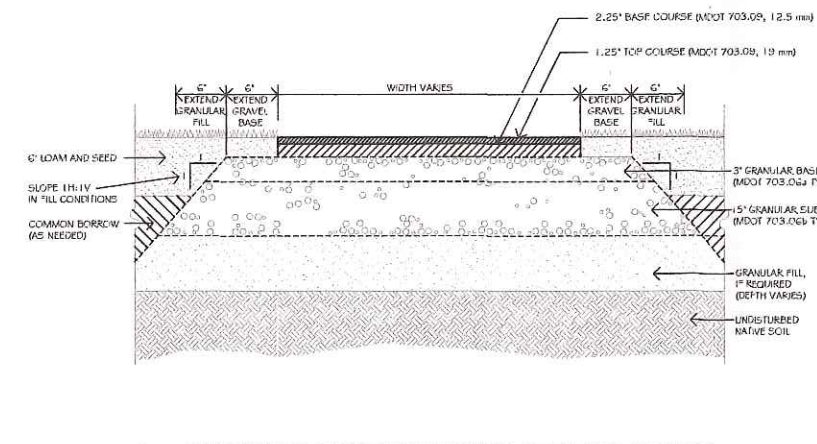
6 UNDERGROUND UTILITY TRENCH (MULTIPLE PIPE)
C3.0 NOT TO SCALE



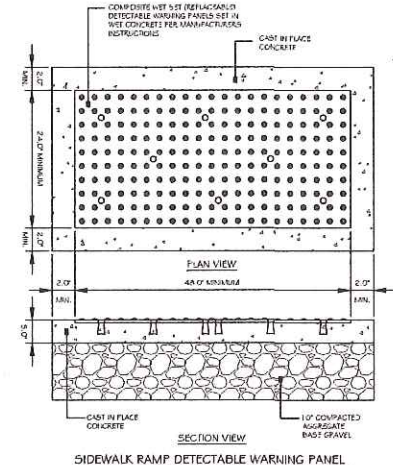
7 LOAM AND SEED DETAIL
C3.0 NOT TO SCALE



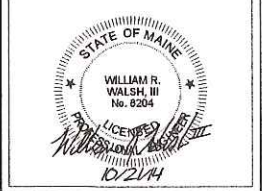
8 VERTICAL GRANITE CURBING
C3.0 NOT TO SCALE



9 BITUMINOUS CONCRETE PARKING LOT PAVING SECTION
C3.0 NOT TO SCALE



10 SIDEWALK RAMP DETECTABLE WARNING PANEL
C3.0 NOT TO SCALE



U-Haul Moving & Storage at Rte 295
425 Marginal Way
Portland, Maine 04101
Uhaul Co. of New Hampshire & Maine
515 South Willow Street
Manchester, NH 03103

Rev.	Date	Description	Drawn	Check
1	9/17/14	Submittal for Local Sign Plan Application	JHC	WRW
2	10/16/14	Revised per City Staff Review	JHC	WRW
3	10/21/14	Revised per City Staff Review	SWC	WRW



