

Please Read  
Application And  
Notes, If Any,  
Attached

# DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK **CITY OF PORTLAND**

## **BUILDING INSPECTION**

This is to certify that City Of Portland/n/a

has permission to Build New 74,000 sq. Ft. E

AT 358 Eastern Promenade

PERMIT ISSUED

Permit Number: 041016

FEB - 0 2005

CITY OF PORTLAND

provided that the person or persons, of the provisions of the Statutes of the construction, maintenance and use of this department.

Apply to Public Works for street line and grade if nature of work requires such information.

### OTHER REQUIRED APPROVALS

Fire Dept. 642 m.g.

Health Dept. \_\_\_\_\_

Appeal Board \_\_\_\_\_

Other \_\_\_\_\_

Department Name

PENALTY FOR REMOVING THIS CARD

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

Director - Building & Inspection Services

*[Signature]* 2/2/05

|  |                              |                                |                          |                    |
|--|------------------------------|--------------------------------|--------------------------|--------------------|
| City of Portland, Maine - Building or Use Permit Application |                              | Permit No: 04-1016             | Issue Date: FEB - 4 2005 | Phone: 008 A004001 |
| Location of Construction:                                    | Owner Name: City Of Portland | Owner Address: 389 Congress St | Phone: 008 A004001       |                    |
| Business Name:   | Contractor Name:             | Contractor Address:            | Phone:                   |                    |
| n/a  | n/a                          | n/a Portland                   |                          |                    |
| Lessee/Buyer's Name  | Phone:                       | Permit Type:                   | Zone:                    |                    |
| n/a  | n/a                          | Commercial                     | Zone: 3                  |                    |

|                               |   |             |               |               |             |            |            |            |   |
|-------------------------------|---|-------------|---------------|---------------|-------------|------------|------------|------------|---|
| Past Use:                     | Proposed Use:   | Permit Fee: | Cost of Work: | CEO District: | INSPECTION: | Use Group: | Signature: | Signature: | PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) |
| Elementary School             | Elementary School / Build new 74,000 sq. Ft. Elementary school. |             | \$0.00        | I             |             | E-43       | 2/3/05     | 2/3/05     |   |
| Proposed Project Description: | Build New 74,000 sq. Ft. Elementary school.                     |             |               |               |             |            |            |            |   |

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.

|   |   |  |
|---|---|--|
| Date: 7/21/04                                 | Date: 4/11/04                                       | Date: 4/11/04  |
| <input checked="" type="checkbox"/> Site Plan | <input checked="" type="checkbox"/> Approved (both) | <input checked="" type="checkbox"/> Approved         |
| <input type="checkbox"/> Subdivision          | <input type="checkbox"/> Interpretation             | <input type="checkbox"/> Approved                    |
| <input type="checkbox"/> Flood Zone           | <input type="checkbox"/> Conditional Use            | <input type="checkbox"/> Requires Review             |
| <input type="checkbox"/> Wetland              | <input checked="" type="checkbox"/> Miscellaneous   | <input type="checkbox"/> Does Not Require Review     |
|   | <input checked="" type="checkbox"/> Variance        | <input type="checkbox"/> Not in District or Landmark |
|   | <input checked="" type="checkbox"/> Zoning Appeal   | <input type="checkbox"/> Historic Preservation       |

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

|   |         |       |       |
|---|---------|-------|-------|
| SIGNATURE OF APPLICANT                      | ADDRESS | DATE  | PHONE |
| RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE | DATE    | PHONE |       |

# City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

|   |                              |                  |
|---|------------------------------|------------------|
| Permit No: 04-1016  | Date Applied For: 07/21/2004 | CBL: 008 A004001 |
| Location of Construction: 358 Eastern Promenade<br>Owner Name: City Of Portland<br>Owner Address: 389 Congress St<br>Contractor Name: Ledgewood Inc.<br>Contractor Address: PO Box 8107 Portland<br>Phone: (207) 767-1866<br>Business Name: n/a<br>Lessee/Buyer's Name: n/a<br>Phone: n/a |                              |                  |
| Proposed Use: Elementry School / Build new 70,000 sq. Ft. Elementry school.<br>Proposed Project Description: Build New 70,000 sq. Ft. Elementary school.  |                              |                  |

Dept: Zoning Status: Approved Reviewer: Marge Schmuckal Approval Date: 07/21/2004  
 Note: 04/01/2004 ZBA granted 15' front setback practical difficulty variance and waived the guards and wheel stops required for parking lot close to street line  
 11/22/04 gave MJN copies of the revised site plan and other plans from Barbara for approvals

Dept: Building Status: Approved with Conditions Reviewer: Mike Nugent Approval Date: 02/02/2005  
 Note: 1) Special inspections process must include steel fabrication as required in section 705. Of the 1999 Code

Dept: Fire Status: Approved with Conditions Reviewer: Lt. MacDougall Approval Date: 07/26/2004  
 Note: 1) the fire alarm pull stations should be located in the corridor not the stairwells ( first floor ). Covers should be considered for false alarms  
 2) the fire alarm system shall be installed in accordance with NFPA 72 standards except for section 2.3 (e) of the specifications. ( waterflow shall be silenceable )  
 3) emergency lighting shall comply with NFPA 101, 2000 edition, section 14.2.9.

Dept: Engineering Status: Open Reviewer: Tony Approval Date:  
 Note: PUBLIC WORKS ENGINEERING REVIEW...3/10/04  
 I have reviewed the application and plans and offer the following comments:

1. Public Works will offer comment upon receipt of a more detailed and complete submittal.

Public Works Review....4/14/04

It appears that the majority of improvements, necessary aand concerns of Public Works have been addressed in the application materials dated March 30, 2004. The one item that remains outstanding is the review of the drainage design. Those initial discussions and approvals were dealt with by David Peterson, William Goodwin and Katherine Earley of Public Works. Therefore, comment on the proposed stormwater design will be provided by those individuals, under separate cover.

Dept: Fire Status: Approved Reviewer: Lt. MacDougall Approval Date: 03/09/2004  
 Note: ☒ Ok to Issue

|                           |  |                  |                  |                     |                      |                      |
|---------------------------|--|------------------|------------------|---------------------|----------------------|----------------------|
| Location of Construction: |  | Owner Name:      | City Of Portland | Owner Address:      | 389 Congress St      | Phone:               |
| Business Name:            |  | Contractor Name: | Ledgewood Inc.   | Contractor Address: | PO Box 8107 Portland | Phone (207) 767-1866 |
| Lessee/Buyer's Name       |  | Phone:           | n/a              | Permit Type:        | Commercial           |                      |

Dept: DRC

Status: Approved with Conditions

Reviewer: Sebago Technic

Approval Date: 05/25/2004

☒
Ok to Issue:

Dept: Planning

Status: Approved with Conditions

Reviewer: Barbara Barhydt

Approval Date: 05/25/2004

☒
Ok to Issue:

- 1) The parking lot lighting shall go off at 9:00 p.m. on weekdays and will be off on weekends, except as may be necessary for specific scheduled events.
- 2) At the Fox Street intersection, the applicant shall remove the fifteen (15) minute parking space, per Ms. Morabito's memorandum of 4/13/04 (contingent upon funding).
- 3) The applicant shall submit any revisions to the site plan for review by the Planning Authority or Planning Board, as appropriate. At the completion of the project and prior to occupancy, the applicant shall submit two complete sets of "As Built" or "Record" drawings to the Department of Planning and Development.
- 4) The applicant shall work with Jeff Tarling, City Arborist, to assure that there is sufficient landscaping along the eastern property boundary to buffer the two residential complexes from the ballfield. The applicant and Jeff Tarling will seek input from adjoining neighbors regarding the buffering.
- 5) The applicant will seek permission from the Department of Public Works for the restriction of traffic on North Street during construction, with the conditions that one-way traffic be maintained for public access and METRO at all times and that an adequate temporary turn-around be provided for City vehicles, all as set forth in the 5/21/04 letter of Deluca Hoffman Associates to Stephen Blatt Architects (except that in Period One on-way local traffic will be allowed and that parking for the community gardens be provided to the extent possible during such construction).
- 6) If blasting is required on the site, the School Department will contract with a general contractor to prepare a blasting plan and pre-blast survey for DEP review and meet all the procedures and standards of Portland's Blasting Ordinance.
- 7) No vehicles shall be parked overnight on the service drive or loading areas along the service drive.

# CITY OF PORTLAND, MAINE

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## ZONING BOARD OF APPEALS

Patric Santerre, Chair  
Catherine Alexander, Secretary  
William Hall  
Nan Sawyer  
Joseph Lewis  
Derek Gamble

April 5, 2004

Stephen Blatt  
Stephen Blatt Architects  
PO Box 583  
Portland, ME 04112-0583

RE: 414 Eastern Promenade  
CBL: 008-A-004 & 015-A-005  
ZONE: R-3 Zone

Dear Mr. Blatt:

As you know, at its April 1<sup>st</sup>, 2004, meeting the Board of Appeals voted 5-0 to grant your Practical Difficulty Variance Appeal to allow one corner of the school to have a front setback of approximately 15' rather than the required 25'. This approval is good for two years from the date of approval. At the same meeting the Board of Appeals voted 5-0 to grant your Miscellaneous Appeal, allowing the parking lot less than 25' from the sidewalk to not have wheel stops or a guard rail, with the requirement that there be an appropriate physical safety feature between the sidewalk and the parking lot. This approval is also good for two years from the date of approval.

Enclosed please find a copy of the Board's decisions.

I am also enclosing your Certificate of Variance Approval, which must be recorded in the Cumberland County Registry of Deeds within 90 days of April 5, 2004, when it was signed. Failure to so record the Certificate will result in its being voided.

Should you have any questions please feel free to contact me at 207-874-8701.

Sincerely,

Karen Dunley  
Office Manager

CHECK-LIST AGAINST ZONING ORDINANCE

C-B-L: 008-A-004  
015-A-005

3/2/04

Applicant: EASTEND School (w/track) Date: 3/2/04

Date - Demo of School

Zone Location - R-3

Interior of corner lot -

Proposed Use/Work - New Elementary School

Sewage Disposal - City

Lot Street Frontage - 50' min

100' + 50'

Front Yard - 15' min

Side Yard - 14' min

20' side yard on side of lot

Projections - 2' min

Width of Lot - 75' min

Height - 35' max

Lot Area - School - 2.805 acres

Lot Covered/Impervious Surface - 25% max

Area per Family - 1st floor - 16 classrooms = 208 sq ft

Off-street Parking - 14-332 sq ft

Loading Bays - 25' min

Site Plan - Map 1-72 700 ft total footprint

Shoreland Zoning/Stream Protection -

Flood Plains -

4/1/04 - front setback is 25' max  
b) driver of park lot who stops  
a) driver of park lot who stops



# Commercial Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

|  |  |
|--|--|
| Location/Address of Construction: North Street, Eastern Promenade, Portland  |  |
| Total Square Footage of Proposed Structure<br>74,000   |  |
| Owner:<br>City of Portland<br>389 Congress St., Portland, ME   | Lesssee/Buyer's Name (If Applicable)<br>Tax Assessor's Chart, Block & Lot<br>008<br>004<br>015<br>A<br>A<br>005            |
| Applicant name, address & telephone:<br>Stephen Blatt Architects<br>10 Danforth St, PO Box 583<br>Portland, ME 04112<br>207-761-5911 | Current Specific use: Elementary School<br>Proposed Specific use: Elementary School  |
| Cost Of Work \$8,650,000<br>Fee: \$ WAIVED   | Project description:<br>Construction of a new two story, 450 student Elementary School for kindergarten through 5th grade. |

Contractor's name, address & telephone: Not available as of this date.

Who should we contact when the permit is ready: Joe Hemes

Mailing address:

Stephen Blatt Architects  
P.O. Box 583 DTS  
Portland, ME 04112-0583

Phone: 207-761-5911

Please submit all of the information outlined in the Residential Application Checklist. Failure to do so will result in the automatic denial of your permit.

At the discretion of the Planning and Development Department, additional information may be required prior to permit approval. For further information stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant:

*Stephen Blatt*

Date:

7.20.04

Permit Fee: \$30.00 for the first \$1000.00 Construction Cost, \$9.00 per additional \$1000.00 cost

This is not a Permit; you may not commence any work until the Permit is issued.

Hi Marge:

**From:** Barbara Barhydt  
**To:** Marge Schmuckal  
**Date:** Mon, Mar 29, 2004 8:20 AM  
**Subject:** Fwd: RE: East End -height of structure

I had asked Joe about the height of the East End school. Here is his response. I should receive their revised application tomorrow, so I will forward to you the latest information.

Thanks.

Barbara

>>> "Joe Hemes"<joe@sbarchitects.com> 3/29/2004 8:03:50 AM >>>

Hi Barbara,  
The 2 story classroom wing is 28'-6" high  
The gym is 26'-6" high  
The media Center, Cafeteria & Art/music area is 16'-6" high.  
The one story west facing support rooms facing entry plaza is 14'-6" high.  
Please call with any other questions  
Thanks  
Joe

-----Original Message-----  
**From:** Barbara Barhydt [mailto:BAAB@portlandmaine.gov]  
**Sent:** Friday, March 26, 2004 10:39 AM  
**To:** [joe@sbarchitects.com](mailto:joe@sbarchitects.com)  
**Subject:** height of structure

Hi Joe:

What is the height of the proposed school? Thank you.

Barbara



**From:** Marge Schmuckal  
**To:** Barbara Barhydt  
**Date:** Mon, Mar 8, 2004 3:25 PM  
**Subject:** East End School

Barbara,

I have taken another look at the site plan for the East End School proposal.

I have done the calculations under 14-428, the corner lot provision. I thought that I could apply this section to reduce the required rear yard. However the ordinance specifically refers to cases involving a "dwelling house". The school would be considered an institutional use, not a dwelling house. As a side note, the math would have worked on this if it were a dwelling house. Therefore, the rear setback should be included within their practical difficulty appeal.

I also check the parking provisions regarding their proposed parking lot. Sections 14-337 & 14-338 would apply for this lot.

I have determined that the parking lot is approximately 42 feet from the nearest residential structure on an adjoining lot. That is well over the minimum required of 25 feet.

Because the parking is located within the required front yard, the two listed requirements for continuous curb guard at least six inches in height & permanently anchored etc shall be met. It also lists that a chain link, picket or sapling (?) fence not less than 48 inches in height shall be provided and maintained between the parking and the adjoining residential use.

I hope this helps you. I have received a call from Joe Hemis of Stephen Blatt Architects who wants to come in soon to discuss the practical difficulty variance. I will let you know when that is set up. I leave it up to you whether you would be interested in attending such a meeting.

Marge

Sec. 14-334. To be located on lot with principal use in

(Code: 1968, § 602.14.E; Ord. NO. 298-88, 5-31-88)

**Sec. 14-336. Location in residence zones for six or fewer vehicles.**

(a) Where off-street parking for six (6) or fewer vehicles is required or provided in any residence zone, it shall not be located closer than fifty (50) feet to any street line if less than five (5) feet from any lot line and shall not be closer to any street line than the required depth of the front yard for the same lot, except on a corner lot where the minimum depth from the line of the side street shall be the minimum width of the side yard on the side street. Lots in the R-6 zone shall not be required to provide the five-foot setback required by this section, but parking in the R-6 zone shall meet the front yard setbacks set forth in this section.

(b) Parking shall be prohibited in the front yard of lots containing two (2) or more dwelling units, except within one (1) driveway on the lot. "Driveway," as used in this paragraph, shall not include any turnaround area.

(Code 1968, § 602.14.F; Ord. No. 231-90, § 1, 3-5-90; Ord. No. 310-98, § 2, 5-4-98)

**Sec. 14-337. Location in residence zones for more than six vehicles.**

Where off-street parking for more than six (6) vehicles is required or provided for nonresidential uses in residence zones, it shall not be located closer than twenty-five (25) feet to any residential structure on an adjoining lot.

(Code 1968, § 602.14.G)

**Sec. 14-338. When located within required open yard areas in residence zones.**

(a) Where off-street parking for more than six (6) vehicles is required or provided on a lot in a residence zone and vehicles are to be or may be parked within the area otherwise required to be kept open and unoccupied for front, side and rear yards in the zone in which such parking is located, the following requirements shall be met:

(1) A continuous curb guard, rectangular in cross-section, at

least six (6) inches in height and permanently anchored, shall be provided and maintained at least five (5) feet from the street or lot line between such off-street parking and that part of the street or lot line involved; or a continuous bumper guard of adequate strength, the top of which shall be at least twenty (20) inches in height, shall be provided and maintained between such off-street parking and that part of the street or lot line involved so that bumpers of vehicles cannot project beyond its face toward the street or lot line involved, either above or below the impact surface.

(2) Where such off-street parking shall about a lot in residential use or an unoccupied lot which is located in a residence zone, a chain link, picket or sapling fence, not less than forty-eight (48) inches in height, shall be provided and maintained between such off-street parking and that part of the lot line involved.

(b) Notwithstanding the provisions of subsection (a) of this section, parking shall be prohibited in the front yard of lots containing two (2) or more dwelling units, except within one (1) driveway on the lot. "Driveway," as used in this paragraph, shall not include any turnaround area.

(Code 1968, § 602.14.H; Ord. No. 231-90, § 2, 3-5-90)

**Sec. 14-339. When located adjacent to a street or a residential use.**

Where off-street parking for more than six (6) vehicles is required or provided on a lot in any business zone, the following requirements shall be met:

(1) Where vehicles are to be or may be parked within ten (10) feet of any street line, a continuous curb guard, rectangular in cross-section, at least six (6) inches in height and permanently anchored, shall be provided and maintained at least five (5) feet from the street line between such off-street parking and that part of the street line involved; or a continuous bumper guard of adequate strength, the top of which shall be at least twenty (20) inches in height, shall be provided and maintained between such off-street parking and that part

**From:** Marge Schmuckal  
**To:** Barbara Barhydt  
**Subject:** East End School/ Jack Jr.

Barbara,

This property is located within an R-3 residential zone that allows elementary schools under a conditional use appeal to the Planning Board.

Currently the front setback (along North Street) is not meeting the required 25 foot front setback requirement. Approximately 15 feet is scaled to the front property line. All other setbacks appear to be met.

Under the parking requirements, section 14-332, schools providing instruction for students up to and including those 15 years of age, require one parking space for each room used for purposes of instruction. I have determined that there are 28 class rooms. Therefore 28 parking spaces would be required. 31 spaces are currently shown. However, the Planning Board may determine the required number of spaces for projects over 50,000 square feet. This project is 72,700 square feet.

The front setback is required to be 25 feet to the property line. Currently approximately 15 feet is shown. The developer is aware that a practical difficulty variance is required and has picked up the necessary paperwork to appeal.

I did not have elevation plans showing the height of the building. The maximum height is 35 feet. This is a two story building. I therefore do not anticipate a zoning problem with the required height. The height will be checked prior to final approvals.

Marge Schmuckal  
Zoning Administrator

317 OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING VOHW  
Zoning Copy

2004-0024  
Application I. D. Number

2/24/2004

Application Date

East End School

Project Name/Description

358 - 358 Eastern Promenade, Portland, Maine

Address of Proposed Site

008 A004001

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): ☒ New Building ☐ Building Addition ☐ Change Of Use ☐ Residential ☐ Office ☐ Retail

☐ Manufacturing ☐ Warehouse/Distribution ☒ Parking Lot

☐ Other (specify)

72,700 s.f.

Proposed Building square Feet or # of Units

Acage of Site

Zoning

R3

Check Review Required:

☒ Site Plan ☐ Subdivision ☐ # of lots

☐ Flood Hazard ☐ Shoreland ☐ Historic Preservation

☐ Zoning Conditional Use (ZBA/PB) ☐ Zoning Variance ☐ DEP Local Certification

☐ Other

Fees Paid: Site Pla \$1,000.00 Subdivision Engineer Review Date 2/25/2004

Zoning Approval Status:

Reviewer

☐ Approved ☐ Approved w/Conditions ☐ Denied

Approval Date Approval Expiration Extension to Additional Sheets Attached

Condition Compliance signature date

Performance Guarantee ☐ Required\* ☐ Not Required

\* No building permit may be issued until a performance guarantee has been submitted as indicated below

☐ Performance Guarantee Accepted

☐ Inspection Fee Paid

☐ Building Permit Issue

☐ Performance Guarantee Reduced

☐ Temporary Certificate of Occupancy

☐ Final Inspection

☐ Certificate Of Occupancy

☐ Performance Guarantee Released

☐ Defect Guarantee Submitted

☐ Defect Guarantee Released

date

date

date

date

date

date

date

date

submitted date

amount

amount

remaining balance

☐ Conditions (See Attached)

signature

signature

amount

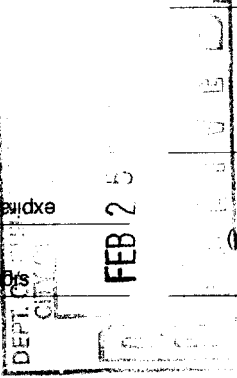
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expiration date

expiration date

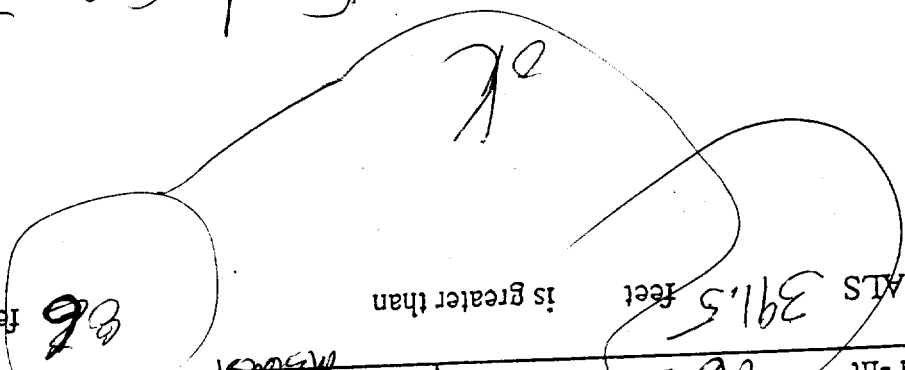


Sec. 14-428. Corner lots.  
In case a dwelling house has its front yard upon the long side of a corner lot, the rear yard may be reduced to a depth not less than the width required for a side yard on the lot, provided the aggregate of the widths of both sides and depths of front and rear yards is not less than the similar aggregate of required dimensions of all yards required if the front yard were faced on the short side of the lot.  
(Code 1968, § 602.19.G)

REAR YARD

|                |            |                |         |
|----------------|------------|----------------|---------|
| Front yard     | 15 feet    | Front yard     | 25 feet |
| Rear yard      | 23.5 feet  | Rear yard      | 25 feet |
| Side yard - rt | 26.7 feet  | Side yard - rt | 16 feet |
| Side yard - lt | 86 feet    | Side yard - lt | 20 feet |
| TOTALS         | 391.5 feet |                | 86 feet |

is greater than



REAR CAN reduce to A REAR  
OK  
APPLIES ONLY to A dwelling house



February 27, 2004

Mr. Joe Hemes  
Stephen Blatt Architects  
PO Box 583  
10 Danforth Street  
Portland, ME 04112-0583

**Subject: East End School  
Updated Parking Analysis  
Update Based upon Current Site Plan**

Dear Joe:

Enclosed is a memorandum which updates the parking analysis based upon the current site plan. When the original traffic study/parking analysis was conducted last summer, the goal for the on-site parking was 50 spaces. This analysis includes review of the site plan and the fact that the number of on-site parking spaces was reduced to 31.

A copy of this memo is also being sent to the Portland Planning Department for their consideration in the review of the recent workshop submission.

Sincerely,

DeLUCA-HOFFMAN ASSOCIATES, INC.

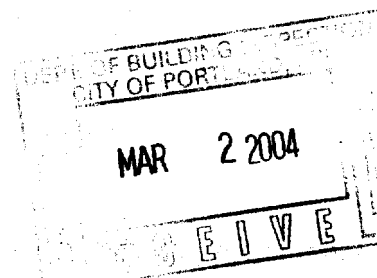
W  
Pr

V

F

*For Marge*

Sarah Hopkins, ~~President~~  
Anita LaChance, Asst. City Manager  
Doug Sherwood, Portland Public Schools  
Diane Morabito, Casey & Godfrey  
Kathie Earley, City of Portland





## FAX TRANSMITTAL

Consulting  
Engineers

263 Water Street  
Gardiner, ME 04345  
(207) 582-4526  
FAX (207) 582-8526  
E-mail: cge@ime.net

**TO:** Bill Hoffman  
DeLuca-Hoffman  
FAX 207-879-0896

**FROM:** Diane W. Morabito  
Casey & Godfrey Engineers  
TEL 207-582-3526  
FAX 207-532-8526

**No. of Pages** (including this cover): 3

**DATE:** February 27, 2004

**RE:** Parking **Review** for East End School

Dear Bill,

Attached you will find a summary memorandum outlining the revised parking analysis. We will mail the original to you. Please don't hesitate to call me if you have any questions or concerns.

Sincerely,

Diane W. Morabito, P.E. PTQE





## SUMMARY MEMORANDUM

Consulting  
Engineers

263 Water Street  
Gardiner, ME 04345  
(207) 582-4526  
FAX (207) 582-8526  
E-mail: cge@ime.net

TO: Mr. William **Hoffman**, P.E.  
DeLuca-Hoffman Associates  
778 Main Street, Suite 8  
South Portland, Maine 04106

DATE: February 27, 2004

RE: Parking Analysis for Proposed New East End School

This memorandum is written to summarize a review of your site plan, in regard to parking, for the new east end school in Portland, Maine. The proposed new school, to replace the previous Jack School, will provide for 450 elementary students.

This analysis updates the preliminary parking analysis that was included in the traffic impact study, dated August 2003, to reflect the current DeLuca-Hoffman site plan. All parking for the previous Jack school was located on-street, on both North Streets and Eastern Promenade. The site plan provides for a 31-space on-site parking lot. Based upon information provided by DeLuca-Hoffman and included in the appendix, Portland standards for the maximum assembly size require 100 parking spaces for the proposed new facility. The State Department of Education standards generally recommend 113 spaces for a school of this size. The higher 113-space requirement was used as the basis of this parking analysis.

The parking analysis was performed to determine if there would be adequate parking for the new facility, considering both the 31-space lot and available on-street parking. On-street parking is currently allowed on both sides of North Street and Eastern Promenade. North Street is currently 33' wide and provides for two-way traffic flow and parking on both sides. The American Association of State Highway and Transportation Officials (AASHTO) "A Policy on Geometric Design of Highways and Streets, 2001" recommends a minimum of 8' parking lanes. In addition, the minimum width for the travel lane should be 10' with up to 12' desirable. Based upon this, the recommended minimum total width for North Street, to provide for two-way travel and parking on both sides is 38' with 40' being desirable (12' travel and 8' parking lanes). The current DeLuca-Hoffman plan provides for North Street to be widened to provide the desirable 40 foot width.

Parking observations were conducted on several days in summer of 2003 to determine the number of on-street spaces being utilized in the vicinity of the school. It was assumed that the school would utilize on-street parking on both sides of North Street but only along the south side of Eastern Promenade (the school side of the street). Based upon the plan by DeLuca-Hoffman, there will be 99 spaces located on street in the immediate vicinity of the school. All spaces meet the recommended minimum parking stall length for parallel parking of 22', ranging up to 24'. The 99 on-street spaces are located as follows:

New East End Elementary School

02/27/2004

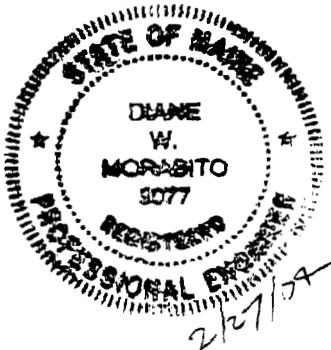
Eastern Promenade - School Side Only - 45 spaces

North Street - School Side - 25 spaces

North Street - Opposite Side - 29 spaces

The number of vehicles parked in the above locations was recorded on three different days in the summer of 2003, including early morning, mid-morning and mid-day hours. The maximum number of vehicles **parked** in the above locations during any observation was six. Based upon this, there will be **93** on-street spaces **available** for school use. The proposed 31 space lot, in combination with on-street **parking**, will leave an excess of **17** spaces on-street in these locations for other uses, without consideration of all of the spaces on the north side of Eastern Promenade. Based upon this, the parking should be more than adequate to meet both the state and city standards.

In addition to the number and location of **parking** spaces, the proposed time restrictions were also reviewed, as shown on your site plan. There are 31 staff on-site spaces which will be all day spaces. In addition, there are 69 on-street spaces which are proposed as all day spaces, for a total of 100 all day spaces. Given a projected maximum of 80 staff, which are not all full-time employees, these 100 all day spaces should be adequate. The remainder of the spaces are proposed to be designated short-term, 1 hour or less. These spaces are logically located closest to the entrance area on North Street. It is important to note that the highest turnover spaces, 30 minutes or less, are also larger at 23' to 24', providing for easier **parking** maneuvers, as previously recommended.



Sincerely,

Diane W. Morabito, P.E. PTQE

From: Barbara Barhydt  
To: John Peverada; Marge Schmuckal  
Date: Tue, Mar 2, 2004 8:10 AM  
Subject: Parking for the East End School

Hi Marge and John:

I just received a revised memo regarding the parking for East End School. I will make copies for both of you. Marge, they ~~are~~ basing the parking numbers on the assembly area, but I do not know if this how you would determine the required number of parking spaces. Could you determine that number for their upcoming workshop (3/9).

John, any comments you may have on their proposed parking plan would be great. I know one of the Board members asked me what are the parking regulations currently on Eastern Prom and North Street. He was concerned about their proposal for short term parking and the impact on adjoining residential uses.

I have put this item on Wednesday's agenda.  
Thanks.

Barbara

following minimum off-street parking requirements shall be provided and maintained in the case of new construction, alterations which increase the number of units, and changes of use:

(1) **Residential structures:**

- a. For new construction, two, (2) parking spaces for each dwelling unit, plus one (1) additional parking space for every six (6) units or fraction thereof.
- b. For alterations or changes of use in existing structures, which create new or additional dwelling units in such structures, one and one-half (1 1/2) additional parking spaces for each such unit. Existing parking spaces shall not be used to meet the parking requirements of this paragraph, unless the existing parking spaces exceed one (1) space for each dwelling unit.

(2) **Motel:** One (1) parking space for each sleeping room.

(3) **Hotels:** One (1) parking space for each four (4) guest rooms.

(4) **Schools providing instruction for students up to and including those fifteen (15) years of age:** One (1) parking space for each room used for purposes of instruction.

(5) **Schools providing instruction for students sixteen (16) years of age and over:** One (1) parking space for each ten (10) seats or major fraction thereof, used for purposes of instruction; if no fixed seats, one (1) parking space for each one hundred (100) square feet or major fraction thereof used for purposes of instruction.

(6) **Hospitals:** One (1) parking space for each five hundred (500) square feet or major fraction thereof, of floor area, exclusive of cellar.

(7) **Auditoriums, theaters, assembly halls, funeral homes:** One (1) parking space for each five (5) seats or for each one hundred (100) square feet, or major fraction thereof, of assemblage space if no fixed seats.



*State of Maine*  
*Department of Public Safety*  
**Construction Permit**



**Reviewed  
for Barrier  
Free**

**# 14079**

**Sprinkled  
Sprinkler Supervised**

**EAST END ELEMENTARY SCHOOL  
Located at: NORTH STREET  
PORTLAND  
Occupancy/Use: EDUCATIONAL**

**Permission is hereby given to:**

**PORTLAND PUBLIC SCHOOLS**

**331 VERANDA STREET  
PORTLAND, ME 04103**

to construct or alter the afore referenced building according to the plans hitherto filed with the Commisioner and now approved.

No departure from application form/plans shall be made without prior approval in writing. This permit is issued under the provision of Title 25, Chapter 317, Section 2448 and the provisions of Title 5, Section 4594 - F.

Nothing herein shall excuse the holder of this permit for failure to comply with local ordinances, zoning laws, or other pertinent legal restrictions. Each permit issued shall be displayed/available at the site of construction.

*This permit will expire at midnight on the 9th of Decemb 2004*

Dated the 10th day of June A.D. 2004

Commissioner

**Copy-4 File**

Comments:

TO: Mike Nugent  
Code Enforcement Officer  
RE: East End Elementary School

We are sending you: X Enclosed        Under separate cover via        the following:

LETTER OF TRANSMITTAL  
7/20/2004

|                |   |                         |                |
|----------------|---|-------------------------|----------------|
| Shop drawings  |   | Change Order No.        | R.F.P. No(s)   |
| Plans          |   | Field Report            | R.F.I. No(s)   |
| Prints         |   | Concrete Testing Report | Copy of Letter |
| Specifications | X | Other: CD               |                |

| COPIES | DESCRIPTION                        |
|--------|------------------------------------|
| 1      | East End Specs                     |
| 1      | Set of Drawings                    |
| 1      | CD - East End School Bid Documents |
|        |                                    |
|        |                                    |
|        |                                    |
|        |                                    |

THESE ARE TRANSMITTED as checked below:

|                        |  |                       |  |
|------------------------|--|-----------------------|--|
| For Signature          |  | Approved as Submitted | Revise & Resubmit for Approval               |
| For Your Use           |  | Approved as Noted     | Submit <u>      </u> copies for Distribution |
| As Requested           |  | Furnish as Corrected  | Reviewed                                     |
| For Review and Comment |  | For Bids Due          |  |

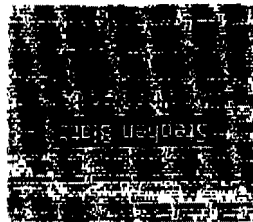
REMARKS:

Pls. also find enclosed our Commercial Building Permit Application.

10 Danforth Street  
Post Office Box  
583 DTS  
Portland, Maine  
04112-0583  
Voice: 207.761.5911  
Fax: 207.761.2105  
Email: sba@sbaarchitects.com

COPY: file SIGNED: Hal Haway Washington

FAX TRANSMITTAL



TO: Lt. McDougal, Portland Fire Department

FAX #: 874-8716

FROM: Doug Breer

DATE: July 26, 2004

PROJECT: East End Elementary School

RE: Required Stair Width

PAGES: 5 (including cover)

Special Comments or Instructions:

Dear Lt. McDougal,

Enclosed is the NFPA 101 Life Safety Code 2003 Occupancy Review and calculations for the East End Elementary School. This has been reviewed and approved by Steve Dodge of the State Fire Marshall's Office. As you can see, the occupant load used for the classrooms differs from that used under the BOCA National Building Code 1999. Steve Dodge allows the use of a maximum likely student population plus one teacher, in this case 25 students plus 1 teacher, instead of the 20sf per student occupant load factor used by BOCA.

Please call me if you have any questions.

Regards,

Doug Breer

10 Danforth Street  
Post Office Box  
583 DTS  
Portland, Maine  
04112-0583  
Voice: 207.761.5911  
Fax: 207.761.2105  
Email: sbblat@sbblat.com

If you do not receive all pages please contact us A.S.A.P. (207) 761-5911

Portland Public Schools-East End Elementary, Portland, Me

November 3, 2003

# NFPA 101 Life Safety Code 2003 Occupancy Review

The East End Elementary School has been programmed for 450 students and approximately 60 staff for total school occupancy of 510 persons. The Building will be sprinkled per NFPA 13.

The State Fire Marshal's Office has indicated that Life Safety Code 2003 should be used. This is an Occupancy Load Review for the sizing of egress stairwells and door widths based on Table 7.3.1.2 'Occupant Load Factor', Table 7.3.3.1 Capacity Factors and discussion with Steve Dodge on classroom capacity.

## Classroom Wing Occupancy First Floor

|  |             |
|--|-------------|
| 11 classrooms                                | 286 persons |
| 1 esl classrooms                             | 26 persons  |
| 6 exploration                                | 36 persons  |
| 1 resource                                   | 15 persons  |
| 1 self-contained                             | 23 persons  |
| 2 reading recovery                           | 15 persons  |
| 1 hands-on-lab                               | 26 persons  |
| 1 guidance suite                             | 2 persons   |
| 1 speech                                     | 8 persons   |
| 1 staff prep                                 | 1 persons   |
| 1 main office suite                          | 15 persons  |
| 1 storage/mechanical                         | 0 persons   |
| 25 students + 1 teacher = 26 (x 11) = 286    |             |
| 25 students + 1 teacher = 26 (x 1) = 26      |             |
| @ 120 s.f. / 20 s.f. per person = 6 (x 6)    |             |
| @ 300 s.f. / 20 s.f. per person = 15 (x 1)   |             |
| @ 450 s.f. / 20 s.f. per person = 22.5 (x 1) |             |
| @ 150 s.f. / 20 s.f. per person = 7.5 (x 2)  |             |
| 25 students + 1 teacher = 26 (x 1)           |             |
| @ 244 s.f./100 s.f. per person = 2.4 (x 1)   |             |
| @ 150 s.f./20 s.f. per person = 7.5 (x 1)    |             |
| @ 130 s.f./100 s.f. per person = 1.3 (x 1)   |             |
| @ 1491 s.f./100 s.f. per person = 14.9 (x 1) |             |
| N/A  |             |

438 persons Total occupancy 1st floor/ 4 exits = 110 persons each exit

110 persons x .2 doors = 22" width minimum Note: see 2nd floor.

## Classroom Wing Occupancy Second Floor

|                                |  |
|--------------------------------|--|
| 286 persons                    |  |
| 26 persons                     |  |
| 36 persons                     |  |
| 15 persons                     |  |
| 23 persons                     |  |
| 8 persons                      |  |
| 8 persons                      |  |
| 2 persons                      |  |
| 8 persons                      |  |
| 1 persons                      |  |
| 1 persons                      |  |
| 6 persons                      |  |
| 0 persons                      |  |
| 286 persons                    |  |
| 26 persons                     |  |
| 36 persons                     |  |
| 15 persons                     |  |
| 23 persons                     |  |
| 8 persons                      |  |
| 8 persons                      |  |
| 2 persons                      |  |
| 0 s.f. per person = 2.4 (x 1)  |  |
| 0 s.f. per person = 7.5 (x 1)  |  |
| 0 s.f. per person = 1.3 (x 1)  |  |
| 00 s.f. per person = 5.5 (x 1) |  |
| N/A                            |  |

= 140 persons each exit

im Note: 44" stairs min. shown.  
im Note: 35" doors shown.



Portland Public Schools-East End Elementary, Portland, Me

Z

Media Center, Gym Cafeteria Wing Occupancy (Art, Music, Community)

|             |                     |  |
|-------------|---------------------|--|
| 18 persons  | 1 media stacks      | @ 1800 s.f./100 s.f. per person=18 (x 1)     |
| 20 persons  | 1 media reading     | @ 1000 s.f./ 50 s.f. per person=20(x 1)      |
| 8 persons   | 1 media office/work | @ 800 s.f./ 100 s.f. per person= 8 (x 1)     |
| 20 persons  | 1 media computer    | @ 400 s.f./ 20 s.f. per person=20(x 1)       |
| 26 persons  | 1 art rooms         | 25 students + 1 teacher = 26 (x 1)= 26       |
| 26 persons  | 1 music room        | 25 students + 1 teacher = 26 (x 1)= 26       |
| 75 persons  | 1 community suite   | @ 1300 s.f. / 20 s.f. per person = 65 (x 1)  |
| 60 persons  | 1 music/platform    | @ 900 s.f. / 15 s.f. per person = 60 (x 1)   |
| 200 persons | bleacher seating    | @ 60 l.f. x 5 rows/ 1.5 ft.= 200             |
| 586 persons | 1 gymnasium         | @ 4175 s.f. / 7 s.f. per person= 596 (x 1)   |
| 30 persons  | 2 changing rooms    | @ 300 s.f./ 20 s.f. per person= 15 (x 2)     |
| 2 persons   | 2 per/rec office    | @ 100 s.f./100 s.f. per person= 1 (x 2)      |
| 200 persons | cafeteria 1         | @ 1,400 s.f. / 7 s.f. per person = 200 (x 1) |
| 200 persons | cafeteria 2         | @ 1,400 s.f. / 7 s.f. per person = 200 (x 1) |
| 6 persons   | kitchen             | @ 600 s.f. / 100 s.f. per person=6 (x 1)     |
| 0 persons   | misc. storage/lan   | N/A  |

1,477 persons

Total occupancy of wing/4 exits = 369 persons each exit  
 369 persons x .20 doors = 74" width each 4 exits (296" total)  
 Note: planning for egress doors 2 double door sets leaving southwest  
 corridor, 1 double door set leaving cafeteria to north,  
 1 double door set leaving service area to north, 1 single door leaving gym  
 to north. 4 double door sets @ 70" + 35" = 315" (o.k.)  
 Lobby Main entrance doors not counted

Egress Notes:

1. Cafeteria 1 & 2 each @ 200 persons will have 2 means of egress.  
 Review Cafeteria 1 egress through Cafeteria 2 & corridor
2. Cafeteria 1 & 2 when open together 3 exits total.  
 200 + 200=400 persons/ 3 exits= 133 persons each x .2 = 27" each  
 3 Double doors provided at 70" (o.k.)
3. Kitchen/storage 6 persons egress to north with Cafeteria (door width o.k.)
4. Gymnasium occupancy of 786 persons will have 4 exits (1 exterior/2 interior)  
 786/4= 197 persons each x .2 = 39 inches (total 39 x 4 = 156 inches)  
 (provided 2 doors @ 70"+1 doors @ 35"=175" o.k.)
5. Media Center occupancy of 66 persons/ 2 exits= 33 persons x .2 = 6.6" each door  
 (70" minimum provided).

Portland Public Schools-East End Elementary, Portland, Me

3

6. Music/Platform occupancy of 60 persons/ 2 exits=30 persons x .2 = 6 " (70" minimum provided).

7. Art & Music rooms will have two means of egress.

8. Community Rooms will include 3 rooms; Family Resource Center @ 300 s.f., Community Meeting @ 400 s.f., Community Meeting @ 600 s.f.

Each room will have 1 egress door. When the two adjoining Community Rooms are opened into 1 room the egress doors will be properly separated and open out.

9. Main Entrance Door Width

(Gym Wing Assembly portion of building)

2064 persons/ 2 = 1032. persons x .2 doors = 206 inches

(140 inches shown at main entrance & prominent corridor egress for a total of 280 inches)

### Exit Access Corridors

The State Fire Marshall endorses no closures on classroom doors for Life Safety Code reasons. Exit access corridors are non-rated, but construction will be equivalent to 1 hour construction and will be smoke barriers. The 20 minute rated doors will not have closers.

LETTER OF TRANSMITTAL

I/20/2005

TO: Mike Nugent  
City of Portland - Code Enforcement Office

RE: EAST END ELEMENTARY

We are sending you: ☒ Enclosed ☐ Under separate cover via \_\_\_\_\_ the following:

|                                     |                |                         |  |
|-------------------------------------|----------------|-------------------------|--|
| <input checked="" type="checkbox"/> | Shop drawings  | Change Order No.        | R.F.P. No(s)                                     |
| <input type="checkbox"/>            | Plans          | Field Report            | <input checked="" type="checkbox"/> R.F.I. No(s) |
| <input type="checkbox"/>            | Prints         | Concrete Testing Report | Copy of Letter                                   |
| <input type="checkbox"/>            | Specifications | Other:                  |  |

| COPIES | DESCRIPTION  |
|--------|--|
| 3      | Sets; Each set contains RFI #3, Sanitary Sewer Information per Deluca Hoffman and two drawings (M5R & M6R) |
|        |  |
|        |  |
|        |  |
|        |  |
|        |  |
|        |  |
|        |  |
|        |  |

THESE ARE TRANSMITTED as checked below:

|                                     |                        |                          |                       |                          |                                      |
|-------------------------------------|------------------------|--------------------------|-----------------------|--------------------------|--------------------------------------|
| <input type="checkbox"/>            | For Signature          | <input type="checkbox"/> | Approved as Submitted | <input type="checkbox"/> | Revise & Resubmit for Approval       |
| <input checked="" type="checkbox"/> | For Your Use           | <input type="checkbox"/> | Approved as Noted     | <input type="checkbox"/> | Submit _____ copies for Distribution |
| <input type="checkbox"/>            | As Requested           | <input type="checkbox"/> | Furnish as Corrected  | <input type="checkbox"/> | Reviewed                             |
| <input type="checkbox"/>            | For Review and Comment | <input type="checkbox"/> | For Bids Due          |                          |                                      |

REMARKS:

10 Danforth Street  
Post Office Box  
583 DTS  
Portland, Maine  
04112-0583  
Voice: 207.761.5911  
Fax: 207.761.2105  
Email: sba@sbaarchitects.com

COPY: \_\_\_\_\_  
file  
SIGNED: Joe Hennes

## MEMORANDUM

TO: Steve Dodge, State Fire Marshall's Office

FROM: Joe Hennes

DATE: 9/25/03

PROJECT: Portland-East End Elementary School

RE: Concept Review Meeting August 29, 2003

We opened a file and provided the fees for the East End Elementary School for the State Fire Marshall's Office review of both the Life Safety Code and the ADA accessibility code.

This new school will replace the existing Jack School on the same site on the Eastern Promenade of Portland, but be larger with approximately 50,000 S.F. on the first floor and 22,000 S.F. on the second floor. The school is being designed for 450 students.

We reviewed the site plan and the concept floor plans for preliminary approval and discussed the following issues:

1. The project can be reviewed under either Life Safety 2000 or the new Life Safety 2003 code, which is to be adopted next month. The 2003 code is harder to use because of layout, but similar in requirements. There are some references to the new NFPA 5000 Building & Construction code.
2. The school will be designed under New Educational Occupancies and New Assembly Occupancies. The school is expected to be Construction Type 2 (000) unprotected.
3. The school will be completely sprinkled under NFPA 13.
4. The main lobby may need doors to east court for emergency egress based on dead end corridor, when the classroom wings are locked. The north classroom wing can egress into the main lobby for second means of egress.
5. The Lobby configuration with monumental stair is acceptable with options for rated/sprinkled glass or rated glass block or fire shutter on along second floor corridor line. The ability to egress from all portions of the building without using the monumental stair, but using the other fire stairs was reviewed.
6. The concept plans are acceptable in approach to meeting Life Safety and ADA codes, and a "Preliminary Letter of Approval" dated August 29<sup>th</sup>, 2003 was issued. The required 'Construction Permit' will not be issued until the 100% drawings are reviewed and approved.

Thank you very much for your review and working with us on this exciting project.

CC: A. LaChance, D. Sherwood, S. Blatt

10 Danforth Street  
Post Office Box  
583 DTS  
Portland, Maine  
04112-0583  
Voice: 207.761.5911  
Fax: 207.761.2105  
Email: sba@sbarchitects.com

# LEDGEWOOD CONSTRUCTION

PO, Box 8107  
Portland, ME 04104  
Ph : (207) 767-1866

RFI

To:

Joe Hemes  
Stephen Blatt Architects  
10 Danforth Street  
Portland, ME 04101  
Ph: (207) 761-5911 Fax: (207) 761-2105

RFI #: 3  
Date: 12/22/2004  
Job: 04475 East End School  
Phone:

CC: Ken Scott (Ledgewood Construction)  
Jim Beaulieu (Ledgewood Construction)

Subject: Underslab Sanitary Piping

Drawing: none  
Cost Impact: none  
Spec Section: none  
Schedule Impact: none

Request: Date Required: 12/23/2004

Specifications require 1/4"ft pitch for the sanitary piping, which based on our distances will result in a trench depth of 93" +/-.  
We are requesting permission to install sanitary piping at a slope of 1/8"ft. Please confirm.

Requested by:

Clint Gendreau

Response:

As requested, we have designed for 2 separate sanitary lines leaving the building, to provide 1/4" per foot slope and less deep sewer lines leaving the building.  
1. Bill Hoffman of Deluca-Hoffman has provided a cover letter on additional sanitary sewer line and 3 sketches RFI #3A, RFI #3B, RFI #3C all dated 1.20.05. Please coordinate with required elevations on these sketches for the sanitary sewer line to obtain proper protection from freezing.  
2. Steve Doel of Bennett Engineering has provided M5R and M6R revised Jan 13, 2005 and showing new location for additional sanitary sewer line. Refer to Hoffman's sketches for required inverts outside of building.  
3. We have copied Mike Nugent with 3 sets of drawings for review. He indicated he would forward to Public works and Planning for their review.  
4. After your review, please advise us formally if you want to proceed.  
We will need Mike Nugent's approval also.

Answered by:

Stephen P. Doel, P.E, Bill Hoffman & Joe Hemes

Company:

Bennett Engineering  
PO Box 297  
7 Bennett Road  
Freeport, ME 04032  
(207) 865-9475  
Deluca Hoffman  
778 Main Street, suite 8  
South Portland, ME 04106

Date : Dec 22, 2004/  
Revised January 6, 2005  
Revised January 20, 2005

January 20, 2005

Mr. Joe Hemes  
Stephen Blatt Architects  
P.O. Box 583  
Portland, ME 04101

**Subject: East End Elementary School  
Additional Sanitary Sewer Line**

Dear Joe:

Enclosed are three sketches which show the additional sewer service which will lead to the classroom wing. Please note that the sewer will enter the building lower than required by the mechanical engineer. This is to protect the sewer outside of the building from freezing.

These sketches are being incorporated into the respective drawings for the project.

If you have any questions regarding this letter, please contact our office.

Sincerely,

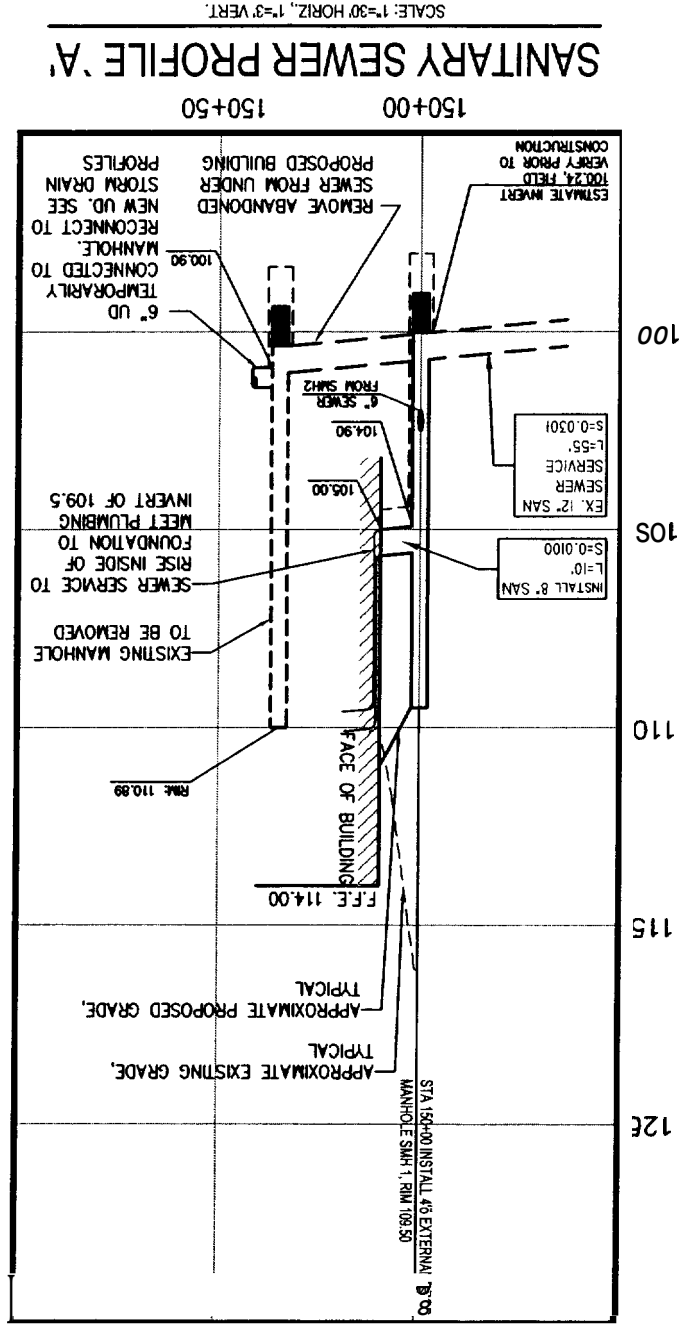
DeLUCA-HOFFMAN ASSOCIATES, INC.

William G. Hoffman, P.E.  
President

WGH/cmd/JN2370/Hemes1-20

Enclosure

c: Steve Doel, P.E.





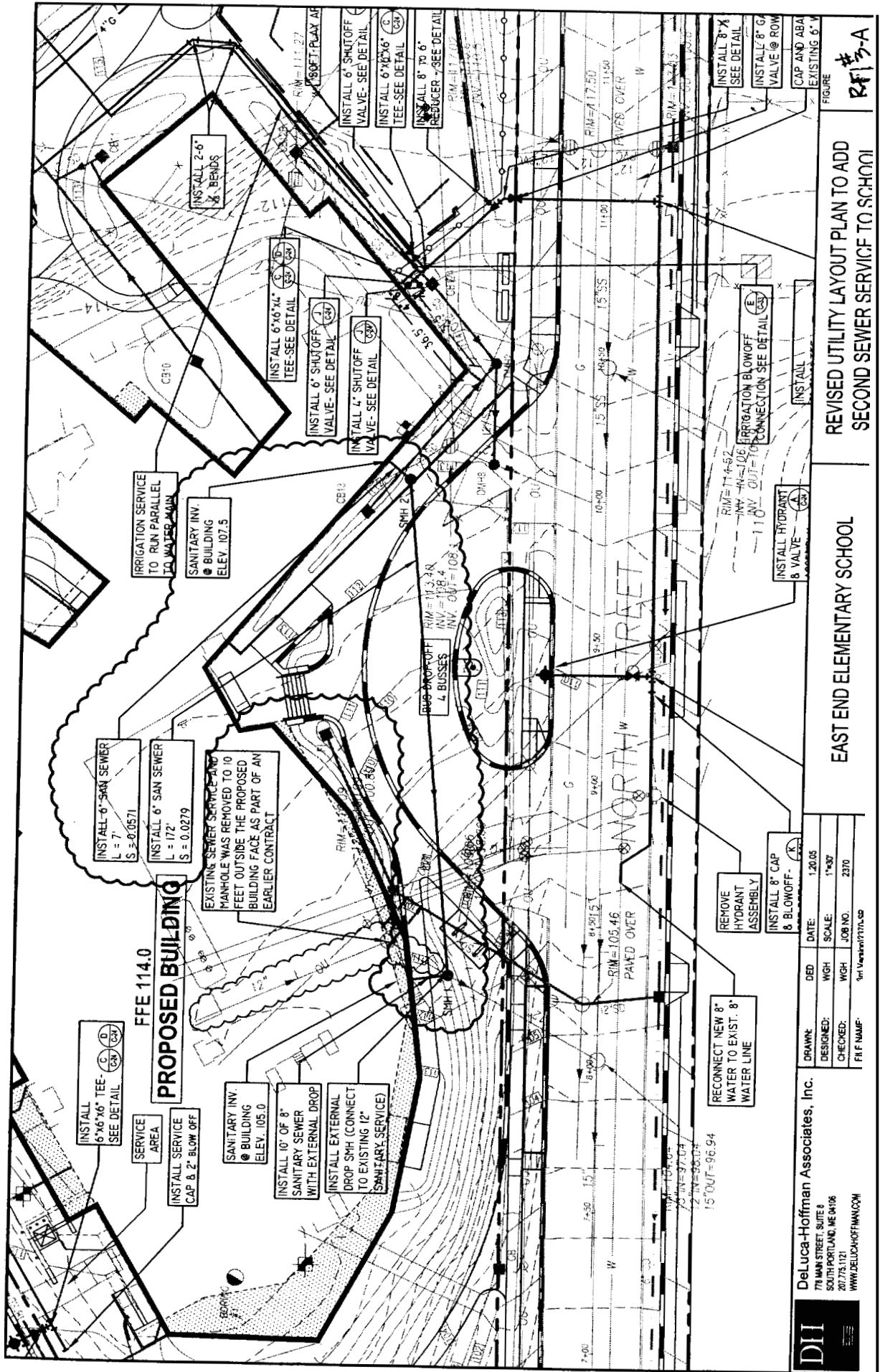
**DeLuca-Hoffman Associates, Inc.**  
 779 MAIN STREET, SUITE 8  
 SOUTH PORTLAND, ME 04106  
 207.775.1121  
 WWW.DELUCAHOFFMAN.COM

|                                |     |         |          |
|--------------------------------|-----|---------|----------|
| DRAWN:                         | DED | DATE:   | 1.20.05  |
| DESIGNED:                      | WGH | SCALE:  | AS NOTED |
| CHECKED:                       | WGH | JOB NO. | 2370     |
| F.I.F. NAME: Not Used 01/27/05 |     |         |          |

### EAST END ELEMENTARY SCHOOL

REVISED SAN SEWER PROFILE 'A' TO ADD  
 SECOND SEWER SERVICE TO SCHOOL -  
 APPEN. CALCULATED PROFILE 'A'

FIGURE  
**RFI #3-B**



**DLH**  
 DeLuca-Hoffman Associates, Inc.  
 778 MAIN STREET, SUITE 8  
 SOUTH PORTLAND, ME 04106  
 207.773.1121  
 WWW.DELUCAHOFFMAN.COM

|            |                        |         |
|------------|------------------------|---------|
| DRAWN:     | DED                    | DATE:   |
| DESIGNED:  | WGH                    | SCALE:  |
| CHECKED:   | WGH                    | JOB NO. |
| FILE NAME: | 1st Version/17711A.dwg |         |

**EAST END ELEMENTARY SCHOOL**  
**REVISED UTILITY LAYOUT PLAN TO ADD**  
**SECOND SEWER SERVICE TO SCHOOL**

FIGURE  
**#15-A**





778 MAIN STREET, SUITE 8  
SOUTH PORTLAND, ME 04106  
207.775.1121  
WWW.DELICACOFFMAN.COM

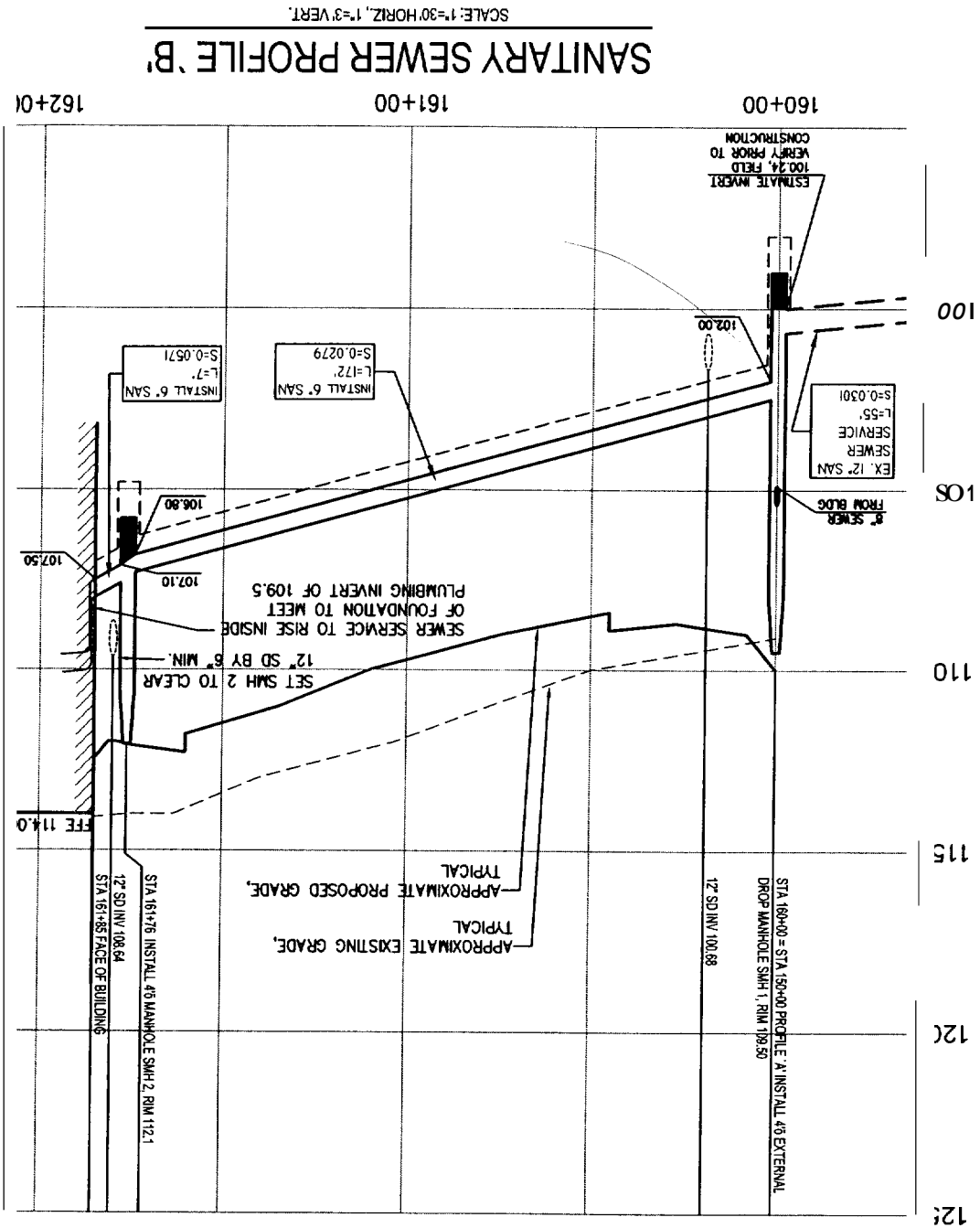
DELICACOFFMAN ASSOCIATES, LLC.

|            |                      |
|------------|----------------------|
| DATE:      | 12.05                |
| DESIGNED:  | WGH                  |
| CHECKED:   | WGH                  |
| FILE NAME: | San Sewer 121713.dwg |

# EAST END ELEMENTARY SCHOOL

REVISED SAN SEWER PROFILE 'A' TO ADD  
SECOND SEWER SERVICE TO SCHOOL -  
ADDED SAN SEWER PROFILE 'B'

FIGURE  
RFI # 3-C



# City of Portland Site Plan Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 358 Eastern Promenade Jacks School

Total Square Footage of Proposed Structure 50,000 ±  
 Square Footage of Lot 272,830

Tax Assessor's Chart, Block & Lot  
 Chart# 8 Block# A Lot# 4  
 Property owner, mailing address: Portland Public Schools  
 331 Vancouver Street  
 Telephone: 974-8100

Consultant/Agent, mailing address, phone & contact person  
Portland Public Schools  
 331 Vancouver Street  
 Project name: Jack Modular

Proposed Development (check all that applies) ☒ New Building ☐ Building Addition ☐ Warehouse/Distribution ☐ Parking lot  
 Residential ☐ Office ☐ Retail ☐ Manufacturing  
 Subdivision, amount of lots \_\_\_\_\_  
 Other: Check Transfer for Sale

Major Development ☒ \$500.00 Minor Development ☐ \$400.00  
 Who billing will be sent to: \_\_\_\_\_  
 Mailing address: Portland Public Schools  
 331 Vancouver Street  
 State and Zip: Portland, Maine 04103-5599  
 Contact person: \_\_\_\_\_  
 Phone: 974-8126

Nine (9) separate packets must include the following:

- copy of application
- cover letter stating the nature of the project
- site plan containing the information found in the attached sample plans check list

All plans must be folded neatly and in packet form

Section 14-522 of the Zoning Ordinance outlines the process, copies are available at the counter at .25 per page, you may also visit the web site: [cl.portland.me.us/chapter14](http://cl.portland.me.us/chapter14)

I hereby certify that I am the Owner of record of the named property, or that the owner authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: \_\_\_\_\_  
 Date: 11/14/01

Application is for site review ONLY, a building Permit application and associated fees will be required prior to construct

## Jack Elementary School Project

### Modular Building Complex

The proposed project calls for the installation of a modular structure on Portland School Department property adjacent to the existing Jack Elementary School. The structure will provide fully functional learning space for approximately 300 students in Kindergarten through 5<sup>th</sup> grade, and 70 staff. A portion of the existing Jack building will also be used for music, physical education, cafeteria, and possibly art, but the extent of occupation will be limited to the gym wing adjacent to the modular complex. This facility will also support Parks and Recreation programs as well as many other community uses.

The intended facility will function as Jack Elementary School until such time as the existing building is remediated, renovated, and modernized, or is replaced by a new structure as part of the State of Maine's Major Capital Improvement Program. This process is expected to take approximately five years from the time of project approval by the State to occupancy by the students and staff. If this project is included among those accepted for funding by the State in the Spring of 2002, occupancy of the renovated or new building will occur in the Fall of 2007.

As the Elementary School Master Plan moves into the execution phases throughout Portland, the modular complex will eventually be vacated by Jack students. At this point the facility will become available for use as a temporary relocation site during anticipated renovation projects at Reiche, Longfellow and perhaps Lyseth Elementary Schools. For this reason, the life of the modular complex is intended span approximately ten years. As a result of long term problems with water infiltration into the existing building through the roof, windows and walls, mold was found to be present in many sections of the building. Realizing these conditions existed, the decision was made in August 2001 to close the building because the health of the students and staff could not be guaranteed. This decision then required that temporary space be found elsewhere in Portland which would ideally meet the criteria of: keeping the student body intact in one place, staying as close as possible to the existing Jack school district, and causing minimal disruption to the other elementary schools.

These criteria were met to a satisfactory, albeit temporary level, when the WT Grant building at 510 Congress Street was occupied and opened for classes only one week later than the rest of Portland Schools. The temporary nature of this space cannot be overemphasized. Although the school's needs were met under almost emergency conditions, remaining in the existing commercial building for any longer than absolutely necessary is not acceptable for many reasons, not the least of which is the impact on the educational program for the students.

It is the strong desire and plan to have the proposed modular project complete and occupied as Jack Elementary School by Spring vacation 2002. In order to meet this time schedule, the option of considering another location for the modular complex is simply

not practical. It should be noted however, the State's Major Capital Improvement Program process requires conducting a thorough site analysis review and consideration of alternative locations if a new building is the selected option.

## **Jack Elementary School**

**November 8, 2001**

The Site Plan Application provides the following data:

- Topographic and boundary data of the site and surrounding area is shown on the drawings. Existing utilities located in the North Street Right of Way including gas, power, sewer, water, and stormdrain connections are shown.

- New service connections to the sewer, water, gas, power, and communications are planned and shown on the site plan. These services are located as close together to minimize costs and disruption of North Street.

- Existing fencing for the ball field will be removed. No additional fencing is planned.
- Site lighting will be limited to wall mounted units at the doorways. These will provide light for the new walkways between the buildings.

- Hydrants are located along North Street. These hydrants and the sprinkler system in the buildings will provide adequate fire protection.

- The buildings will be provided by a modular construction company. Each supplier has slightly different techniques to construct the units and as such the exact size may vary. In general, the buildings will be 25,000 square feet single story units. A full foundation with a crawl space will be utilized. This will provide adequate foundations for the 10-year plan.

To access the buildings a new 16' wide walkway will be constructed along the existing gym and to the main office building. The classroom building will have a 5' wide walkway going to the main entrance. Stairs are required along the gym route. The walks slope at 5% to meet ADA requirements.

- Grading on the site has been carefully considered to minimize the amount of excess material created. Finish floors are approximately 1 to 1.5' above the existing grades. This will provide for adequate drainage away from the building. The proposed berm on the south side of the site will be slightly modified to allow the corner of the building to fit in that location. The landscaping along the berm will remain intact.

Additional landscaping will be placed along the North Street side of the site and foundation plantings will be used at the main entrance. The remaining sides of the buildings will be buffed by existing fields and the existing Jack School.

8 A4



CITY OF PORTLAND  
 BUILDING CODE CERTIFICATE  
 389 Congress St., Room 315  
 Portland, Maine 04101

TO:

Inspector of Buildings City of Portland, Maine  
 Department of Planning & Urban Development  
 Division of Housing & Community Service

FROM DESIGNER:

Stephen Blatt Architects

Pinkham & Greer (Structural Engineers)

DATE:

August 25, 2004

Job Name:

East End Elementary School

Address of Construction: North Street, Portland, Maine

**THE BOCA NATIONAL BUILDING CODE / 1999 (FOURTH EDITION)**  
 Construction project was designed according to the building code criteria listed below:

Building Code and Year 1999 BOCA Use Group Classification(s) Educational & Assembly  
 Type of Construction 2c unprotected

**Structural Systems**

Roof Snow Load 60 Ground Snow Load (Pg) 42  
 If  $P_g > 10$  psf, Flat Roof snow load,  $P_f$   
 If  $P_g > 10$  psf, snow exposure factor,  $C_e$  0.9  
 If  $P_g > 10$  psf, roof thermal factor 1.0  
 If  $P_g > 10$  psf, snow load importance factor,  $I$  1.1  
 Sloped Roof Snowload  $P_s$  N/A

Bartholomew Loads 0.10 Peak velocity-related acceleration,  $A_v$   
 Peak acceleration,  $A_s$  0.10  
 Seismic hazard exposure group II  
 Seismic performance category C  
 Soil profile type SI  
 Basic structural system/seismic-resisting system CBF  
 Response modification factor,  $R$ , and deflection amplification factor,  $C_d$  3.3

**Yes** The documents must account for drift snow load, unbalanced snow load and sliding snow loads as required.

**Wind Loads**

05 Basic Wind Speed

C Wind Exposure Category

SEE ATTACHED SHEET Wind Design Pressure

1.10 Wind Importance Factor

+/-0.25 Internal Pressure Coefficient

1.23 GYM WINGS  
Cross Room Wings

FILE COPY

ADDENDUM #5 Dated August 16, 2004

TO CONTRACT DOCUMENTS FOR:

East End Elementary School  
Portland, Maine

City of Portland BID # 8704

PREPARED BY:

STEPHEN BLATT ARCHITECTS  
P.O. BOX 583  
10 DANFORTH STREET  
PORTLAND, ME 04112-0583

Dated: July 15, 2004

To all interested parties:

This addendum modifies, amends, and supplements designated parts of the Contract Documents, Project Manuals, and Drawings for the **East End Elementary School** and is hereby made an integral part thereof by reference and shall be as binding as though inserted in its entirety in the location specified herein. It shall be the responsibility of the Contractor to notify all Subcontractors and suppliers he/she proposes to use for the various parts of the work for any changes or modifications contained in this addendum. The Contractor shall acknowledge receipt of this addendum in the appropriate section of the Bid Form.

This ADDENDUM consists of 3 pages.

**SPECIFICATIONS**

Division 1- General Requirements

Section 01210 ALLOWANCES, PAGE 2, 3.3 Schedule of Allowances  
**ADD: Allowance No. 3 New Meter Fee and Service Connection**

The General Contractor shall include an allowance in the bid of \$4,000.00 for the new meter and connection. The final cost of these items will be adjusted by change order for the actual fees incurred. General Contractor markups will not apply to these fees.

DIVISION 2 - SITE WORK

Fees Attendant with the Portland Water District Inspections

The Portland Water District will assess a fee for inspection of the on-site water main installation. This fee is \$35.00 per hour. The Division 2 Contractor should include these fees in the filed subcontractor bid for this project.

Section 08711

**DELETE:** Door closer and kickplate to the following door tags in HW18: 105.1, 133.1, 134.1, 137.1, 145.1, 149.1, 150.1, 153.1, 162.1, 166.1, 167.1, 170.1, 218.1, 223.1, 224.1, 227.1, 235.1, 238.1, 241.1, 248.1, 250.1, 251.1, 254.1. (in Addendum #3)

**DELETE:** Door closer and self latching flush bolts at door 222.1 in HW21. (in Addendum #3)  
**ADD:** Sound seals to door Tag 120.2 in HW 17.

Section 09912, PAINTING, paragraph 2.1 B:  
**DELETE:** ICI Dulux Paint was selected to reduce the number of paint manufacturers and paint types throughout the School Department. (in Addendum #3)  
**ADD:** ICI Dulux Paints were selected due to Portland Public Schools past experiences with other products and our desire to maintain and sustain a consistent appearance. The selection was not meant to limit competition, but to note that we had tried the other products and that ICI Dulux Paint has proven to be the better product for most of our applications.

#### Section 09912 - PAINTING

**ADD:** The following at the start of subparagraph 2.7, B, 2: "Dulux Paint; 1402-XXXX Dulux Professional Acrylic Eggshell".  
**OMIT:** Paragraph 2.8, B. Fillers will not be required.

Section 09953 – RESILIENT WALL BASE AND ACCESSORIES, 2..4 Resilient Stair Accessories, A  
**ADD:** 2. Metal Nosing shall be attached with adhesive and mechanically fastened as recommended by the manufacturer.

## DRAWINGS

### Division 2 Drawings: General Notes

Contractors are reminded to refer to the new Drawing NS-C-4 provided with Addendum #3. This drawing revises the type of materials for walkways within the project.

### Drawing C-13 Utility Plan

Addendum #3 page seven lists several corrections to the utility plan. These corrections are erroneously listed on Addendum #3 as being a portion of Drawing C-14. Bidders should note the correct drawing number is Drawing C-13.

### Drawing C-13 Utility Plan

The contractor's attention is noted that the replacement water main work requires reconnection of the services to the Jewish Home for the Aged on the opposite side of North Street. The contractor shall provide temporary service to the building to avoid any disruption in water service to this facility.

### Drawing S-8

**CHANGE:** W21x50 beam at 2nd floor between grids BM-B4 and BK-B6 to a W24x55.

**CHANGE:** both W21x44 and W16x26 beams at 2nd floor and low roof between grids 20-U and BH-B1 to W24x62 beams. ADD HSS 6x6x1/4" post w/7x7x3/4" cap and base plates between these beams at approximately mid-span. Weld Cap and base plates to HSS6x6 with 1/4" fillet weld all around. Weld cap and base plates to beams with 1/4" fillet weld all around, top and bottom. Add 3/8" stiffener plate one side only to both W24x62 beams at the post location. Add L4x4x3/8 kick brace between bottom of HSS 6x6 post and steel beams above at mid-span of W24x62's. Attach kick brace with 3/16" fillet weld all around each end. (Minimum weld length 4")



- Drawing E2.1 Ground Floor North Power Plan**
- **REVISE** receptacle, data and telephone jack groupings in Principal 108 to receptacle and split data/telephone jack groupings - typical for two locations within room (clarification of Addendum # 3 item)
  - **REVISE** receptacle, data and telephone jack groupings in Assistant Principal 109 to receptacle and split data/telephone jack groupings - typical for two locations within room (clarification of Addendum # 3 item).
  - **REVISE** receptacle, data and telephone jack grouping in Conference 110 to receptacle and split data/telephone jack grouping (clarification of Addendum # 3 item).
  - **REVISE** the single telephone jack located on the east wall in Art 340 to a split data/telephone jack grouping. All other data/telephone jacks to remain as shown on the bid documents (clarification of Addendum # 3 item).
- Drawing E2.2 Ground Floor South Power Plan**
- **REVISE** receptacle, data and telephone jack groupings in Health Clinic 113 to receptacle and split data/telephone jack groupings - typical for two locations within room (clarification of Addendum # 3 item).
  - **ADD** a sixth split data/telephone jack grouping the electrical receptacle on the east wall.
- Drawing E2.3 Second Floor North Power Plan**
- **REVISE** receptacle, data and telephone jack grouping and the receptacle and data jack groupings in Linerant Office 256 to receptacle and split data/telephone jack groupings - typical for five locations within room (clarification of Addendum # 3 item).
- Drawing E4.2 Telecommunications Riser Diagram & Details**
- **REVISE** the quantity of telephone sets for Type A and Type B phone sets to indicate one of each type.

## END OF ADDENDUM #5

**FILE COPY**

**ADDENDUM #6** Dated August 23, 2004

TO CONTRACT DOCUMENTS FOR:

**East End Elementary School**  
**Portland, Maine**

**City of Portland BID # 8704**

PREPARED BY:

**STEPHEN BLATT ARCHITECTS**

P.O. BOX 583

10 DANFORTH STREET

PORTLAND, ME 04112-0583

Dated: July 15, 2004

To all interested parties:

This addendum modifies, amends, and supplements designated parts of the Contract Documents, Project Manuals, and Drawings for the **East End Elementary School** and is hereby made an integral part thereof by reference and shall be as binding as though inserted in its entirety in the location specified herein. It shall be the responsibility of the Contractor to notify all Subcontractors and suppliers he/she proposes to use for the various parts of the work for any changes or modifications contained in this addendum. The Contractor shall acknowledge receipt of this addendum in the appropriate section of the Bid Form.

This ADDENDUM consists of 3 pages.

## **SPECIFICATIONS**

### **Section 04810 – UNIT MASONRY ASSEMBLIES**

Part 2 Products, 2.1, C. Decorative Exterior Concrete Masonry Units.. 5b

**ADD: 2) Product:** "Ground Faced Masonry Units" as manufactured by D'Agostino Building Blocks, Schenectady, N.Y. Type 1 color to be DFG #500597 (white) & Type2 DFG #500940 (Golden Yellow)

Part 2 Products, 2.1, E. Decorative Interior Concrete Masonry Units.. 5b

**ADD: 3) Product:** "Ground Faced Masonry Units" as manufactured by D'Agostino Building Blocks, Schenectady, N.Y.

### **Section 04810 – UNIT MASONRY ASSEMBLIES**

Part 2 Products, 2.3 A. Portland Cement, ;

**DELETE:** Provide natural or white cement as required to produce mortar color indicated.

**ADD:** Provide natural cement as required to produce a standard natural gray mortar color, for both interior and exterior masonry.

Part 2 Products, 2.3 D. Aggregate for mortar.....required mortar color

**DELETE:** 1. Colored Mortar Aggregates: Natural colored Mortar Aggregates: Natural-colored sand or ground marble, granite or other sound stone: of color necessary to produce required mortar color.

**ADD:** 1. Natural colored Mortar Aggregates: Natural-colored sand or ground marble, granite or other sound stone: of color necessary to produce a standard gray mortar color, for both interior and exterior masonry.

**Section 05402 – COLD-FORMED METAL FRAMING & EXTERIOR SHEATHING**

Part 2 Products, 2.3 C., Double Deflection Tracks

**ADD:** 3. Single Deflection Track: On non rated walls only, in lieu of Double Deflection Track, a 3 inch leg Single Deflection Track with interlocking Spazzer Bar 5400 Bracing within 12 inches of the top of the track, and meeting engineering requirements is acceptable.

**Section 06402 – INTERIOR ARCHITECTURAL WOODWORK**

Part 2 Products, 2.1 Woodwork Fabricators

**ADD:** 9. Nova Wood Products, Lunenburg, Nova Scotia

**Section 06450 – MODULAR CASEWORK**

Part 1 General, 1.5 Qualifications, A. Pre-Qualified Manufacturers

**ADD:** 9. Nova Wood Products, Lunenburg, Nova Scotia

**Section 08555 FIBERGLASS WINDOWS**

Part 1, General 1.4 Performance Requirements, B. 1. Single Hung Performance and Grade:

**DELETE:** LC-25

**ADD:** LC-25 or CAN/CSA-A440-M90.

Part 1, General 1.4 Performance Requirements, C. Solar Heat-Gain Coefficient

**DELETE:** SHGC maximum of 0.33

**ADD:** SHGC maximum of 0.54.

Part 1, General 1.8 Warranty, D. Warranty Period for Glass:

**DELETE:** 20 years from date of Substantial Completion

**ADD:** 10 years from date of Substantial Completion

**Section 092606 – GYPSUM BOARD ASSEMBLIES**

Part 2 Products, 2.3 D., Proprietary Deflection Track

**ADD:** 2. Single Deflection Track: On non rated walls only, in lieu of Double Deflection Track, a 3 inch leg Single Deflection Track with interlocking Spazzer Bar 5400 Bracing within 12 inches of the top of the track, and meeting engineering requirements is acceptable.

**Section 092680 – CARPET**

Part 2 Products, 2.1

**ADD:** C. Product: Border Carpet completely including items 1-19

**DRAWINGS**

Drawing A1.1 & A1.2 Classrooms on walls identified with Interior Elevation keys 8/A5.1 & 18/A5.1  
**DELETE:** 4' WB & 4' TB indications (to match elevations N.I.C.)

Drawing A1.3 & A1.4 Classrooms on walls identified with Interior Elevation keys **4/A5.1 & 7/A5.1**  
**DELETE: 8' WB** indications (to match elevations N.I.C.)

Drawing A1.4 Room Finish Schedule, key 26 Ramp to Platform, remarks:  
**DELETE:** remark: Slip Resistant **Tile** flooring

Drawing A5.1 Elevations 4, 7,8 &18  
**ADD:** Note: Provide blocking for future tackboards shown N.I.C.

**END OF ADDENDUM #6**

ADDENDUM #4      Dated August 73, 2004

TO CONTRACT DOCUMENTS FOR:

East End Elementary School  
Portland, Maine

City of Portland BID # 8704

8. A 4

PREPARED BY:

STEPHEN BLATT ARCHITECTS  
P.O. BOX 583  
10 DANFORTH STREET  
PORTLAND, ME 04112-0583

Dated: July 15, 2004

To all interested parties:

This addendum modifies, amends, and supplements designated parts of the Contract Documents, Project Manuals, and Drawings for the East End Elementary School and is hereby made an integral part thereof by reference and shall be as binding as though inserted in its entirety in the location specified herein. It shall be the responsibility of the Contractor to notify all Subcontractors and suppliers he/she proposes to use for the various parts of the work for any changes or modifications contained in this addendum. The Contractor shall acknowledge receipt of this addendum in the appropriate section of the Bid Form.

This ADDENDUM consists of 27 pages, plus three (3) 30"x48" sheets.

#### SPECIFICATIONS

#### DIVISION 0 - CONTRACT REQUIREMENTS

##### Section 00020 INVITATION TO BID

CLARIFICATION: AIA Document A310 is an acceptable form to use for the Bid Bond.

##### Section 00110 INSTRUCTIONS TO BIDDERS

Appendix 1 Maine Construction Bid Depository General Conditions and Regulations.

Procedure to be followed by Subcontractors

CLARIFICATION: AIA Document A310 is an acceptable form to use for the Bid Bond.

CHANGE: INSTRUCTION TO BIDDERS, Page 4 of 8, ARTICLE 16.00 DELAY REMEDY, Paragraph A.

Should read as follows; "The contractor hereby agrees that neither the Contractor nor anyone else performing work under this Contract shall have any claim against the Owner or the Architect for damages of any kind on account of delay in the commencement of the work and/or delay or suspension of the work or any portion thereof, and/or any acceleration after such delay or suspension, whether such delay is caused by the Owner, Architect or otherwise, and that the sole remedy for such delay and/or suspension and/or acceleration will be an extension of time as provided in the Contract Documents; provided, however, any such delay by the Owner or Architect must be reasonably related to the project or its funding."

successful green building design, construction and operations. LEED® offers third-party certification of qualifying buildings, upon a project's completion it may be qualified at LEED® certified, silver, gold or platinum level.

2. This two-hour workshop will provide an overview of the LEED program and how it impacts the contractor, construction manager and field/jobsite staff & subs. In a LEED project, the Contractor has primary responsibility for:
  - a. Construction Waste Management - to divert as much material as possible from landfill.
  - b. Maintaining good Indoor Air Quality during construction and before occupancy,
  - c. Tracking materials to document their Recycled Content, Local/Regional Content, Rapidly Renewable Content, Certified Wood Content and Volatile Organic compound (VOC) Levels (Adhesives, Carpet, Paint, Composite Wood)
3. In addition this workshop will cover the tracking and reporting tools used for LEED submissions and contract language so that subcontractors know what is expected of them."

#### Section 01500 TEMPORARY FACILITIES AND CONTROLS; PARAGRAPH 3.4D

**CHANGE:** This section shall be amended and modified to include the following requirements:

"The General Contractor shall install an orange safety fence or snow fence around the perimeter of the site prior to the start of other construction activities. The orange safety fence or snow fence shall be installed with metal or wood stakes spaces no further than 6'0 inches apart with the fence secured at the top, bottom and middle of each support. The fence shall be installed to avoid any sagging in excess of 3 inches. The following signs shall be attached to the fence at intervals not to exceed 25 feet on center:

- "Authorized Construction Personnel Only" – The signs shall be have a sign panel size of at least 200 square inches.

Interruptions in the fence for access shall be gated with temporary gates. The gates shall have the ability to be secured at the end of each workday to prevent illicit entry to the site.

The safety fence shall be inspected on a weekly basis and repaired as required to secure the site. Fence shall remain throughout the duration of construction until such time as the Owner authorizes sections of the fence to be removed or relocated.

The general contractor shall also install orange safety fence around the perimeter of trees to be saved. The safety fence shall be installed at the dripline of the tree and adjusted only for required site construction activities.

#### DIVISION 2 – SITE WORK

##### Section 02200 EARTHWORK PARAGRAPH 1.3.F:

The table on page 4 of this section shall be modified to specify the drainage layer for the ballfield (bid alternate 10B) is to be Granular Fill

##### Section 02227 AGGREGATE MATERIAL PARAGRAPH 2.1B:

The table on page 3 specifies the percent passing the 200 sieve is to be 0 to 20 percent. This shall be revised to 0 to 10 percent.

##### Section 02825 ORNAMENTAL FENCE - OPTION B

## DIVISION 16 – ELECTRICAL

### Section 16510 INTERIOR LUMINAIRES

**CHANGE** the lighting fixture schedule to include the following lighting fixtures as approved equals:

| <u>Fixture</u> | <u>Manufacturer</u>        | <u>Cat. No.</u>  |
|----------------|----------------------------|--|
| Type A5        | Focal Point                | FLU-22-B-340BX-S-277-G-RLP-WH                              |
| Type B4        | Atlantic                   | 68126H2-CDG  |
| Type E4        | FC Lighting                | FCLED18-120V-WH-SC   |
| Type G1        | Modular International Inc. | 13302/120-SM   |
| Type G1        | Luminaire Lighting         | ARV17-2PLC26-277-OPA-WHT-W/LAMPS                           |
| Type G3        | Lithonia                   | VGR12/26DTT GL 277 (borosilicate glass)                    |
| Type G3        | Luminaire Lighting         | ARV17-2PLC26-120-OPA-WHT W/LAMPS                           |
| Type R1        | Lithonia                   | VGR12/26DTT GL 120 (borosilicate glass)                    |
| Type S4        | Winona                     | CUSTOM   |
| Type S4        | Winona                     | PI-73-277-LO-BKS-FO-SHO-C2-B3-0-STD                        |
| Type S5        | Spaulding                  | WN1-A-H17-H3-F-Q-GR/ARM-W-6-R4-GR/RS-A14-40-C-A1-GR        |
| Type S5A       | Spaulding                  | WN2-A-H25-H3-F-G-GR/ARM-W-6-R4-GR/RSA20-40-C-A1-GR         |
| Type V1        | Architectural Area Ltg.    | SLVT-04A-1711  |
| Type V1        | Condaz                     | SPT15PF<br>(with custom modification for lensed top panel) |
| Type W1        | Architectural Area Ltg.    | SLVT-04A-1712  |
| Type W1        | Condaz                     | TR25P1<br>(with custom modification for lensed top panel)  |

**CHANGE** the lighting fixture schedule to include the following additional lighting fixtures:

Type: **S8**

Description: 42 inch high round bollard light with shielding louvers. Fixture finish shall be black.

Lamps: (1) MXR100/U/MED/0

Manufacturers: **McGraw-Edison** # BRL-42-100-MH-MT-BK

**Spaulding** # MO2-P10-Q-BL

**Lithonia** # KBR8-100M-R5-LV-TB

**Exceline** # PRB-10-5-MA-4

Type: **U1**

Description: Surface under cabinet task light fixture with acrylic lens. Fixture shall be 120 volt.

Lamps: (1) F13T5/WW

Manufacturers: **Alkco** # SFHP113

**Columbia** # UCS21-113-PH120

**Lightolier** # TSL0113W BPR

**Lithonia** # UC 21 120

**CHANGE** the lighting fixture schedule deleting the reference to the Prescolite specified luminaire for Type **E3** and replacing it with the following:

Type: **E3**      Dual-Lite      REMPD-VRS

**ADD:** "50/A3.13 **SIM.**" to empty wall section key in Fourth Grade Classroom 227 at Partial Plan A, Alternate 8 Skylights & Light Shafts.

**A1.7 REFLECTED CEILING PLAN SECOND FLOOR NORTH**

**ADD:** Note at North end of Storage 259 "Adjust ceiling height as required by louvers and ductwork. Provide vertically mounted acoustic ceiling panels at transition back to typical 9'-0" ceiling height."

**A3.4 WALL SECTIONS**

**CHANGE:** detail key at top of interior CMU veneer in wall section 15/A3.4 from "12/A3.13 SIM." to "7A/A3.14"

**A3.13 WALL SECTIONS**

**ADD:** Wall Section 50/A3.13 at Alternate #8 Light Shafts per attached ASK-10.

**A3.10 WALL SECTIONS**

**REVISE:** Wall section 34/A3.10 to include galvanized 3x3x1/4 steel angle cast into loading dock exposed slab edge similar to 39/A3.11.

**A5.5 INTERIOR ELEVATIONS OFFICE AND CLINIC**

**CHANGE:** detail number at Partial Plan at Front Office 105 from "29 to "30".

**ADD:** swinging gate at Front Office 105 as indicated in attached ASK-11 & ASK-12.

**A5.12 INTERIOR ELEVATIONS MAIN LOBBY**

**ADD:** Lobby wood panel joint detail per attached ASK-13.

**A7.1 DOOR SCHEDULE; DOOR & FRAME ELEV.; MISC. OPENINGS**

**CHANGE:** Door Number 202.1 from Door Type "A" to "E"

**Structural Drawings - General:**

**ADD:** Drawing S.8A "2nd Floor Slab Plan"

**ADD:** Galvanized L3x3x1/4" Angle cast into concrete slab at **the** exposed edge of the loading dock. Provide headed studs 4" long at 18" on center into the concrete slab. Weld studs to inside corner of angle at 45 degrees to the horizontal and vertical legs of the angle. Refer to Architectural Wall Section 39/A3.11. Provide angle at all exposed edges of loading dock slab. (approx. 20 linear feet of L3x3x1/4. G.C. must coordinate with architectural drawings prior to shop drawing submittals) Provide miter joint at the outside corner of the loading dock slab, seam weld and grind smooth prior to galvanizing.

**S.1 FOUNDATION PLAN NORTH**

**CHANGE:** Area near Loading Dock Ramp as shown in SSK-1

**S.3 SLAB LAYOUT PLAN NORTH**

**CHANGE:** entire drawing S.3 with Drawing S.3R1

**S.4 SLAB LAYOUT PLAN SOUTH**

**CHANGE:** entire drawing S.4 with Drawing S.4R1

**S.6 CONCRETE DETAILS**

**CHANGE:** Section 3/S1 as shown in SSK-3

**S.8 SECOND FLOOR FRAMING PLAN NORTH**



E4.1 CLOCK & SOUND **SYTSTEM** RISER

**ADD** a ceiling mounted speaker for Staff Prep 157 between the clock for Staff Prep 157 and the ceiling mounted speaker for Corridor 160.

**ADD** a ceiling mounted speaker for Staff Prep 244 between the clock for Staff Prep 244 and the ceiling mounted speaker for Corridor 246.

E4.4 FIRE ALARM RISER DIAGRAM

**CHANGE** room number for Second Grade 160 to Second Grade 166.

E4.4 SECURITY SYSTEM WIRING **DIAGRAM**

**DELETE** door number 136.2 from the list of doors (no card reader, exit device, or door contact switch).

**ADD** door contact switch connections only for the following doors: 152.2, 169.2, 312.1, 312.2.

**END OF ADDENDUM #4**

|                      |   |     |          |
|----------------------|---|-----|----------|
| Alternate #4         | Equipment Shed  | ADD | _____    |
| <b>Alternate #5A</b> | Carbon Dioxide Sensors  | ADD | \$ _____ |
|                      | #5B NOSE Technology Sensors   | ADD | \$ _____ |
| Alternate #6         | Card Reader System  | ADD | _____    |
| Alternate #7         | Upgrade Bituminous curb to Granite curb at service drive  | ADD | \$ _____ |
| Alternate #8         | Add twelve <b>(12)</b> skylights – 3x3<br>In 2 <sup>nd</sup> floor classrooms and six <b>(6)</b><br>Light tubes in 1 <sup>st</sup> floor classrooms | ADD | \$ _____ |
| Alternate #9         | Upgrade asphalt sidewalk at entrance to concrete or concrete pavers   | ADD | \$ _____ |
| Alternate #10        | Ballfield drainage layer and underdrain   | ADD | \$ _____ |
| Alternate #11        | Site Improvements - additional landscaping (Playground & Courtyard)   | ADD | \$ _____ |
| Alternate #12        | Energy Use Monitoring Provisions  | ADD | \$ _____ |
| Alternate #13        | Overlay pavement on Public Streets  | ADD | \$ _____ |

| <b>C.</b> | <u>UNIT PRICE SCHEDULE</u>   | <u>ADD</u> | <u>DEDUCT</u> |
|-----------|--|------------|---------------|
| 1.        | Open Excavation including backfill, per cubic yard                             | _____      | _____         |
| 2.        | Rock excavation, per cubic yard-open (indicate same amount for Add & Deduct)   | _____      | _____         |
| 3.        | Rock excavation, per cubic yard-trench (indicate same amount for Add & Deduct) | _____      | _____         |
| 4.        | Structural Fill, per cubic yard  | _____      | _____         |
| 5.        | Crushed Stone, per cubic yard  | _____      | _____         |

- E. Filed Subcontract Proposals as follows: (List those trades required, but do not combine **trades**, except as called for)

|    | <u>Trade</u>  | <u>Name of Subcontractor</u> | <u>Base Bid Amount</u> |
|----|---|------------------------------|------------------------|
| 1. | <u>Site Work</u>  | _____                        | \$ _____               |
| 2. | <u>Plumbing Heating<br/>&amp; Ventilating</u>                                   | _____                        | \$ _____               |
| 3. | <u>Electrical:</u><br><u>Division 16, All</u><br><u>Sections / All Drawings</u> | _____                        | \$ _____               |

The undersigned agrees that each of the above named Subcontractors represents a bonafide Subproposal based on the Plans and Specifications and will be used for the Work indicated at the Amount stated, unless a substitution is made by mutual agreement as provided for in Section I, Paragraph 6, "Instruction to Bidders". In the event Alternate Prices are requested and various trades are involved, the General Contractor may use properly filed Subproposals even though a change in Subcontractors from those carried in his Base Proposal may occur. If he does use different Subcontractors because of Alternates, he shall use supplemental sheets attached to the Proposal Form (2-BI) to indicate such changes.

- F. The undersigned agrees, if this Proposal is accepted, to sign a Contract and deliver it, along with the Bonds and Affidavits of all Insurance specified within twelve (12) calendar days after the date of notification of such acceptance, except if the 12<sup>th</sup> day falls on a holiday, a Saturday or Sunday, then the conditions will be fulfilled if the required documents are received before 12 O'Clock noon on the day following the holiday, or the Monday following the Saturday or Sunday and as a guarantee thereof, herewith submits a Certified or Cashier's Check or Bid Bond as required.

The undersigned agrees that each **of** the above Subcontractors represents a bonafide Subproposal based on the Plans and Specifications and will be used for the Work indicated at the Amount stated, unless a substitution is made by mutual agreement as provided for in the Instructions to Bidders. In the event Alternate Prices are requested and various trades are involved, General Contract Bidders may use properly filed Subproposals even though a change in Subcontractors from those carried in the Base Bid may occur. If different Subcontractors are used because of Alternates, attach supplemental sheets to this Bid Form (2-B1) to indicate such changes.

The undersigned agrees, if awarded the Contract, to complete the work to allow occupancy of building as described in Section 01010 "Summary of Work".

SECTION 00320

MAINE CONSTRUCTION BID DEPOSITORY  
(PUBLIC SCHOOL PROJECTS)  
PROPOSAL FORM FOR SUBCONTRACTORS (EXCEPT DIVISION 2)  
LONG FORM

To: \_\_\_\_\_

For green envelope copy, list any general contractor(s) excluded from your bid.

PROJECT: \_\_\_\_\_

DIVISION QUOTED: \_\_\_\_\_

PRICE QUOTED: DIVISION \_\_\_\_\_ \$ \_\_\_\_\_

A. The undersigned propose to furnish all labor and materials required for completing in accordance with the hereinafter described plans, specifications, general conditions and addenda, all the work specified in the above stated section(s) of the specifications and contract drawings dated July 15, 2004 prepared by Stephen Blatt Architects.

B. Alternate prices are submitted as follows: (Use separate sheets as necessary).

|                        |              |                 |
|------------------------|--------------|-----------------|
| AlternateNo. <u>2</u>  | Add \$ _____ | Deduct \$ _____ |
| AlternateNo. <u>3</u>  | Add \$ _____ | Deduct \$ _____ |
| AlternateNo. <u>4</u>  | Add \$ _____ | Deduct \$ _____ |
| AlternateNo. <u>5A</u> | Add \$ _____ | Deduct \$ _____ |
| AlternateNo. <u>5B</u> | Add \$ _____ | Deduct \$ _____ |
| AlternateNo. <u>6</u>  | Add \$ _____ | Deduct \$ _____ |
| AlternateNo. <u>8</u>  | Add \$ _____ | Deduct \$ _____ |
| AlternateNo. <u>12</u> | Add \$ _____ | Deduct \$ _____ |

C. The subcontract proposal includes the following addenda to the drawings and specifications: (List addenda and issue date of each)

\_\_\_\_\_  
\_\_\_\_\_

D. The undersigned agrees that, **if** he is selected as a subcontractor, he will execute with the selected general contractor, a subcontract in accordance with the terms of this subproposal, and furnish the general contractor with a **100%**performance bond and a **100%**payment bond for his portion of the work.

E. \_\_\_\_\_ License # (if applicable) \_\_\_\_\_

(Firm Name of Sub-bidder)

Signed by: \_\_\_\_\_

Address: \_\_\_\_\_  
Street City, State Zip

F. All foreign corporations intending to do business in Maine must comply with the provisions of **13A M.R.S.A.**, Chapter 12 and shall contact the Secretary of State for compliance.

C. Accessories: Aluminum or zinc castings shall be used for all rail ends, post caps, and miscellaneous hardware. All castings shall be products of the U.S.A. Only stainless steel fasteners may be used with these accessories.

#### 2.03 Finish:

A. Pretreatment: A five-stage non-chrome pretreatment shall be applied. The first step shall be a chemical cleaning, followed by a water rinse. The final stage shall be a dry-in-place activator, which produces a uniform chemical conversion coating for superior adhesion.

B. Coating: Fence materials shall be coated with FencCoat™, a TGIC polyester powder-coat finish system applied by Jerith Manufacturing Company. Epoxy powder coatings, baked enamel or acrylic paint finishes are not acceptable. The FencCoat finish shall have a cured film thickness of 2-3 mils minimum.

C. Tests: The cured FencCoat finish shall meet the following:

1. Humidity resistance of 1,000 hours using ASTM D2247.
2. Salt-spray resistance of 1,000 hours using ASTM B117.
3. Accelerated weathering for 1,000 hours under Method 6152 of Federal Test Method 141 shall show no adhesion loss, with only slight fading, chalking and water staining.
4. Outdoor weathering shall show no adhesion loss, checking or crazing, with only slight fade and chalk when exposed for 1 years in Florida facing south at a 45-degree angle.
5. Minimum hardness of 2H using ASTM D3363.

#### 2.04 Manufacture and Fabrication:

A. Fence Sections shall be manufactured with 1" square x 18 gauge (.049) tubing welded every 12" to the top and bottom of welded wire panels. Welded wire panels shall be comprised of [2 (.2625"), 4 (.2253"), or 6 (.192") gauge] (Washburn & Moen Standard) vertical wires and 6 (.192") gauge horizontal wires. Verticals of 2 (.2625") and 4 (.2253") gauge shall be placed 3.5" on center and 6 (.192") gauge verticals shall be placed on 1.75" centers. Horizontal wire shall be 6 gauge and spaced to provide style differences but no further apart than would allow for substantial rigidity of vertical wires. Horizontal and vertical wires shall be assembled by automatic machines or other suitable mechanical means that will ensure accurate spacing and alignment of all members of the finished fabric. The wires shall be connected at every intersection by electric resistance welding in accordance with all requirements in ASTM A185. Sections shall be capable of supporting a 550 lb load applied vertically at midspan and a concentrated load of 225 lbs applied horizontally at midspan without permanent deformation.

- E. Check each post for vertical and top alignment, and maintain in position during placement and finishing operation.
- F. **Align** fence panels between posts. Firmly attach rail brackets to posts with 1/4" (6 mm) bolt and lock nut, ensuring panels and posts remain plumb.

### 3.03 GATE INSTALLATION

- A. Install gates plumb, level and secure for full opening without interference.
- B. Attach hardware **by** means which will prevent unauthorized removal.
- C. Adjust hardware for smooth operation.

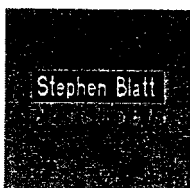
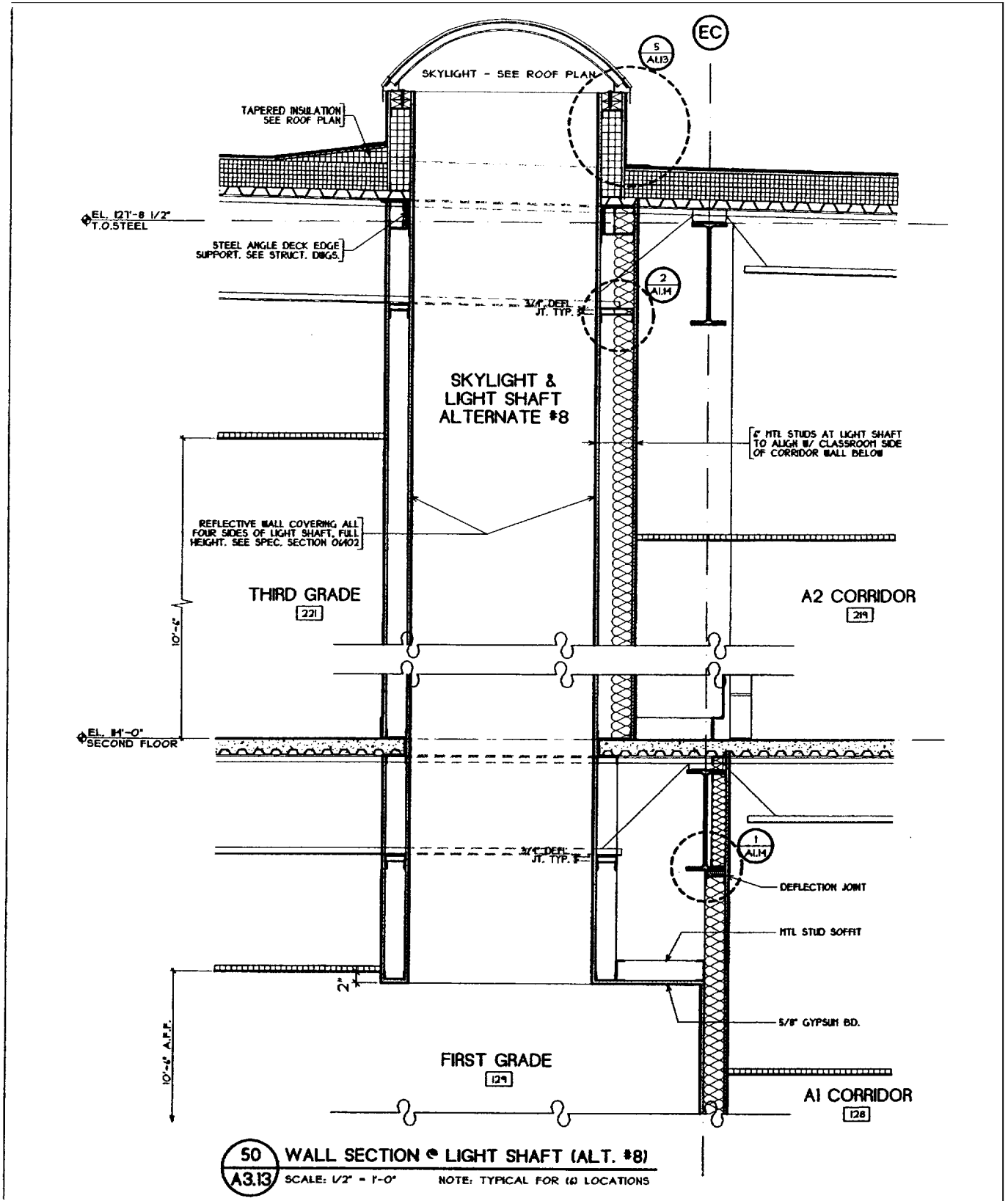
### 3.04 ACCESSORIES

- A. Install **post** caps and other accessories to complete fence.

### 3.05 CLEANING

- A. Clean up debris and unused material, and remove from site.

END OF SECTION 02825



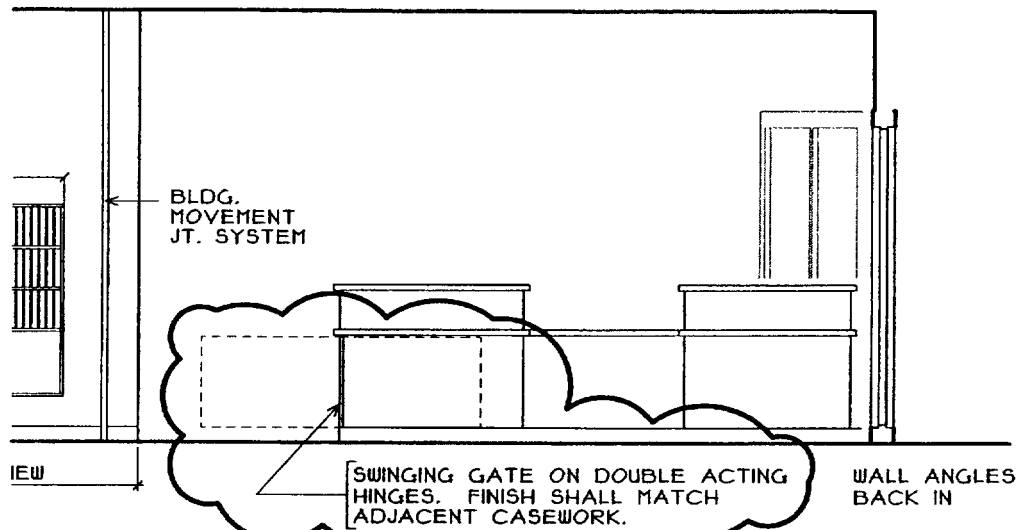
East End School  
Portland, Maine

Addendum #4

Reference: A3.13

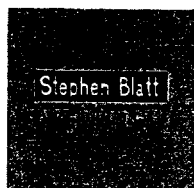
Date: August 10, 2004

**ASK-10**



4A FRONT OFFICE 105

A1.1 SCALE: 1/4" = 1'-0"



East School  
Maine

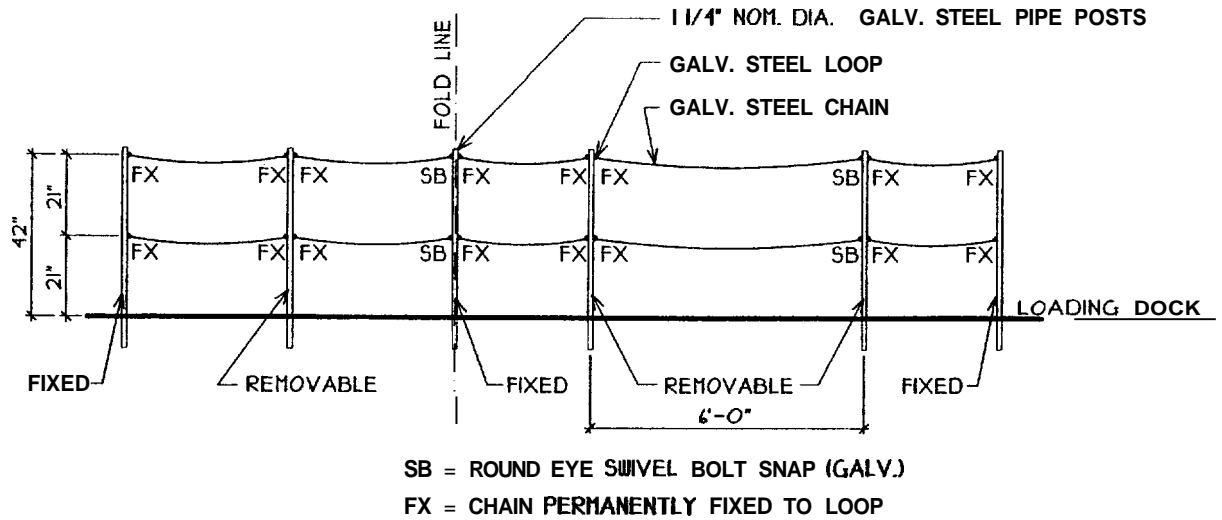
Addendum #4

Reference: A5

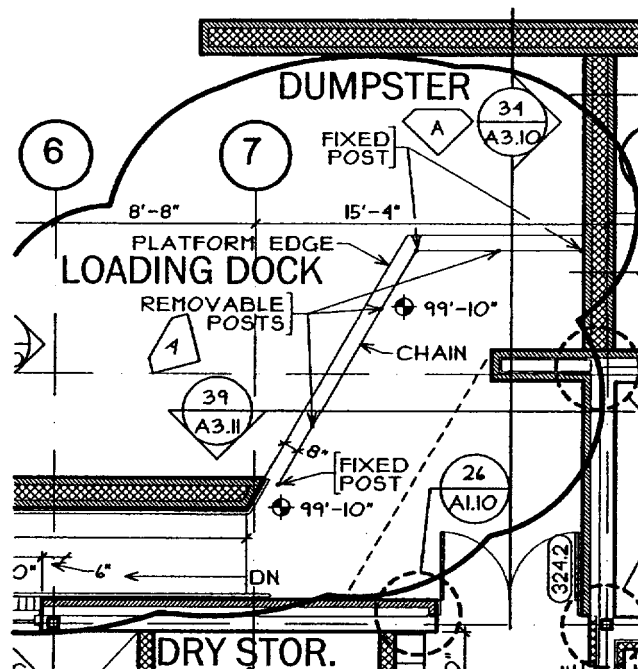
Date: August 10, 2004

ASK-12



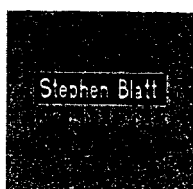


**A** **LOADING DOCK GUARD ELEVATION**  
**A11** 1/4" = 1'-0"



## REVISIONS TO LOADING DOCK PLAN

SCALE: 1/8" = 1'-0"



East End  
 Maine

ddedum 4

Reference: A11

Date: August 12, 2004

# ASK-I4

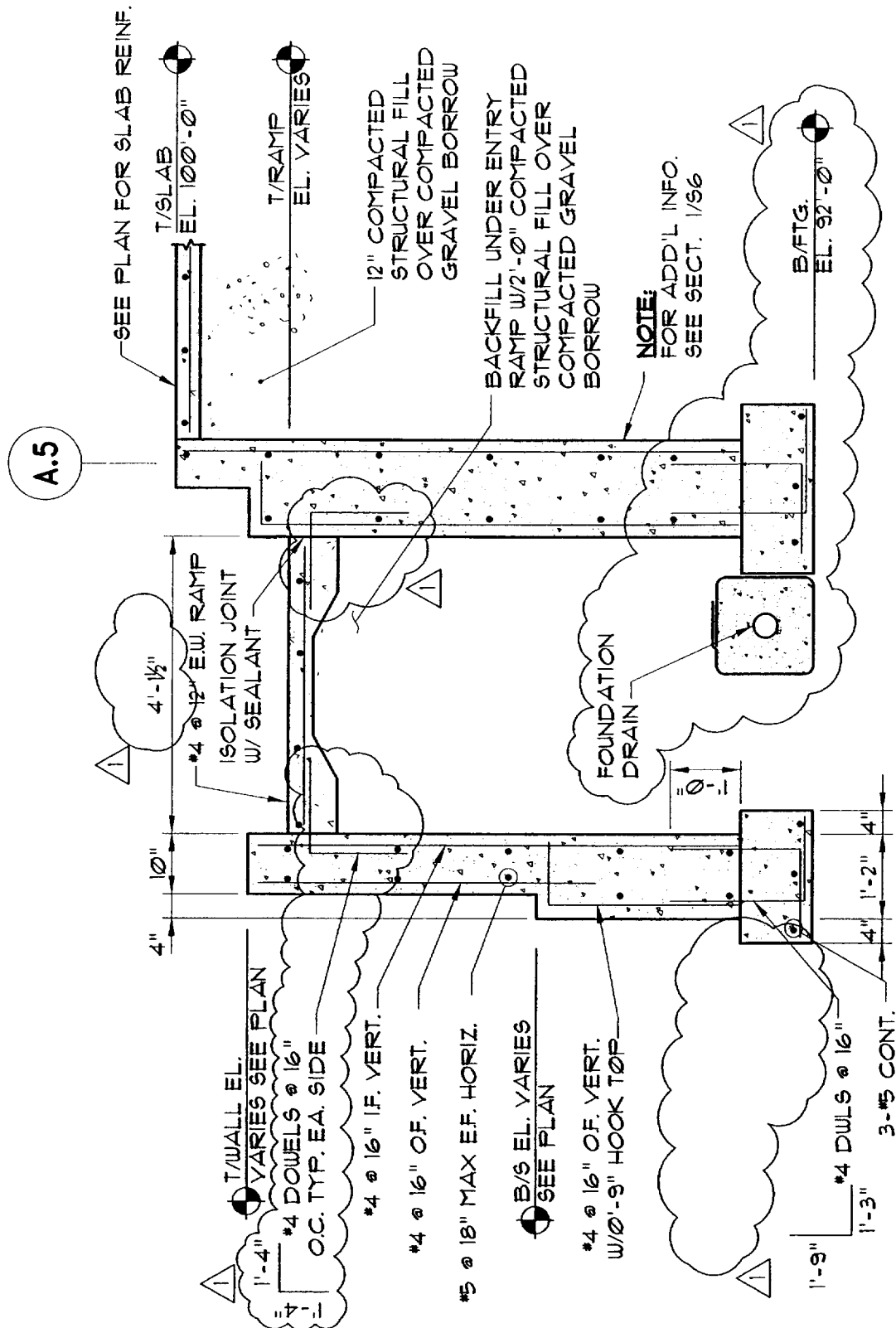


**EAST END  
ELEMENTARY SCHOOL  
PORTLAND, MAINE**

SCALE: 1/2"=1'-0"  
DATE: 8/11/04  
DESG BY: KIM  
PROJECT: 03323

SSK-2

PINKHAM & GREER CONSULTING ENGINEERS 170 US ROUTE ONE, FALMOUTH, MAINE TELEPHONE: (207) 781-5242



## SECTION

3

$$1/2'' = 1 - 0''$$

15

**FILE COPY**

**ADDENDUM #1** Dated **August 4, 2004**

TO CONTRACT DOCUMENTS FOR:

**East End Elementary School**

**Portland, Maine**

**City of Portland BID # 8704**

PREPARED BY:

**STEPHEN BLATT ARCHITECTS**

**P.O. BOX 583**

**10 DANFORTH STREET**

**PORTLAND, ME 04112-0583**

8 A 4

Dated: July 15, 2004

To all interested parties:

This addendum modifies, amends, and supplements designated parts **of** the Contract Documents, Project Manuals, and Drawings for the **East End Elementary School** and is hereby made an integral part thereof by reference and shall be as binding as though inserted in its entirety in the location specified herein. It shall be the responsibility *of* the Contractor to notify all Subcontractors and suppliers he/she proposes to use for the various parts **of** the work for any changes or modifications contained in this addendum. The Contractor shall acknowledge receipt of this addendum in the appropriate section of the Bid Form.

**This ADDENDUM consists of 20 pages.**

**SPECIFICATIONS**

**PROJECT DIRECTORY**

**DELETE:** '& Electrical' following 'Mechanical'

**DIVISION 0 - CONTRACT REQUIREMENTS**

Section 00020 INVITATION TO BID

**CLARIFICATION:** Bids will *be* opened and read aloud in **Rm. 209**, Portland City Hall.

**A Mandatory** pre-bid conference ~~for~~ General Contractors was held on Thursday, **July 29th, 2004 at 10:00 a.m.** at City Hall. Portland.

## **GENERAL CONTRACTORS ATTENDING THE MANDATORY PRE-BID CONFERENCE**

| <b>CONTRACTOR</b>        | <b>LOCATION</b>      | <b>CONTACT PERSON</b> | <b>PHONE #</b> |
|--------------------------|----------------------|-----------------------|----------------|
| Ledgewood Construction   | Portland             | Jim Hoy               | 767-1866       |
| P.J. Stella Construction | Wakefield, <b>MA</b> | Larry Erikson         | (781) 245-8844 |
| <b>C.M.</b> Cimino, Inc. | Westbrook            | Michael Cimino        | 854-8876       |
| J.C.N. Construction      | Manchester, NH       | Michael Stevens       | (603) 624-7080 |
| Pizzagalli Construction  | South Portland       | John Monaghan         | 874-2323       |
| Payton Construction      | Saco. <b>ME</b>      | Jeff Becker           | 286-8500       |

**ONLY THE GENERAL CONTRACTORS ATTENDING THE MANDATORY PRE-BID CONFERENCE ABOVE WILL BE CONSIDERED.** Questions raised at the pre-bid conference will be addressed through a written addendum. No verbal representations or comments made by the Owner or its representatives should be used for bidding the contract. Only items contained in a written addendum (if any) shall be used for this purpose.

### **Modification/Amendment/Clarification to Information to Bidders**

1. During the July 29<sup>th</sup> prebid meeting a potential bidder inquired whether any of the existing foundation was left following demolition.

The following response has been provided:

Only the hold-down slab for the oil tank remains in place. The tank itself was removed but the slab was well below any new work and could be left in place.

2. During the July 29<sup>th</sup> prebid meeting a potential bidder inquired about possible soil contamination in the area of the removed oil tank.

The following response has been provided:

There was no soil contamination in this area. The tank that was removed was fairly new. Report to be issued in future addenda.

3. During the July 29<sup>th</sup> prebid meeting a potential bidder inquired about the project budget.

The following response has been provided:

\$8.1m based on State of Maine Project Budget dated 7/14/04.

4. During the July 29<sup>th</sup> prebid meeting a potential bidder inquired whether Masonry is a filed sub-bid.

The following response has been provided:

Masonry is not a file sub-bid. See below for correction to Specification Section 04810.

5. During the July 29<sup>th</sup> prebid meeting a potential bidder requested clarification as to who carries Allowance No. 2. Electrical Utility Excess Charges.

The following response has been provided:

The General Contractor shall carry Allowance ~~No.~~ 2 Electrical Utility Excess Charges.

6. During the July 29<sup>th</sup> prebid meeting a potential bidder inquired about any requirement for chain link construction fencing.

The following response has been provided:

This will be clarified in future addenda.

7. During the July 29<sup>th</sup> prebid meeting a potential bidder inquired about possible contamination of the remaining soil stockpiled on the site.

The following response has been provided:

The pile of soil is not contaminated. Report ~~to~~ be issued in future addenda.

8. During the July 29<sup>th</sup> prebid meeting a potential bidder asked for clarification on how waste disposal ~~is~~ to be handled.

The following response has been provided:

This will be clarified in future addenda.

9. During the July 29<sup>th</sup> prebid meeting a potential bidder inquired about construction access to the site and staging areas.

The following response has been provided:

Westbound traffic lane ~~on~~ North St. shall be maintained throughout construction. Two parking spaces for the community garden shall be provided. See Drawing C-2 for further information.

#### Section 00810 EXHIBIT "A" SUPPLEMENTARY GENERAL CONDITIONS

##### Article 9 Payments and Conditions

##### **E. 9.3.1.2.**

##### **CHANGE:**

*"90percent" to "95 percent"*

### **DIVISION 1**

### **MODIFICATION/CLARIFICATION TO DIVISION 1 TECHNICAL SPECIFICATIONS**

#### **1. Section 01230 ALTERNATES**

##### **3.1 Selection of Bid Alternates**

##### **CHANGE:**

The dates for the selection of certain alternates shall be revised as follows:

| <b>Bid<br/>Alternate</b> | <b>Title</b>                         | <b>Date Until Which the<br/>Owner May Select</b> |
|--------------------------|--------------------------------------|--|
| 1                        | Retaining Wall at Edge of Ball Field | November 1, 2004                                 |
| 7                        | Upgrade of Curb                      | May 1, 2005                                      |
| 9                        | Sidewalk Upgrades                    | May 1, 2005                                      |
| 10                       | Athletic Field Turf Drainage         | November 1, 2004                                 |
| 11                       | Landscape and Site Improvements      | May 1, 2005                                      |
| 13                       | Additional Overlay in Public Street  | July 15, 2005                                    |

2. Section 01230 ALTERNATES

3.1R

**CHANGE:**

*"...provide additional landscape improvements as indicated on Drawing C-20" to  
'provide additional landscape improvements as indicated on Drawing C-8, Landscape Plan (by  
Carroll Associates)".*

3. Section 01270 UNIT PRICES

3.1, Item OS, 1

**CHANGE:** The description currently states:

*"1. Description: Ballfield Blanket Drain per Division 2 Section Storm Water Systems."*

This shall be revised to state:

"1. Description: Ballfield Blanket Drain per Division 2 Section 02200 Earthwork using "granular fill" material as specified in this section.

**MODIFICATION/CLARIFICATION TO THE BID FORM**

1. Section 00320 – Proposal Form for Subcontractors:

The bid documents contain bid forms to be used for Filed Subcontractors. DIVISION 2 contractors shall use the revised bid form appended ~~to~~ this section and consisting of five (5) pages. This revised bid form includes quantities to be used for determining the bid price of the filed subbid for this work.

**ATTACHMENTS**

- Revised Bid Forms
- SK-C-1

Section 04810 UNIT MASONRY ASSEMBLIES

1.2 Summary

DELETE:

- E. Filed Subcontract Proposal: The scope of work for projects requiring "Filed Subcontract Proposals" shall also include as follows:

1. Staging and temporary enclosures complying with requirements of Division 1 Section "Temporary Facilities and Controls" and cold weather construction requirements, shall be included as work of this section.
2. Temporary heat for exterior masonry work complying with requirements of Division 1 Section "Temporary Facilities and Controls", and cold weather construction requirements, shall be included as work of this section.
3. Temporary heat for interior masonry work complying with requirements of Division 1 Section "Temporary Facilities and Controls", and cold weather construction requirements, shall be included as work under the General Contractor.

#### SECTION 08711 DOOR HARDWARE

**CHANGE:** The word "Storeroom" in subparagraph 2.3, E, 1, function B to read "Storeroom, tactile warning"

**CHANGE:** The function number "38" in subparagraph 2.3, E, 1, function G to read "41"

**DELETE:** Subparagraph 2.5, A, 1 and 3.

**DELETE:** Exit device functions for Von Duprin and Precision in paragraph 2.5 G.

**CHANGE:** Subparagraph 2.6, A, 1 to read "1. Cylinders for Exterior Doors: Signature series keyway."

**CHANGE:** The word "Exterior" to read "Interior" in subparagraph 2.6, A, 2.

**DELETE:** Subparagraph 2.10, A, 1, b.

**DELETE:** Subparagraph 2.10, A, 2, b.

**DELETE:** Model numbers for Sargent closers in Subparagraph 2.10, C, 9.

**CHANGE:** Subparagraph 2.13, A, 1 to read "1. Sargent Manufacturing Company; Div. of ESSEX Industries, Inc. (SGT).

**DELETE:** Subparagraphs 2.13, B, 2 through 5.

**DELETE:** Subparagraph 2.13, E, 1 and 2.

**ADD:** "At door tags 155.1, 203.1, and 243.1, provide function type 50 and provide 2 emergency keys." at the end of HW12.

**DELETE:** Tag 216.1 in HW18.

**ADD:** Tag 216.1 in HW19.

**CHANGE:** Function A to D in HW22.

**ADD:** Deadlock (function A) to HW22.

**DELETE:** Tag 136.2 in Alternate No. 6.

#### DRAWINGS

##### C-1 COVER SHEET

**CHANGE:** Listed Mechanical Engineer from 'Bartlett Design' to 'Bennett Engineering, 7 Bennett Road, Freeport, ME 04032 (207) 865-9475'.

**ADD:** Add Drawing C-10, Grading and Drainage Plan, to the Index of Drawings.

##### C-7 SITE LAYOUT PLAN WITH DETAIL REFERENCES AND NSC-4 PLAN PROFILE

**CLARIFICATION:** The onsite parking lot shows the parking space numbers. These numbers are for reference only. The spaces do not need to be marked or painted.

##### C-7 SITE LAYOUT PLAN WITH DETAIL REFERENCES

**CHANGE:** The flagpole is referenced to Detail C and Drawing C-17. This detail reference should be changed to Detail H.

C-6, C-7 AND C-10

**CHANGE:** The grades and layout of the ramp to the loading dock on the northwest corner of the building have been revised as shown on SK-C-1, attached.

A1.1 GROUND FLOOR PLAN NORTH

**CHANGE:** Loading Dock ramp configuration per attached ASK-1.

A1.3 SECOND FLOOR PLAN NORTH

**ADD:** '12A/A7.3' to empty plan detail key at column lines U/B1/20.

A1.4 SECOND FLOOR PLAN SOUTH – **ROOM** FINISH SCHEDULE

**ADD:** note '& metal nosings' to remarks column at Room Finish Schedule Key 3 and 4.

**ADD:** note 'Provide metal nosings at stair treads' to General **Room** Finish Note #14.

AI.5 REFLECTED CEILING PLAN GROUND FLOOR NORTH

**CHANGE:** Ceiling height at Rm. No. 306 Adult Stacks from 10'-6" to 12'-0"

**CHANGE:** Ceiling grid at lower portion of Rm. No. 104 Office Lobby, near benches, from 2'-0" x 4'-0" to 2'-0" x 2'-0"

**CHANGE:** Ceiling grid at Rm. No. 101 Vestibule from 2'-0" x 4'-0" to 2'-0" x 2'-0"

**CHANGE:** Ceiling grid at Rm. No. 158 Vestibule from 2'-0" x 4'-0" to 2'-0" x 2'-0"

AI.7 REFLECTED CEILING PLAN SECOND FLOOR NORTH

**CHANGE:** Ceiling height at Rm. No. 202 Lit. Book Storage from 9'-0" to 8'-0"

A1.11 PLAN DETAILS

**ADD:** Note 'Masonry control joint typical for outside corner at angled walls – see Building Elevations'

A2.1 BUILDING ELEVATIONS

**CHANGE:** Elevations 7/A2.1 and 10/A2.1 per attached ASK-7.

A2.2 BUILDING ELEVATIONS

**CHANGE:** Elevations 23/A2.2 and 27/A2.1 per attached ASK-8.

A2.4 WINDOW SCHEDULE & DETAILS

**ADD:** Note 'Provide sash travel limiter hardware' to window type JJ2 remarks column.

A3.1 WALL SECTIONS

**CHANGE:** Note at perimeter drain from 'Slope to daylight – see fdn. plan' to 'Slope to catch basin – see fdn. plan & civil dwgs., typical'

**CHANGE:** Room number of Fourth Grade Classroom from 226 to 227 at Wall Section 3/A3.1

**ADD:** Building Section Notes per attached ASK-3.

A3.4 WALL SECTIONS

**CHANGE:** note at wall section 15/A3.4 from '6" reinforced conc. Slab – see struct. Dwgs.' to 'Reinforced conc. slab is part of footing – see struct. Dwgs.'.



A3.5 WALL SECTIONS

**CHANGE:** Note with two arrows reading 'Type 1 CMU veneer' to 'Cavity drainage material' at Chimney Plan Detail 18A/A3.5.

**CHANGE:** Door sill detail key from 18/A7.2 to 37/A1.14 at Wall Section 16/A3.5.

A3.8 WALL SECTIONS

**ADD:** Note 'Type 2' to CMU veneer above exterior door on Wall Section 27/A3.8

A3.10 WALL SECTIONS

**CHANGE:** note at Partial Wall Section 34C/A3.10 from 'T.S. 3x3x1/4' to 'T.S. 5x5x1/2'.

A3.11 WALL SECTIONS

**CHANGE:** note at Wall Sections 37/A3.11 & 38/A3.11 from '6" reinforced conc. Slab – see struct. Dwgs.' to 'Reinforced conc. slab is part of footing – see struct. Dwgs.'.

A5.2 INTERIOR ELEVATIONS OFFICES

**CHANGE:** Interior Elevation 1/A1.4 per attached ASK-4.

A5.7 INTERIOR ELEVATIONS OT/PT, STAFF, LOBBY, MISC.

**ADD:** BS2 and Grip Strip to Room No. 122 Reading Recovery per attached ASK-5.

**CHANGE:** Width of Whiteboard at Room Nos. 140 & 230 per attached ASK-5.

A5.10 INTERIOR ELEVATIONS TOILET ROOMS LOCKER ROOMS

**ADD:** Sanitary napkin disposal per attached ASK-6.

A5.11 INTERIOR ELEVATIONS TOILET ROOMS

**ADD:** Sanitary napkin disposal per attached ASK-6.

A7.1 DOOR SCHEDULE; DOOR & FRAME ELEV.; **MISC.** OPENINGS

**CHANGE:** jamb detail key from '9A' to '12A' at storefront frame type **E**

**CHANGE:** head detail key from '12A' to '6A' at storefront frame type **E**

**ADD:** the note 'similar' to mullion detail 17A/A7.3 at storefront frame type **E**

End of Addendum.

## SECTION 00320

**MAINE CONSTRUCTION BID DEPOSITORY  
(PUBLIC SCHOOL PROJECTS)  
PROPOSAL FORM FOR DIVISION 2 SUBCONTRACTORS  
LONG FORM**

To: \_\_\_\_\_

\_\_\_\_\_  
(For green envelope copy, list any general contractor(s) excluded from your bid)

PROJECT: East End Elementary School

SECTION(S) QUOTED: Division 2 Work

PRICE QUOTED: \_\_\_\_\_ \$ \_\_\_\_\_  
(numerals and in writing)

A. The undersigned proposes to furnish all labor and materials required for completing in accordance with the hereinafter described plans, specifications, general conditions and addenda, all the work specified in the above stated sections(s) of the specifications and contract drawings dated July 15, 2004 prepared by Stephen Blatt Architects and being all Division 2 work of the project as shown on Drawings C-1 to C-32 and NS-C-1 to NS-C-15 and other Division 2 work required by the Contract Documents and Drawings.

B. Alternate prices ~~are~~ submitted as follows: (Complete bid forms and provide alternate bid and unit prices on attached pages).

Alternate No. 1 Retaining Wall/Edge of Ballfield (See attached page 3). \$ \_\_\_\_\_

Alternate No. 7 Upgrade of Curb (See attached page 3). \$ \_\_\_\_\_

Alternate No. 9 Sidewalk Upgrades (See attached page 4). \$ \_\_\_\_\_

Alternate No. 10 Athletic Field Turf Drainage (See attached page 4). \$ \_\_\_\_\_

Alternate No. 11 Landscape and Site Improvements (See attached page 5). \$ \_\_\_\_\_

Alternate No. 13 Additional Overlay on Public Streets (See attached page 5). \$ \_\_\_\_\_

C. The subcontract proposal includes the following addenda to the drawings and specifications:  
(List Addenda and Issue Date of Each)

\_\_\_\_\_

D. The undersigned agrees that, if he is selected as a Subcontractor, he will executed with the selected General Contractor a Subcontract in accordance with the terms of this Subproposal, and furnish the General Contractor with a 100% Performance Bond and a 100% Payment Bond for this portion of the Work.

E. \_\_\_\_\_ License # (if applicable) \_\_\_\_\_  
(Firm Name of Subbidder)

Signed by: \_\_\_\_\_ Date \_\_\_\_\_

Address: \_\_\_\_\_  
Street City State Zip

- F. All foreign corporations intending to do business in Maine must comply with the provisions of 13A M.R.S.A., Chapter 12 and shall contact the Secretary of State for compliance.

Note to General Contractors:

The General Contractor **shall** use the bid prices from this form and apply any markup to the subcontractor price. The General Contractor's markup shall be determined by the Owner from the General Contractor's bid price **divided** by the Division Two Subcontractor price. This markup shall be used when any complete or any portion of the bid alternate is selected.

**BID ALTERNATE 1: Retaining wall along the edge of Ballfield:** This bid alternate is a lump sum alternate. The credit lump sum price for this alternate is as follows:

| ITEM  | DESCRIPTION   | UNIT PRICE<br>(in numerals) | UNIT     | QUANTITY | PRICE<br>(in numerals)           |
|---|---|-----------------------------|----------|----------|----------------------------------|
| 1A  | Delete Modular Block Retaining Wall and grade the site as shown on the alternate. |                             | Lump Sum | 1        |                                  |
| <b>TOTAL PROJECTION FOR BID ALTERNATE 1</b> |   |                             |          |          | <b>TOTAL PRICE (in numerals)</b> |

**NOTES:**

1. The total price (Item 1A) is the amount to be entered on page 1 of the bid form for Bid Alternate 1.

**BID ALTERNATE 7: Upgrade of Bituminous Curb to Granite Curb:** This bid alternate is a unit price alternate. The following unit prices and bid prices determined by extension shall be summed to determine the bid price for this alternate.

| ITEM  | DESCRIPTION   | UNIT PRICE<br>(in numerals) | UNIT        | QUANTITY | PRICE<br>(in numerals)           |
|---|---|-----------------------------|-------------|----------|----------------------------------|
| 7A  | Upgrade of Bituminous Concrete to Type 1 Straight Vertical Granite Curb (MDOT specifications).  |                             | Linear Foot | 20       |                                  |
| 7B  | Upgrade of Bituminous Concrete to Type 1 Circular (MDOT specifications).  |                             | Linear Foot | 10       |                                  |
| 7C  | Upgrade of Bituminous Concrete to Type 5 Sloped Granite Curb (MDOT specifications).   |                             | Linear Foot | 400      |                                  |
| 7D  | Provide and install 6'-0" of Type 1 to Type 5 Transition Curb (MDOT specifications).  |                             | Each        | 5        |                                  |
| 7E  | Upgrade of Bituminous Concrete to Type 1 Vertical Granite Curb Inlet including upgrading the Precast Concrete Catch Basin to provide a 24 x 30 inch rectangular opening and revising the Catch Basin Frame from a Four Flange to a Three Flange Unit. |                             | Each        | 2        |                                  |
| <b>TOTAL PROJECTION FOR BID ALTERNATE 7</b> |   |                             |             |          | <b>TOTAL PRICE (in numerals)</b> |

**NOTES:**

1. The total price (sum of Items 7A thru E) is the amount to be entered on page 1 of the bid form for Bid Alternate 7.

**BID ALTERNATE 9: Sidewalk Upgrades:** This bid alternate is a unit price alternate. The following unit prices and bid prices determined by extension shall be summed to determine the bid price for this alternate.

| ITEM  | DESCRIPTION | UNIT PRICE<br>(in numerals) | UNIT        | QUANTITY | PRICE<br>(in numerals)           |
|---|-------------|-----------------------------|-------------|----------|----------------------------------|
| 9A  |             |                             | Square Yard | 300      |                                  |
| 9B  |             |                             | Square Foot | 3,500    |                                  |
| <b>TOTAL PROJECTION FOR BID ALTERNATE 9</b> |             |                             |             |          | <b>TOTAL PRICE (in numerals)</b> |

## NOTES:

1. The total price (sum of Items 9A and 9B) is the amount to be entered on page 1 of the bid form for Bid Alternate 9.

---

| ITEM   | DESCRIPTION  | UNIT PRICE<br>(in numerals) | UNIT        | QUANTITY | PRICE<br>(in numerals)           |
|--|--|-----------------------------|-------------|----------|----------------------------------|
| 10-A   | Install Underdrain Below The Ballfield Including Cleanouts |                             | Linear Foot | 1010     |                                  |
| 10-B   | Install Blanket Drain Below The Ballfield                  |                             | Cubic Yard  | 1,250    |                                  |
| <b>TOTAL PROJECTION FOR BID ALTERNATE 10</b> |  |                             |             |          | <b>TOTAL PRICE (in numerals)</b> |

## NOTES:

1. The total price (sum of Items 10A and 10B) is the amount to be entered on page 1 of the bid form for Bid Alternate 10.

**BID ALTERNATE 11: Additional Landscaping and Improvements:** This bid alternate is a lump sum alternate to provide and install the additional plantings labeled as Alternates (alt) on Drawing C-8. The following unit prices and bid prices determined by extension shall be summed to determine the bid price for this alternate.

The drawings indicate additional plantings (Drawing C-8) . The base bid excludes these items.

| ITEM   | DESCRIPTION   | UNIT PRICE<br>(in numerals) | UNIT     | QUANTITY | PRICE<br>(in numerals)           |
|--|---|-----------------------------|----------|----------|----------------------------------|
| 11A  | Additional Landscaping and Improvements (Drawing C-8) . |                             | Lump Sum | 1        |                                  |
| <b>TOTAL PROJECTION FOR BID ALTERNATE 11</b> |   |                             |          |          | <b>TOTAL PRICE (in numerals)</b> |

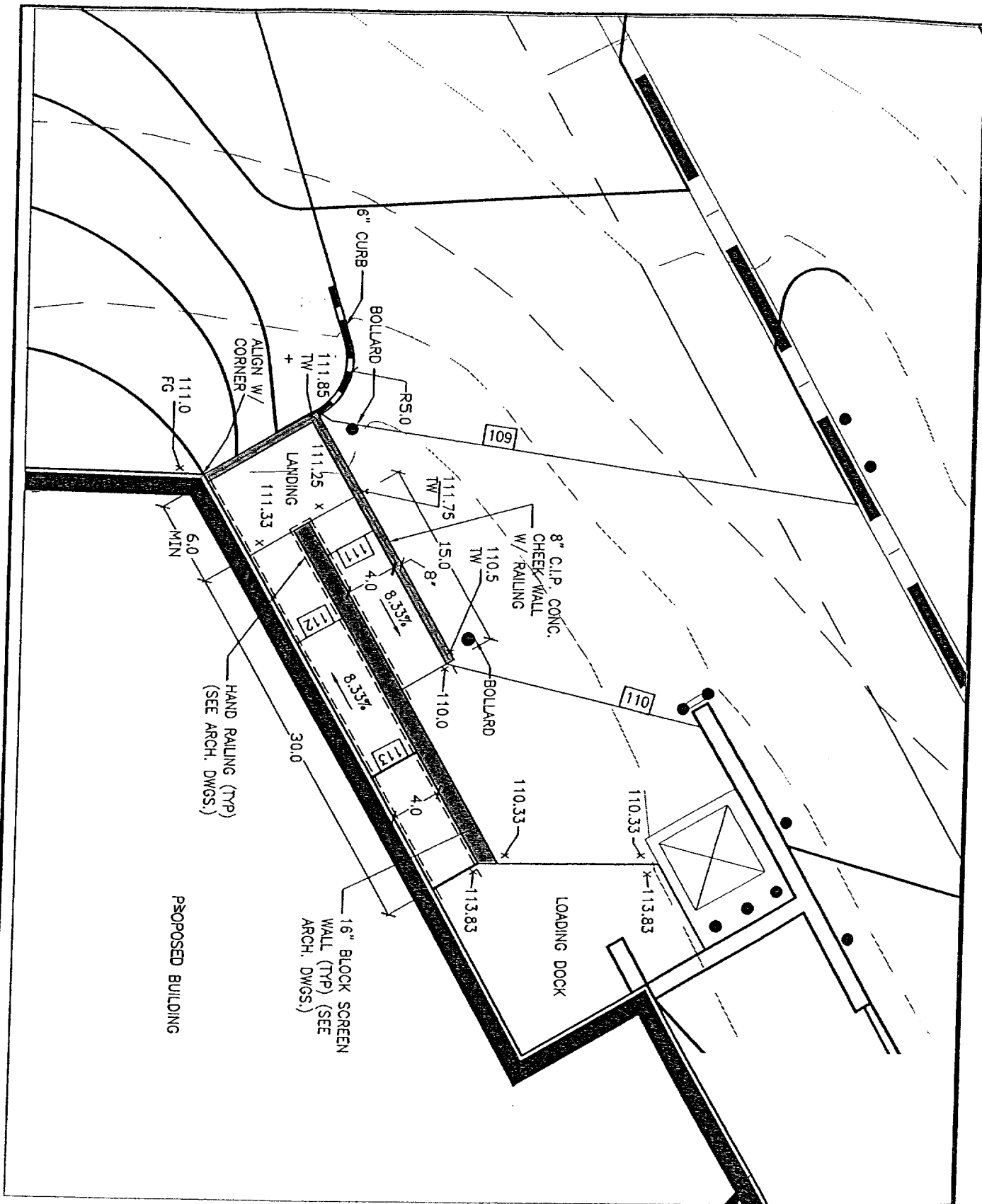
NOTES:

1. The total price (Item 11A) is the amount to be entered on page 1 of the bid form for Bid Alternate 11.

**BID ALTERNATE 13: Additional Overlay on Public Streets:** This bid alternate is a unit price alternate. The following unit prices and bid prices determined by extension shall be summed to determine the bid price for this alternate.

| ITEM | DESCRIPTION  | UNIT PRICE<br>(in numerals) | UNIT | QUANTITY | PRICE<br>(in numerals) |
|------|--|-----------------------------|------|----------|------------------------|
| 13A  | Provide additional overlay pavement on Public Streets. Per ton based upon certified truck slips. |                             | Ton  | 250      |                        |
| 13B  | Raise Existing Manhole and Catch Basin Castings.   |                             | Each | 14       |                        |
|      |  |                             |      |          |                        |

1. The total price (sum of Items 13A and 13B) is the amount to be entered on page 1 of the bid form for Bid Alternate 13.



PROJECT: EAST END SCHOOL

DATE: AUGUST 3, 2004

CARROLL ASSOCIATES  
Landscape Architects

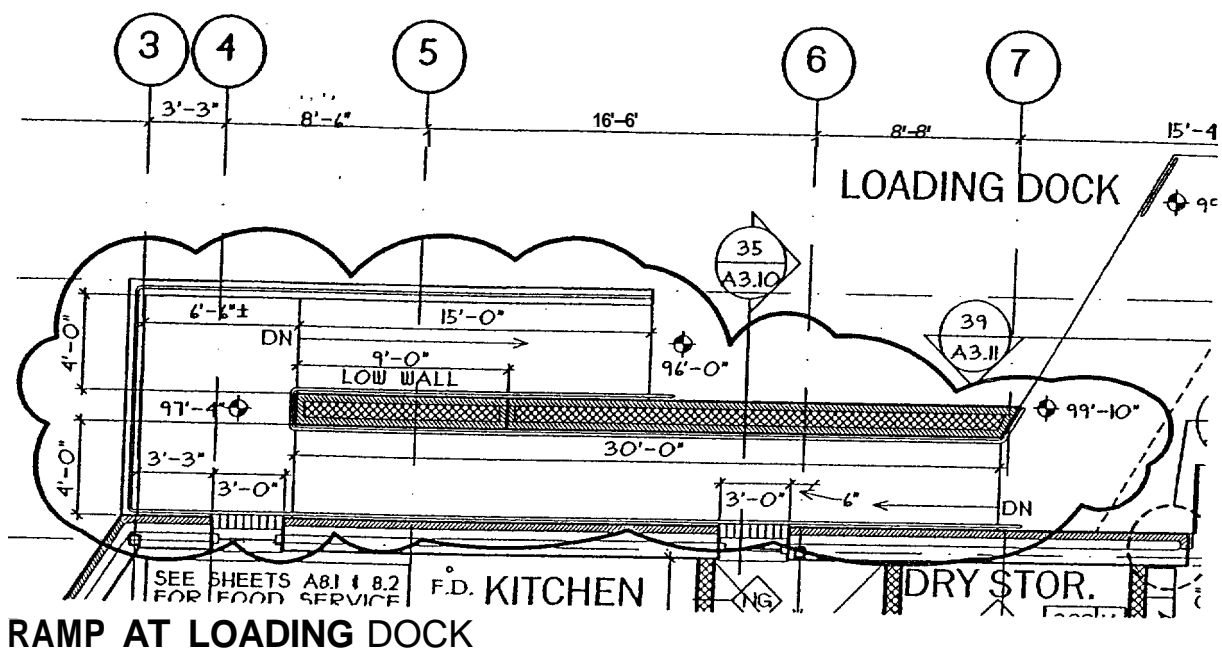
SHEET NO.

DRAWING TITLE: REVISED SERVICE AREA  
# LOADING DOCK

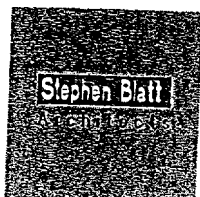
SCALE 1" = 10'

75 Market Street Portland, ME  
PH. 207.772.1552 FAX 207.772.0712

SKC-1



**SCALE:** 1/8" = 1'-0"



## East End School Portland, Maine

## Addendum #1

Reference. A I. I

Date: August 3, 2004

# ASK-1



**BUILDING SECTION NOTES:****MASONRY NOTES:**

1. COORDINATE MASONRY STRIPING AND PATTERNS WITH BUILDING ELEVATIONS. SEE DWGS. A2.1 & A2.2
2. MASONRY VENEER ANCHOR SPACING FOR STUDS SPACED 24" O.C. TO BE 16" O.C. VERTICALLY. LOCATE ANCHORS WITHIN 8" OF EACH SIDE OF EXPANSION JTS. CONTROL JTS. & ALL MASONRY OPENINGS.
3. LOCATE TOP MASONRY ANCHORS NOT MORE THAN 8' BELOW TOP OF MASONRY.
4. LOCATE MASONRY CONTROL JOINTS FOR C.M.U. WERE SHOWN ON EXTERIOR BUILDING ELEVATIONS. PROVIDE CONTROL JOINTS AT INSIDE CORNERS OF WALL INTERSECTIONS. PROVIDE COMPRESSIBLE SPACERS, WITH BACKER ROD TO SUPPORT JOINT SEALANT SYSTEM.
5. LOCATE MASONRY WEEP/VENT HOLES AT THE TOP AND BOTTOM OF ALL MASONRY VENEER CAVITIES AND ABOVE ALL THROUGH WALL FLASHING. SPACE WEEP HOLES NOT TO EXCEED 32" O.C. ARRANGE WEEP HOLES SYMMETRICALLY WITHIN EACH MASONRY WALL SECTION.
6. EXTEND THROUGH WALL FLASHING THROUGH RIGID INSULATION BOARD AND TURN UP AT FACE OF SHEATHING. AT EXTERIOR FACE OF MASONRY FORM DRIP BEYOND FACE OF MASONRY.
7. PROVIDE END DASHES AT ALL THROUGH WALL FLASHING.
8. MAINTAIN A MINIMUM 2 INCH CLEAR AIR SPACE BEHIND MASONRY VENEERS. KEEP CAVITIES CLEAR OF MORTAR DROPPINGS.
9. PROVIDE CAVITY DRAINAGE MATERIAL AS SPECIFIED AT THE BASE OF ALL CAVITIES AND ABOVE THROUGH-WALL FLASHING. INSPECT, TEST AND CLEAN ALL WEEP HOLES AT COMPLETION OF WORK TO ASSURE FREE DRAINAGE.

**EXTERIOR NOTES:**

SITE ELEVATION 10'-0" = BUILDING ELEVATION 100'-0" ON ARCHITECTURAL PLANS.

PROVIDE A CONTINUOUS BEAD OF SEALANT AROUND PERIMETER AND ISOLATION JOINTS, COLUMN AND PIPE PENETRATIONS AND CONDITIONS THAT MAY ALLOW PASSAGE OF MOISTURE OR VAPOR OR GAS THROUGH CONCRETE SLABS ON GRADE.

VAPOR BARRIERS TO BE CONTINUOUS AROUND BUILDING ENVELOPE INCLUDING ROOF TO WALL INTERSECTIONS, DEFLECTION JOINTS AND SEALED TIGHT AROUND ALL PENETRATIONS SUCH AS ELECTRICAL BOXES LIGHT FIXTURES ETC.

WRAP AIR BARRIER OVER HEAD, JAMB & SILL ON ALL WINDOW & DOOR BLOCKING

ALL WOOD BLOCKING IN CONTACT WITH CONCRETE SHALL BE PRESURE TREATED.

INSTALL FIRESTOPPING SEALANT AROUND ALL PENETRATIONS THROUGH RATED WALLS OR FLOORS. FOLLOW MANUFACTURER'S SPECIFIC INSTALLATION INSTRUCTIONS. ALL OTHER PENETRATIONS TO BE SEALED SHOE-TIGHT.

REVIEW ALL SECTIONS FOR WOOD BLOCKING INSTALLATION FOR SUPPORT OF OTHER WORK.

REFER TO STRUCTURAL DRAWINGS FOR CONCRETE SLAB, FOUNDATION AND FOOTING DETAILS AND REINFORCEMENT.

REFER TO DWG. A12 FOR PARTITION TYPES & MUG. A14 FOR INTERIOR PARTITION DETAILS AND SOUND INSULATION.

EXTERIOR WALL GYPSUM BOARD TO END 8"± ABOVE CEILING EXCEPT WHERE INTERIOR WALLS MEET EXTERIOR WALLS IN WHICH CASE GYPSUM SHALL EXTEND TO DECK. SEE DETAIL B4/A1.1

\* CONTINUOUS RIGID INSULATION UNDER ALL NON-RADIANT HEAT SLABS ON GRADE. 2" RIGID INSULATION UNDER ALL RADIANT HEAT SLABS ON GRADE.



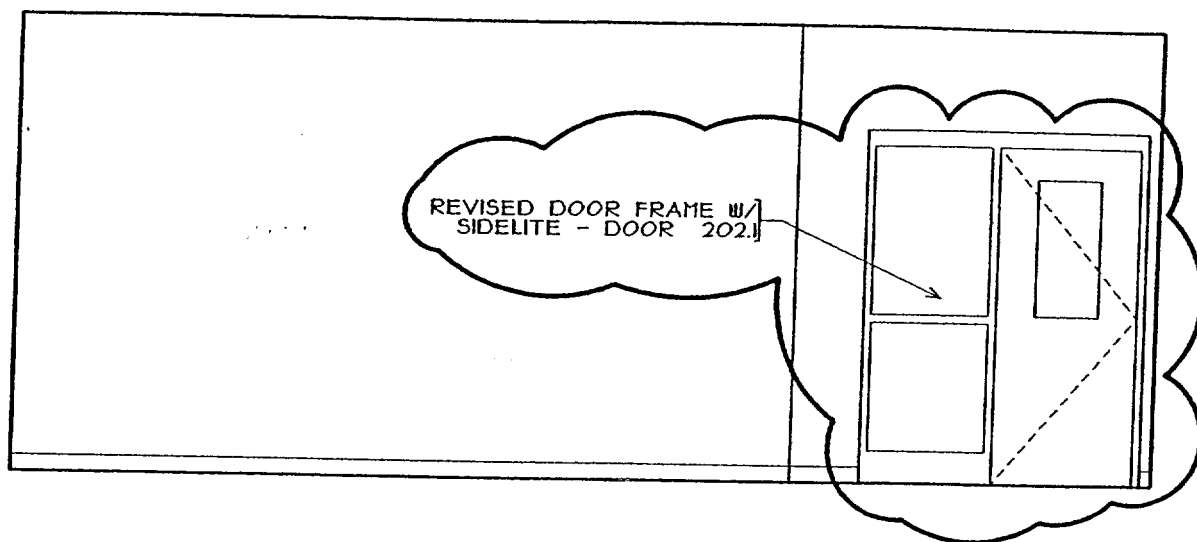
**East End School  
Portland, Maine**

Addendum #1

Reference: A3.1

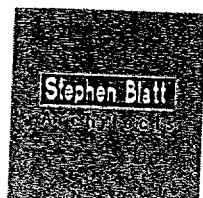
Date: August 3, 2004

**ASK-3**



## REVISED DOOR FRAME ROOM 202

SCALE: 1/4" = 1'-0"



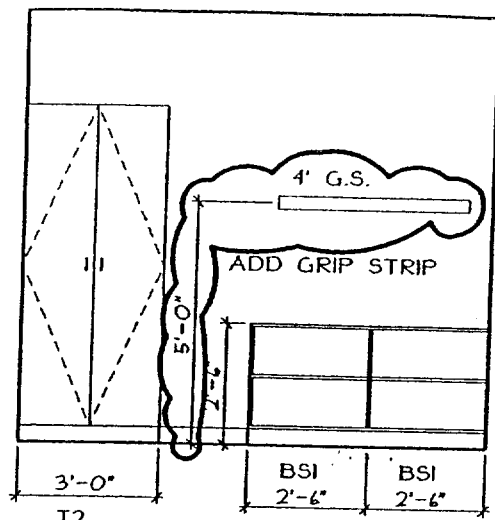
East End School  
1, 11

dd #1

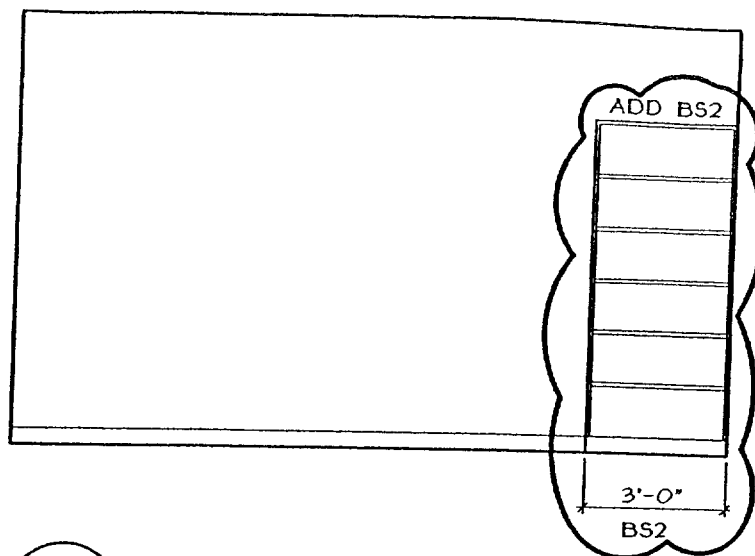
Reference: 1/A5.2

Date: August 3, 2004

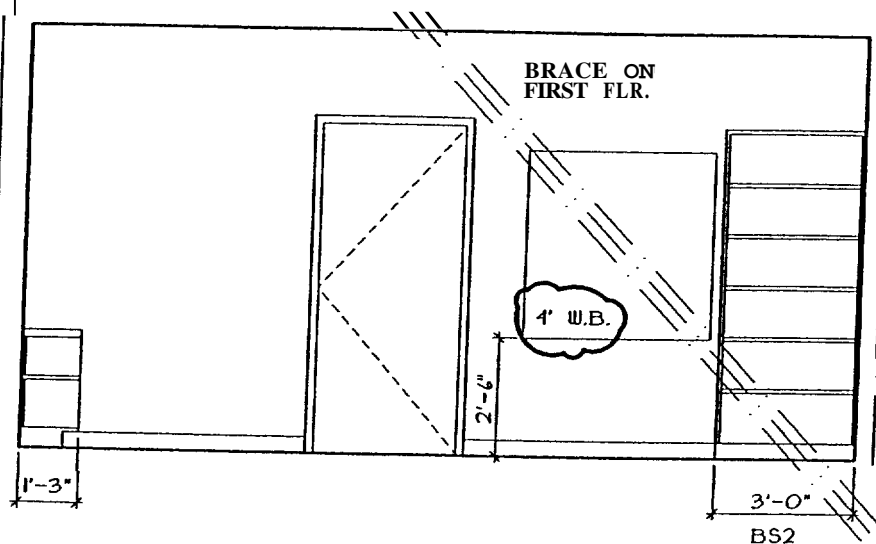
# ASK-4



**24** READ. RECOVERY 122  
**A1.4** SCALE: 1/4" = 1'-0"



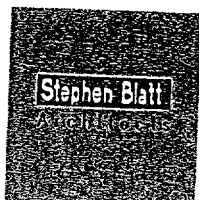
**27** READ. RECOVERY 122  
**A1.4** SCALE: 1/4" = 1'-0"



**33** READ. RECOVERY 140, 230  
**A1.4** SCALE: 1/4" = 1'-0"

### REVISIONS AT READING RECOVERY ROOMS 122, 140, & 230

SCALE: 1/4" = 1'-0"



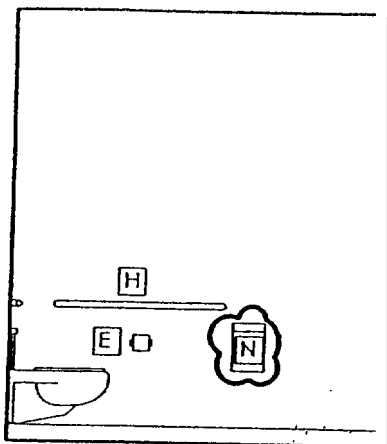
East End School  
 Portland, Maine

Addendum #1

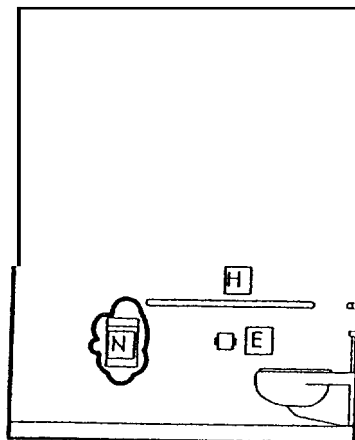
Reference: 24/A5.1, 27/A5.1, & 33/A5.1

Date: August 3, 2004

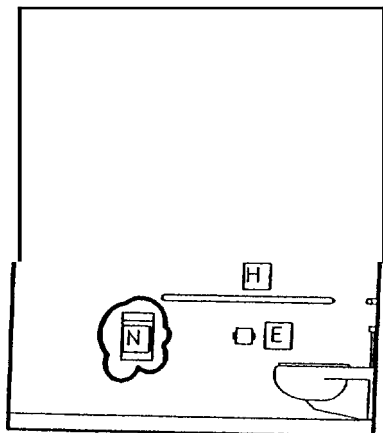
ASK-5



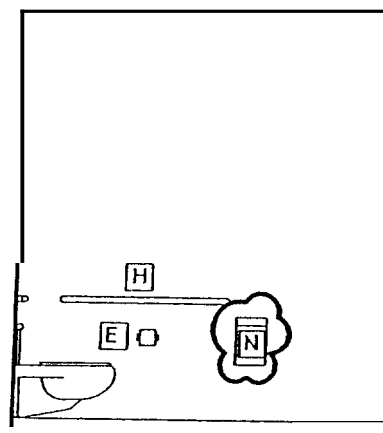
**53** **STAFF W.C. 155,243**  
**A5.10** SCALE: 1/4" = 1'-0"



**2** **W.C. 305**  
**A5.11** SCALE: 1/4" = 1'-0"



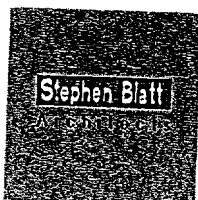
**6** **STAFF W.C. 310**  
**A5.11** SCALE: 1/4" = 1'-0"



**9** **STAFF W.C. 203**  
**A5.11** SCALE: 1/4" = 1'-0"

**ADD SANITARY NAPKIN DISPOSAL ROOMS 155, 243, 305, 310, 8 203**

SCALE: 1/4" = 1'-0"



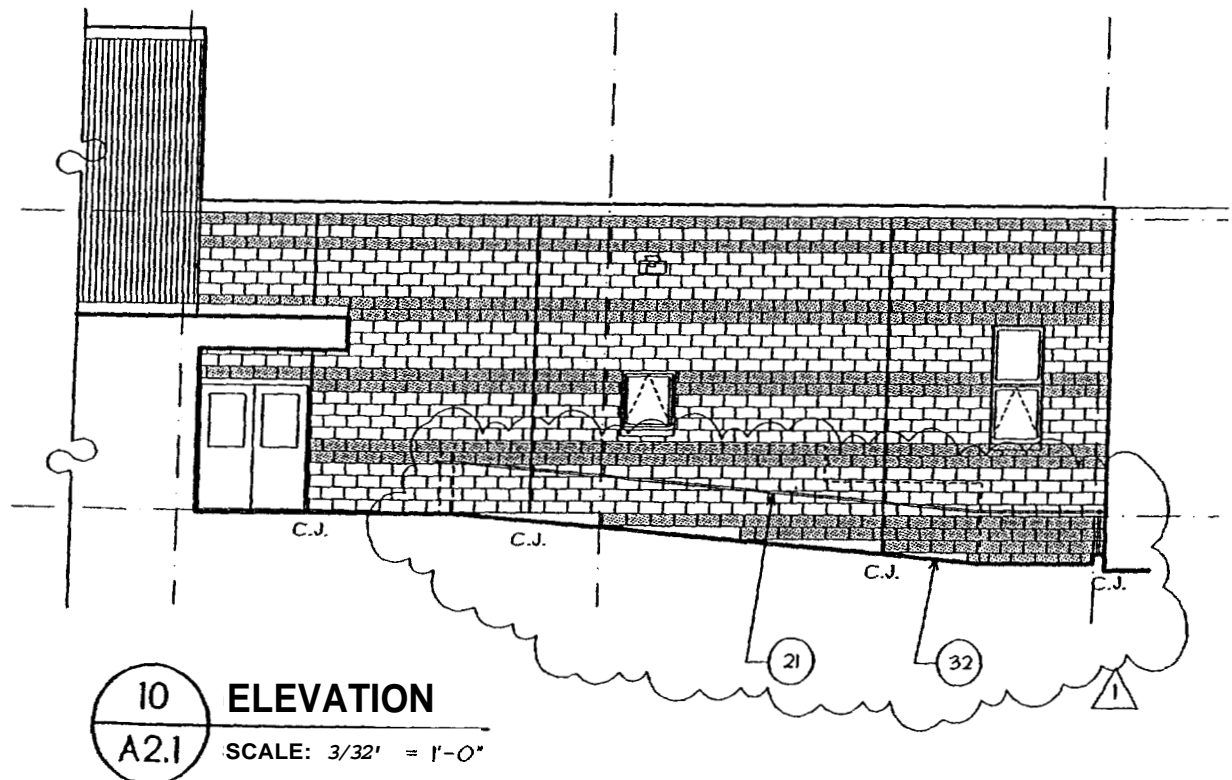
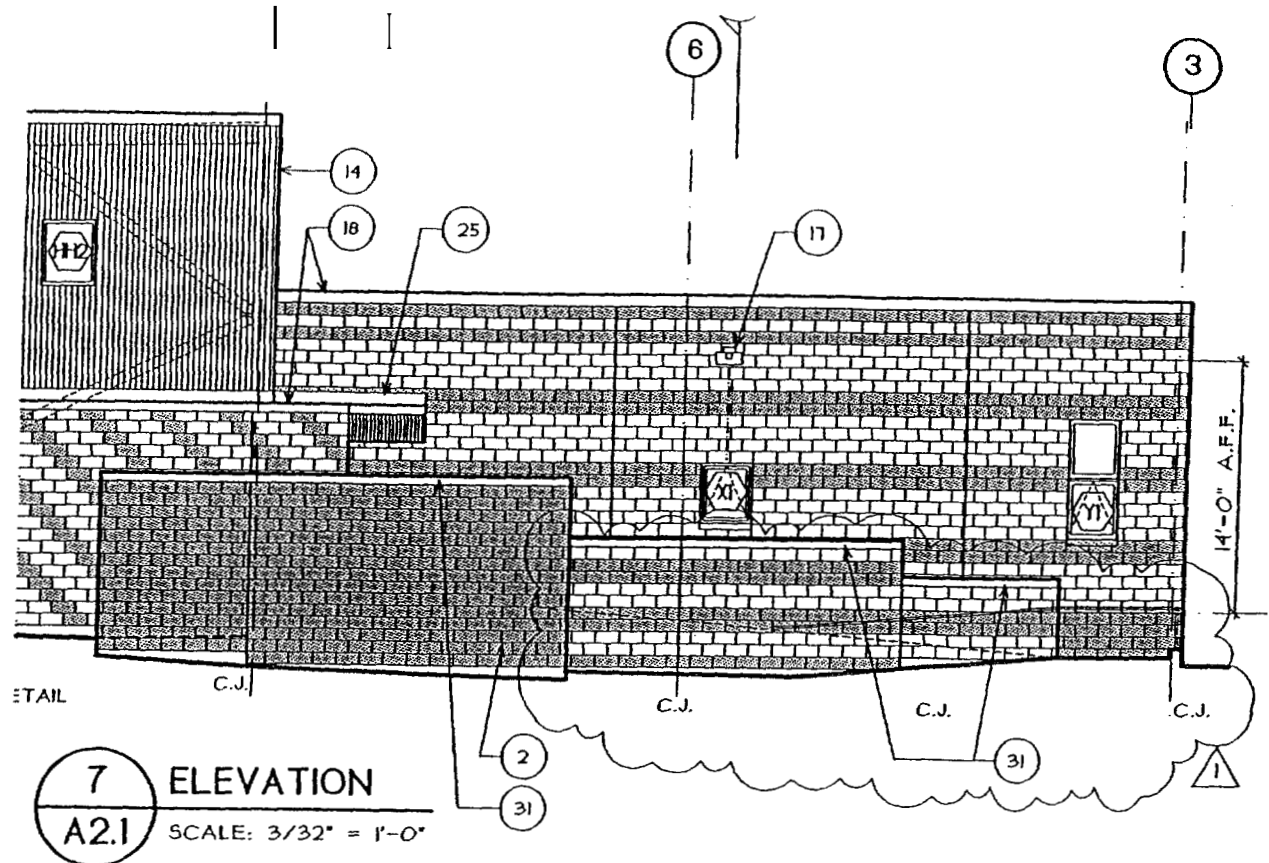
**East End School**  
**Portland, Maine**

Addendum #1

Reference: 53/A5.10, 2/A5.11, 6/A5.11, 9/A5.11

Date: August 3, 2004

**ASK-6**



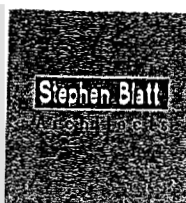
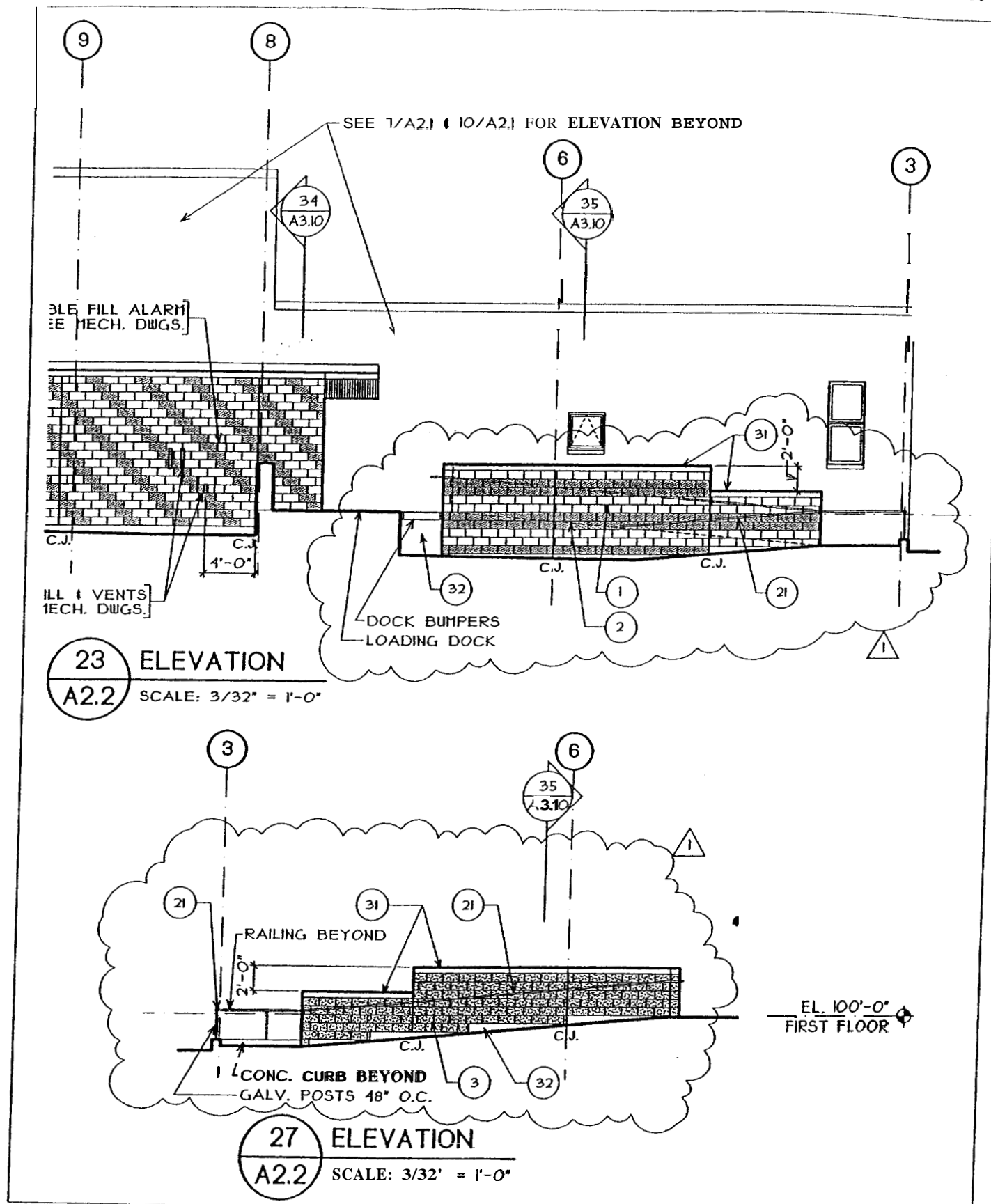
**East End School  
Portland, Maine**

Addendum #1

Reference: A2.1

Date: August 3, 2004

**ASK-7**



East End School  
Portland, Maine

Addendum #1

Reference;

Date: August 3, 2004

ASK-8

**ADDENDUM #2**      *Dated August 5, 2004*

**FILE COPY**

TO CONTRACT DOCUMENTS FOR:

**East End Elementary School**  
Portland, Maine

**City of Portland BID # 8704**

PREPARED BY:

STEPHEN BLATT ARCHITECTS  
P.O. BOX 583  
10 DANFORTH STREET  
PORTLAND, ME 04112-0583

8.A.4

Dated: July 15, 2004

To all interested parties:

This addendum modifies, amends, and supplements designated parts of the Contract Documents, Project Manuals, and Drawings for the **East End Elementary School** and is hereby made an integral part thereof by reference and shall be as binding as though inserted in its entirety in the location specified herein. It shall be the responsibility of the Contractor to notify all Subcontractors and suppliers he/she proposes to use for the various parts of the work for any changes or modifications contained in this addendum. The Contractor shall acknowledge receipt of this addendum in the appropriate section of the Bid Form.

This ADDENDUM consists of **1** page:

## **SPECIFICATIONS**

### DIVISION 0 - CONTRACT REQUIREMENTS

#### Section 00110 INSTRUCTIONS TO BIDDERS

2.00 c.4.

**DELETE:** Sub-Bids must be filed on or before **Tuesday, August 17, 2004 at 3p.m.** at the Maine Construction Bid Depository.

**ADD:** Sub-Bids must be filed on or before **Thursday, August 19, 2004 at 3p.m.** at the Maine Construction Bid Depository.

END OF ADDENDUM #2

**ADDENDUM #3**      *Dated August 9, 2004*

TO CONTRACT DOCUMENTS FOR:

**East End Elementary School  
Portland, Maine**

**City of Portland BID # 8704**

PREPARED BY:

STEPHEN BLATT ARCHITECTS  
P.O. BOX 583  
10 DANFORTH STREET  
PORTLAND, ME 04112-0583

8 A 4

Dated: July 15, 2004

To all interested parties:

This addendum modifies, amends, and supplements designated parts of the Contract Documents, Project Manuals, and Drawings for the **East End Elementary School** and is hereby made an integral part thereof by reference and shall be as binding as though inserted in its entirety in the location specified herein. It shall be the responsibility of the Contractor to notify all Subcontractors and suppliers he/she proposes to use for the various parts of the work for any changes or modifications contained in this addendum. The Contractor shall acknowledge receipt of this addendum in the appropriate section of the Bid Form.

This ADDENDUM consists of **56** pages, plus three (3) 30"x48" sheets.

**SPECIFICATIONS**

DIVISION 0 - CONTRACT REQUIREMENTS

**Clarification to Information to Bidders**

1. During the July 29<sup>th</sup> prebid meeting a potential bidder inquired about the type of construction fencing required and who is responsible for its installation.

The following response has been provided:

See specification section 01500 3.4 D. General contractor shall provide and install construction fence in coordination with site subcontractor.



#### Section 02831 SITEWORK CHAIN LINK FENCING AND GATES

A question was raised concerning the length of the stretcher bar and number of wire ties. Reference is made to Paragraph 2.02 M which specifies the stretcher bar is to be equal to the height of fabric;

*"M. Stretcher Bars: Galvanized steel, with exposed portions finished with a black vinyl coating, one piece lengths equal to full height of fabric, with minimum cross-section of 3/16" x 3/4". Provide one stretch bar for each gate and end post, and two for each corner and pull post."*

Paragraph 3.04 L which specifies the spacing of attachments to the stretcher bar;

*"L. Stretcher Bars: Secure at end, corner, pull, and gate posts by threading through or clamping to fabric at 4" o.c., and secure to posts with metal bands spaced at 15" o.c."*

and 3.04 M which specifies the spacing of the wire ties.

*"M. Tie Wires*

*...*

*2. Tie fabric to line posts with wire ties spaced 12" o.c. Tie fabric to rails and braces with wire ties spaced 24" o.c. Tie fabric to tension wires with hog rings spaced 24" o.c.*

#### Section 02850 – SITE IMPROVEMENTS

Request for "or equal alternate": The Owner received a request to use an aluminum flagpole as an "or equal" alternate to the flagpole specified under Section 02850. The specification requires a fiberglass flagpole. The substitution of an aluminum flagpole does not meet the requirements of the contract. Therefore, the request for approval of this alternate has been denied.

#### Section 04810 - UNIT MASONRY ASSEMBLIES

**ADD:** the following new subparagraph 3 to 1.2, **B:**

*"3. Division 7 Section "Cavity Exterior Wall Insulation" for rigid insulation to be installed behind siding systems."*

**ADD:** the following new paragraph D to article 2.13.

*"D. Metal Masonry Flashing: Provide stainless steel flashing by Hohmann & Barnard, Inc., No. FTSA Form-Tite Seal Drip Plate."; No. 1007 by Heckman, or approved substitute.*

#### Section 06402 - INTERIOR ARCHITECTURAL WOODWORK

**DELETE:** Subparagraph 2.1, A, 1:

**CHANGE:** Subparagraph 2.1, A, 2 to read "West Minot Millworks (966-3200)

#### Section 06450 - MODULAR CASEWORK

**DELETE:** Subparagraph 1.5, A, 1:

**CHANGE:** Subparagraph 1.5, A, 2 to read "West Minot Millworks (966-3200)

3. Application: Where indicated in toilets for future installation of ceramic tile.”

**ADD:** New paragraph G in article 3.9 as follows:

“G. Glass-Mat, Water-Resistant Backing Board: Provide Level 5 gypsum board finish (skim coat).

#### Section 09653 - RESILIENT WALL BASE AND ACCESSORIES

**CHANGE:** Paragraph A to read as follows:

“A. Treads: Provide custom stair treads consisting of a metal nosing fastened to the front of the tread and Stair and Landing Tile installed behind the metal nosing.

1. Metal Nosing: Provide model 8501 by American Safety Tread or approved substitute.”

**DELETE:** Paragraphs B through G.

**CHANGE:** Paragraph J to read as follows:

“J. Stair and Landing Tile: Provide rubber tile with raised disc pattern and minimum thickness of 0.12 inch. Color as selected by the Architect.

2. Product: Provide Rouleau Tile by Burk Mercer or Roundel RT by Johnsonite or approved substitute.”

**CHANGE:** Subparagraph 3.4, A, I to read as follows:

“A. Use stair-tread-nose filler to fill metal nosing substrates. Use epoxy adhesive on rubber stair tiles and risers.”

#### Section 09912 - PAINTING

**DELETE:** Subparagraphs 1, 3, and 4 in paragraph 2.1, B

**ADD:** The Owner has requested that only ICI Dulux Paint brand paints be used for this project (except where indicated otherwise) to reduce the number of paint manufacturers and paint types throughout the School Department.

**DELETE:** Paint products by manufacturers other than ICI Dulux Paint in articles 2.3, 2.4, 2.5, 2.6, 2.7, and 2.8.

#### DIVISION 15 - MECHANICAL

#### Section 15400 PLUMBING

Page 5, paragraph 2.5 FIXTURES AND TRIM:

**ADD:** (P7) Water Closet: Wall-mounted “dual flush”, tank-type water conserving toilet, Caroma “Wallvit”, or approved equal. The water closet installation shall be ADA-compliant. The water closet shall be constructed of white vitreous china and have a 4” trapway, dual ADA-compliant pushbuttons and shall flush with 1.6 / .8 gallons per cycle. The flush tank shall be designed for concealed “in-wall” installation. Furnish with the “Scandinavia” seat for heavy commercial use and P-trap. The installation shall be in accordance with the manufacturers recommendations.

Page 9, paragraph 2.6 MISCELLANEOUS EQUIPMENT:

**ADD:** Thermostatic Mixing Valves (TMV): Symmons “Tempcontrol”, Leonard or Powers,

supplemental survey of a material stockpile in the former skinned area of the site will be provided in a future addendum.

**c7 SITE LAYOUT PLAN WITH DETAIL REFERENCES**

The Site Layout Plan depicts a bicycle rack. Contractors are directed to Detail K on Drawing C-22 and Detail 12 on Drawing C-9.1 and the Division 2 specifications Section 02850 for additional information concerning this bicycle rack. This drawing also has a reference to the detail for the gate at the entrance to the hard play area from the parking lot. The gate shall be constructed in accordance with Detail E on Drawing C-21; not Detail F. Also, materials for the walkways have been revised and corrected as shown on Drawing NS-C-4 discussed later in this addendum.

**C10 SITE GRADING AND DRAINAGE PLAN**

**CHANGE:** This drawing shall be modified to add an underdrain and two cleanouts on the south and easterly side of the parking lot. This underdrain shall connect to the catch basin in front of the parking lot. SK-C-2 showing this underdrain is attached to this addendum and is hereby made a part of the contract requirements. This sketch also corrects the catch basin number (6 not 10) and revises the rim elevation for this catch basin.

**C14 UTILITY PLAN**

A potential bidder inquired if a watermain blow off shown on North Street is correct.

Drawing C-14 identifies an 8" cap and blow off just west of the hydrant in front of the school. The cap and blow off is **not required**. The plan shall be modified to eliminate the cap and blow off.

**C14 UTILITY PLAN**

There is an existing water service to the community garden opposite Station 10+80. This service shall be reconnected to the new water main.

**C14 UTILITY PLAN**

The Jewish Home for the Aged has two water services. One is a 4" service, the other is a 6" fire service based upon Portland Water District's records. These services shall be reconnected to the new water main. There is also a private hydrant in the esplanade between North Street and their parking lot which shall be reconnected to the new main.

**C21 FENCING DETAILS**

**CHANGE:** This drawing has been revised. A replacement drawing is attached to this addendum.

**C26, STORMDRAIN PROFILES, OFFSITE STORM DRAIN IMPROVEMENTS**

**C27, A** potential bidder inquired about the size of inlets. The profiles identify the size **of** the **NSC5** inlets, catch basins, and manholes.

**NSC4 OVERALL PROJECT PERMANENT AND SIGNAGE PLAN**

**CHANGE:** This drawing has been revised to include revisions to the traffic and street signage for the project. A replacement drawing is attached to this addendum. All traffic and related signage shall be constructed in accordance with this plan. This drawing also corrects the walkway type within the site and shall be used to determine the type of walkway to be installed under the base bid.

Corr 177      M2 #4  
Vest 101      M2 #4"

**ADD:** a junction box, a receptacle and a reference to Note 6 to the east wall in Vestibule 101. Circuit the receptacle to Panel M2 #4.

**ADD:** a junction box, a receptacle and a reference to Note 6 to the east wall in Corridor 177. Circuit the receptacle to Panel M2 #4.

**ADD:** a junction box, a receptacle and a reference to Note 6 to the east wall in Corridor 324. Circuit the receptacle to Panel P7 #27

**ADD:** an audio visual labeled 30cd to the southwest wall adjacent to the receptacle shown in Maintenance Office 175..

**ADD:** a visual only fire alarm device labeled 30cd centered on the northeast wall in Kiln 341.

**CHANGE:** the circuit designation from Panel P4 #1 to Panel P4 #33 in Front Office 105.

**CHANGE:** the circuit designation from Panel P4 #3 to Panel P4 #35 in Front Office 105.

**CHANGE:** the circuit designation from Panel P4 #5 to Panel P4 #37 in Files 106.

**CHANGE:** the symbol of Panel P4 to indicate that it is a two section panel and change: the designation of Panel P4 to indicate that it is a two section panel.

**ADD:** three junction boxes for Temperature Control Panels in Storage 316. Circuit to Panel P7 #29,31,33. Coordinate location with Mechanical Contractor.

## E2.2 GROUND FLOOR SOUTH POWER PLAN

**CHANGE:** receptacle, data and telephone jack groupings in Health Clinic 113 to receptacle and split data/telephone jack groupings.

**CHANGE:** receptacle, data and telephone jack grouping in Guidance Group 117 to receptacle and split data/telephone jack grouping.

**CHANGE:** receptacle, data and telephone jack grouping in Guidance Office 118 to receptacle and split data/telephone jack grouping.

**CHANGE:** receptacle, data and telephone jack grouping in Self-contained 119 to receptacle and split data/telephone jack grouping.

**CHANGE:** receptacle, data and telephone jack grouping in Reading Recovery 122 to receptacle and split data/telephone jack grouping.

**CHANGE:** receptacle, data and telephone jack grouping in Resource 123 to receptacle and split data/telephone jack grouping.

**CHANGE:** receptacle, data and telephone jack grouping in O.T./P.T. 124 to receptacle and split data/telephone jack grouping.

**CHANGE:** receptacle, data and telephone jack grouping in Hands On 125 to receptacle and split data/telephone jack grouping.

**CHANGE:** receptacle, data and telephone jack grouping in Explore 131 to receptacle and split data/telephone jack grouping.

**CHANGE:** receptacle, data and telephone jack grouping in Reading Recovery 140 to receptacle and split data/telephone jack grouping.

**CHANGE:** receptacle, data and telephone jack grouping in Explore 147 to receptacle and split data/telephone jack grouping.

**CHANGE:** receptacle, data and telephone jack groupings in Speech 142 to receptacle and split data/telephone jack groupings.

**ADD:** a split data/telephone jack adjacent to the receptacle on the north west wall in Exam 115.

**ADD:** two junction boxes for Temperature Control Panels in Janitor 143. Circuit to Panel M2 #35,37. Coordinate location with Mechanical Contractor.

**ADD:** two junction boxes for Temperature Control Panels in Sprinkler 126. Circuit to Panel M2 #36,38. Coordinate location with Mechanical Contractor.

**ADD:** an audio visual device labeled 30cd centered on the northeast wall in Literacy Book Storage 202

**DELETE** the smoke detector in Literacy Book Storage 202.

**ADD:** two junction boxes for Temperature Control Panels in Storage 259. Circuit to Panel M5 #1,3. Coordinate location with Mechanical Contractor.

E2.4 SECOND FLOOR SOUTH POWER PLAN

**CHANGE:** receptacle, data and telephone jack grouping in Conference 207 to receptacle and split data/telephone jack grouping.

**CHANGE:** receptacle, data and telephone jack grouping in Guidance Group 209 to receptacle and split data/telephone jack grouping.

**CHANGE:** receptacle, data and telephone jack grouping in Office 210 to receptacle and split data/telephone jack grouping.

**CHANGE:** receptacle, data and telephone jack grouping in Self-contained 213 to receptacle and split data/telephone jack grouping.

**CHANGE:** receptacle, data and telephone jack grouping in Resource 215 to receptacle and split data/telephone jack grouping.

**CHANGE:** receptacle, data and telephone jack grouping in Explore 222 to receptacle and split data/telephone jack grouping.

**CHANGE:** receptacle, data and telephone jack grouping in Reading Recovery 230 to receptacle and split data/telephone jack grouping.

**CHANGE:** receptacle, data and telephone jack grouping in Speech 231 to receptacle and split data/telephone jack grouping.

**CHANGE:** receptacle, data and telephone jack grouping in Explore 236 to receptacle and split data/telephone jack grouping.

**ADD:** a split data/telephone jack adjacent to the south-most receptacle on the southeast wall in Greenhouse 218.

**ADD:** one split data/telephone jack adjacent to the receptacle on the southwest wall and one split data/telephone jack adjacent to the receptacle on the northwest wall in Literacy Data Specialist 216.

**CHANGE:** horsepower notation on AC1P from 1/3 to 1/4.

**ADD:** an audio visual device labeled 30cd centered on the north wall in Literacy Data Specialist 216.

**DELETE** the smoke detector in Literacy Data Specialist 216.

**ADD:** two junction boxes for Temperature Control Panels in Janitor 232. Circuit to Panel M5 #11,13. Coordinate location with Mechanical Contractor.

**ADD:** two junction boxes for Temperature Control Panels in Janitor 217. Circuit to Panel M5 #14,16. Coordinate location with Mechanical Contractor.

E3.1 FIRST FLOOR NORTH LIGHTING PLAN

**CHANGE:** the lighting fixture designation of the three Type Y I lighting fixture to Type V1.

E3.3 SECOND FLOOR NORTH LIGHTING PLAN

**CHANGE:** lighting fixtures Type G2 to lighting fixtures Type A I in Literacy Book Storage 202. Space at eight foot on center, center in room

E3.4 SECOND FLOOR SOUTH LIGHTING PLAN

**ADD:** lighting fixture Type E I to northeast wall adjacent to door in Self-contained 213

**ADD:** lighting fixture Type E I to northeast wall adjacent to door in Resource 215.

**ADD:** a homerun and circuit designation to the south most quad receptacle on the east wall. Circuit to Panel P6 #58.  
**ADD:** a homerun and circuit designation to the three north most quad receptacles on the east wall. Circuit to Panel P6 #60.  
**ADD:** a homerun and circuit designation to the quad receptacle on the northeast wall. Circuit to Panel P6 #62.

#### E4.4 FIRE ALARM RISER DIAGRAM

**DELETE** the smoke detector for Storage 202.  
**ADD:** an audio visual device between Corridor 201 and Wash Closet 203 for Literacy Book Storage 202.  
**DELTE** the smoke detector for Storage 216.  
**ADD:** an audio visual device between Resource 215 and Corridor 208 for Literacy Data Specialist 216.  
**ADD:** an audio visual device between Electrical 176 and Corridor 161 for Maintenance Office 175.  
**ADD:** a visual only device between Art 340 and Music 338 for Kiln 341.  
**CHANGE:** room numbers on per the following table:

| <u>Listed as on Dwg</u> | <u>Change: to Read</u> |
|-------------------------|------------------------|
| Elev Mach 250           | Elev Mach 260          |
| Corr 201                | Corr 204               |
| PE Office 237           | PE Office 327          |
| Music 328               | Music 338              |
| Fifth Grade 229         | Fifth Grade 224        |
| Kinder 132              | Kinder 137             |

#### E4.4 SECURITY SYSTEM WIRING DIAGRAM

**CHANGE:** the label on the Sedurity System / Access Control Panel from Maintenance Room 175 to Corridor 107.  
**DELETE** the reference to Stair 169 indicating a keypad under Alt Bid #6 from Note 4.  
**CHANGE:** the designations for the motion detectors and keypads as indicated on attached sketch SKE-4.4A

#### M1 HVAC GROUND FLOOR PLAN NORTH

**CHANGE:** the 24"x24" roof outside air intake vent to include a fire damper and a 24"x24" return air grille.

#### M5 PLUMBING GROUND FLOOR PLAN NORTH

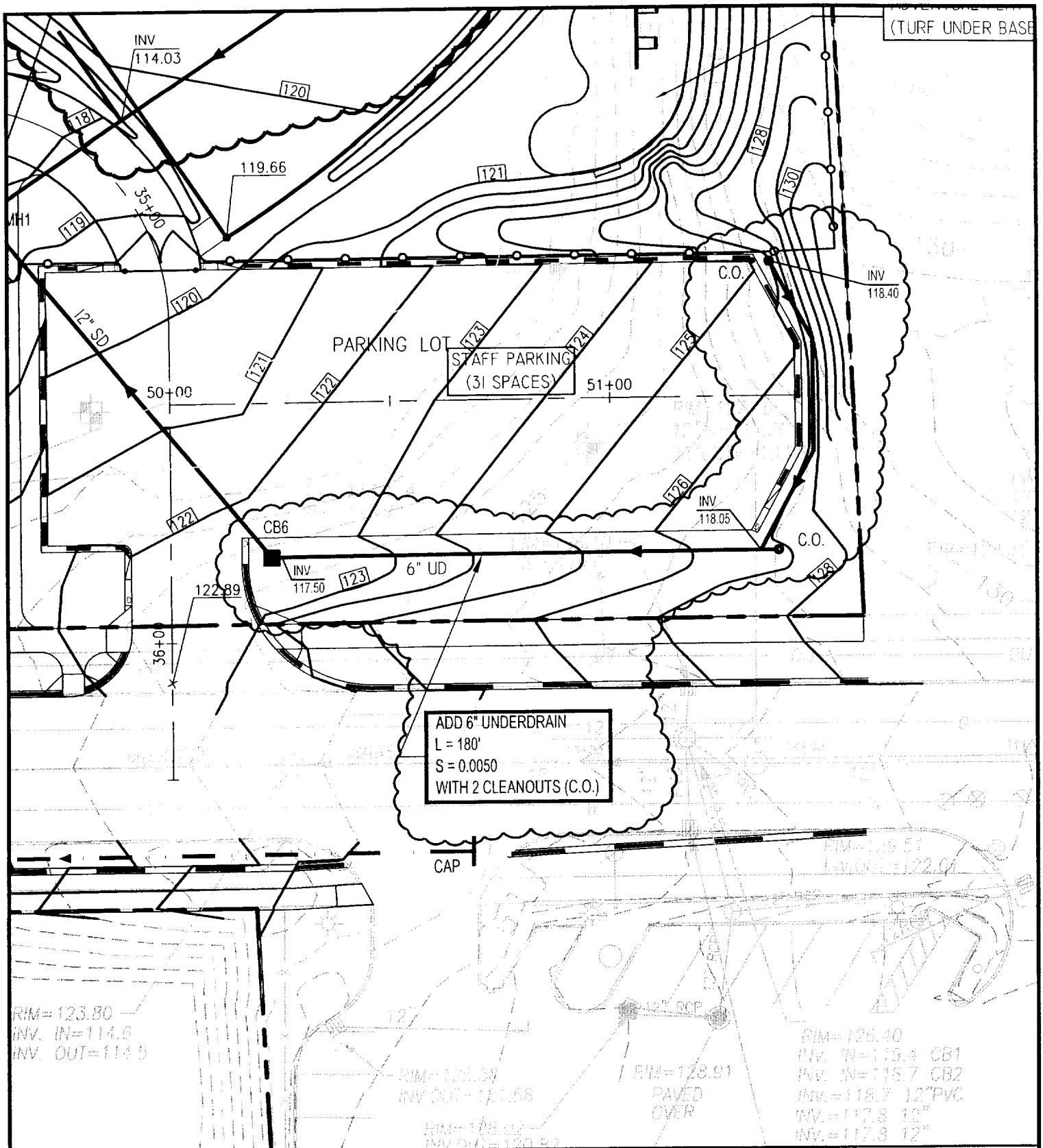
**CHANGE:** plumbing fixture type at Men No. 330 from 'P1' to 'P7'.  
**CHANGE:** plumbing fixture type at Men No. 330 from 'P2' to 'P7'.  
**CHANGE:** plumbing fixture type at Women No. 331 from 'P1' to 'P7' (typ. for 3 locations)  
**CHANGE:** plumbing fixture type at Women No. 331 from 'P2' to 'P7'.

#### M6 PLUMBING GROUND FLOOR PLAN SOUTH

**CHANGE:** plumbing fixture type at Staff W.C. No. 155 from 'P2' to 'P7'.

#### M7 PLUMBING SECOND FLOOR PLAN NORTH

**CHANGE:** plumbing fixture type at Staff W.C. No. 203 from 'P2' to 'P7'.



## EAST END ELEMENTARY SCHOOL

## SKETCH SHOWING LOCATION OF NEW 6" UNDERDRAIN AND CLEANOUTS

**DH**



DeLuca-Hoffman Associates, Inc.  
778 MAIN STREET, SUITE 8  
SOUTH PORTLAND, ME 04106  
(207) 775-1121  
DHAI@DeLucaHoffman.COM

|            |             |         |         |
|------------|-------------|---------|---------|
| DRAWN:     | DED         | DATE:   | 8.09.04 |
| DESIGNED:  | WGH         | SCALE:  | 1"=30'  |
| CHECKED:   | WGH         | JOB NO. | 2370    |
| FILE NAME: | 2370-SP.DWG |         |         |

FIGURE

**SK-C-2**

**UST CLOSURE ASSESSMENT  
of  
FORMER JACK SCHOOL  
414 EASTERN PROMENADE  
PORTLAND, MAINE 04402**

Facility Owner/Operator: City of Portland  
389 Congress Street  
Portland, Maine 04101

Project Contact: William Hoffman  
DeLuca-Hoffman Associates Inc.  
778 Main Street  
South Portland, Maine 04106

Fire Department: Lt. Gaylen W. McDougal  
Fire Prevention Officer  
(207)874-8405

Facility ID: # 12151

Project: Removal of one 8,000 gallon No. 4 fuel oil underground storage tanks

Contractor: JE Butler Co.  
PO Box 2382  
Bangor, Maine 04402

UST Closure Assessment Prepared By: Robert L. Hoffman, PE, President  
Hoffman Engineering Inc.  
640 Ten Rod Road  
North Kingstown, RI 02852

UST Closure Assessment Date: July 1, 2004

UST Closure Assessment Conclusion: It is HEI's belief that no evidence of a release or spillage associated with the subject UST.



The tank sat beneath a 3" concrete pad and approximately 4' of pea stone, which also surrounded the tank system. Due to its location within a high groundwater level area, the tank sat on a concrete pad secured with four tie downs to dead men.

## **SITE GEOLOGY**

Maine Geological Survey Sand & Gravel Aquifer Map 5, indicated the Site is not a mapped "Sand & Gravel Aquifer". No water supply wells are depicted within a 1-mile radius of the subject Site. A former reservoir (presently filled and developed), south of the Site, is shown on this map. There are no landfills or salt storage facilities shown in the area of the Site.

Soils encountered along the sidewalls of the tank during removal were comprised of medium sand to a depth of approximately 6 feet below grade overlying clay to a depth of approximately 13 feet below grade. (Burmister Classification). Groundwater was encountered at Approximately 6-7 feet below grade.

## **SITE TOPOGRAPHY & DRAINAGE**

Eased on a review of USGS Topographic Mapping (Portland West, ME quadrant, 1978), the Site is situated approximately 50 feet National Geodetic Vertical Datum (NGVD).

In general, regional topography declines steeply in a northeasterly direction toward the Atlantic Ocean and the entrance to Back Cove located approximately 700 feet from the Site. Due to grading, the Site itself is generally flat. Similarly, based on observations of site topography and USGS mapping, surface drainage, as well as groundwater, flow in a northeasterly direction.

It should be noted that localized groundwater flow can be affected by such parameters as seasonal groundwater table fluctuation, private wells, surface water bodies, bedrock and regional topography.

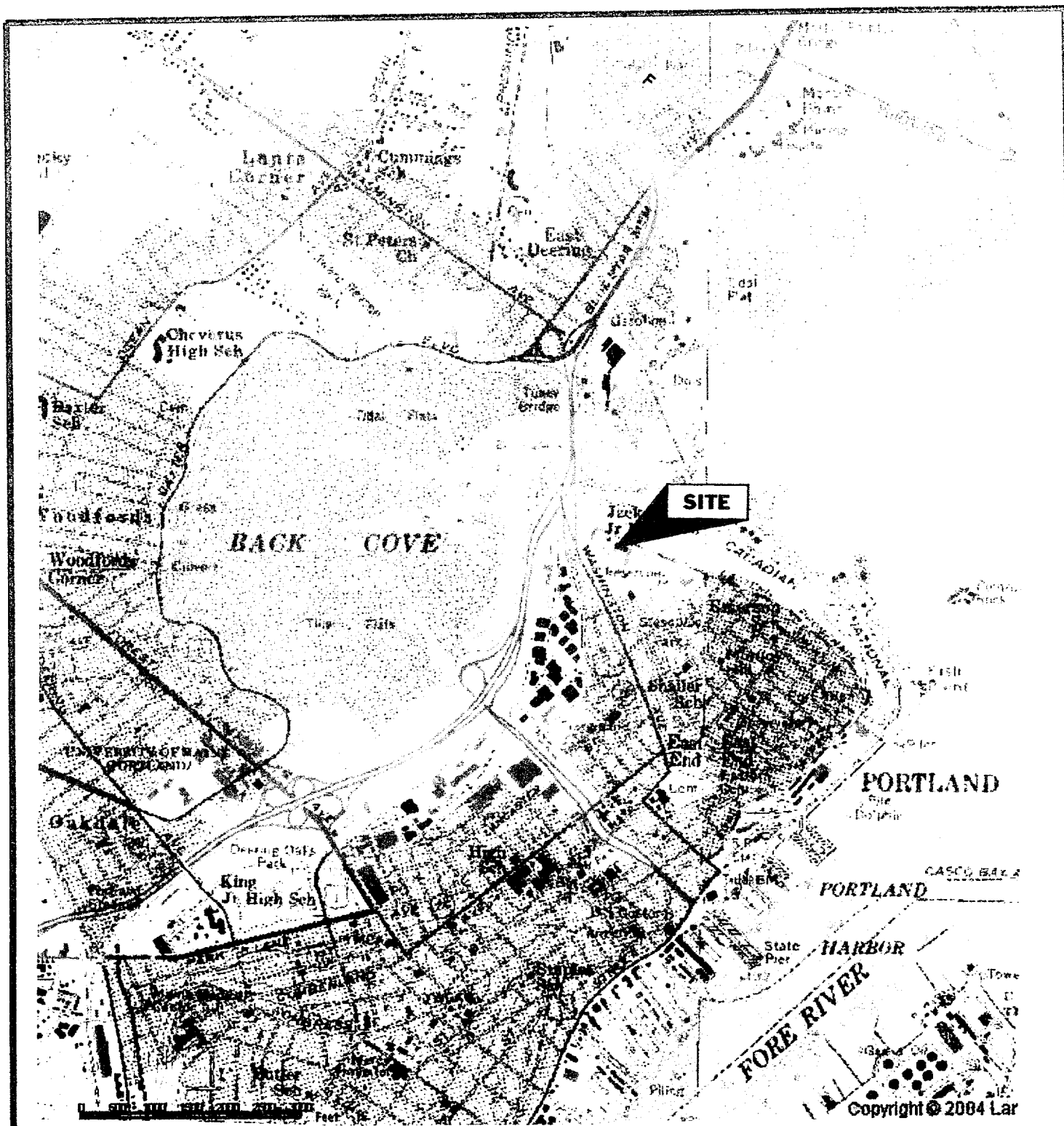
## **SENSITIVE RECEPTORS**

The Site and surrounding area are serviced by the municipal sewer and private drinking water systems. There are no water supply wells (public or private) in the vicinity of the Site. There are currently no buildings on the Site. No wetlands, streams or sensitive ecosystems exist on the Site. Based on its location, the Site would have a Baseline 1 Clean-up Goal (removal of free product and petroleum saturate soils) if contamination was encountered.

## **SITE ASSESSMENT PROCEDURES**

### Field Activities

- ☐ UST closure activities were conducted on July 1, 2004.
- ☐ UST excavation and cleaning activities were performed by JE Butler Co. of Bangor, Maine and witnessed by an HEI representative. The Portland Fire Department observed the condition of the tank and tank grave prior to backfilling.
- ☐ On June 30, 2004, Clean Harbors of South Portland pumped 849 gallons of residual No. 4 fuel oil from the tank for recycling. Copies of the disposal paperwork are provided in the Appendix.



**HEI**

HOFFMAN ENGINEERING, INC.  
640 Ten Rod Rd.  
North Kingstown, RI 02852

## LOCUS MAP

UST Closure Assessment  
(UST# 12151)

Former Jack School  
414 East Promenade  
Portland, Maine



Date: 06-27-04

By: BLR

Base Map: USGS Quad,  
Portland West, ME, dated  
photorevised 1978

Scale: ±1:2400

Figure 1

**Site Photographs – JS/RLH**



**P-1 Site looking northeasterly.**



**P-2 UST during removal**

**Former Jack School  
414 East Promenade  
Portland, Maine**

**July 1, 2004**

**HEI 03-47.1**

**Figure 3**



August 3, 2004  
Summit #4497

DeLuca Hoffman Associates. Inc.  
ATTN: Bill Hoffman  
778 Main Street  
South Portland, Maine 04106

Reference: Building Demolition Backfill Testing  
East End School, Portland, Maine

Dear Bill;

Summit has completed our observations and testing of the backfill placed and compacted in the former school footprint after the building was demolished. This letter and the attachments are intended to serve as documentation regarding the condition of the site after completion of the demolition and prior to start of construction for the new building.

Our services included performing laboratory tests on the proposed backfill (concrete and brick demolitions debris and compacted granular fill), observing the removal of rubble within the building footprint, including the former footing trenches, and performing in-place density tests on the demolition backfill. Our work is summarized in the attachments, which include:

- Daily field reports with backup
- Laboratory test results
- Construction meeting memorandums.

Demolition backfilling began on June 10, 2004. Summit obtained samples from the crushed brick and concrete stockpiles for laboratory testing. The results of the grain size analyses and Modified proctor tests are attached.

Summit performed observations and testing of the backfill on a periodic basis between June 23 and July 9, 2004. The footing trenches for the former school were excavated down to the bottom of footing grade and backfilled with Crushed Concrete and Brick. Initially the compaction test results were low due to the frequency of voids in the Crushed Concrete. We recommended that an observational approach be taken, whereby observations of the lift thickness and rolling pattern were made to confirm that sufficient density was obtained. Beginning July 1, 2004, a Granular fill soil (Modified Proctor sample #4497-3) was used as backfill, when the crushed concrete was expended. In-place density tests on this material exceeded 95%.

Stephen Blatt  
Architects

## LETTER OF TRANSMITTAL

11/24/2004

TO: Mike Nugent, City of Portland - Code Enforcement Office  
Anita LaChance, City of Portland  
Steve Doel, Bennett Engineering  
Tom McArdle, TJM Consulting

RE: East End Elementary

We are sending you: X Enclosed \_\_\_\_\_ Under separate cover via t h e following:

|                                     |                |                                     |                         |  |                |
|-------------------------------------|----------------|-------------------------------------|-------------------------|--|----------------|
| <input checked="" type="checkbox"/> | Shopdrawings   | <input checked="" type="checkbox"/> | Change Order No. 1      |  | R.F.P.No(s)    |
|                                     | Plans          |                                     | Field Report            |  | R.F.I.No(s)    |
|                                     | Prints         |                                     | Concrete Testing Report |  | Copy of Letter |
|                                     | Specifications |                                     | Other:                  |  |                |

| COPIES | DESCRIPTION             |
|--------|-------------------------|
| 1      | Set: Full Size Drawings |
| 1      | Change Order #1         |
|        |                         |
|        |                         |
|        |                         |
|        |                         |
|        |                         |

THESE ARE TRANSMITTED as checked below:

|                                     |                        |  |                       |  |                                      |
|-------------------------------------|------------------------|--|-----------------------|--|--------------------------------------|
|                                     | For Signature          |  | Approved as Submitted |  | Revise & Resubmit for Approval       |
| <input checked="" type="checkbox"/> | For Your Use           |  | Approved as Noted     |  | Submit _____ copies for Distribution |
|                                     | As Requested           |  | Furnish as Corrected  |  | Reviewed                             |
|                                     | For Review and Comment |  | For Bids Due          |  |                                      |

REMARKS:

10 Danforth Street

Post Office Box  
583 DTS

Portland, Maine  
04112-0583

Voice:  
207.761.5911

Fax:  
207.761.2105

Email:  
sba@sbarchitects.com

COPY: \_\_\_\_\_ file SIGNED: \_\_\_\_\_ Joe Hemes



CITY OF PORTLAND  
BUILDING CODE CERTIFICATE  
389 Congress St., Room 31'5  
Portland, Maine 04101

TO: Inspector of Buildings ~~City of~~ Portland, Maine  
Department of Planning & Urban Development  
Division of Housing & Community Service

FROM: Stephen Blatt Architects

RE: Certificate of Design

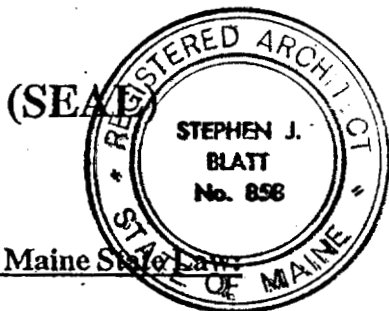
DATE: \_\_\_\_\_

These plans and / or specifications covering construction work on:

East End Elementary School

North Street, Portland, ME

Have been designed and **drawn** up by the undersigned, a Maine registered Architect / Engineer according to the **BOCA National Building Code / 1999 (Fourteenth Edition)** and local amendments.



As per Maine State Law:

\$50,000.00 or more in new construction, repair expansion, addition, or ~~modification~~ for Building or Structures, shall be prepared by a registered design Professional.

Signature: 

Title: President

Firm: Stephen Blatt Architects

Address: 10 Danforth Street, Portland

8A-1



**CITY OF PORTLAND**  
**BUILDING CODE CERTIFICATE**  
389 Congress St., Room 315  
Portland, Maine 04101

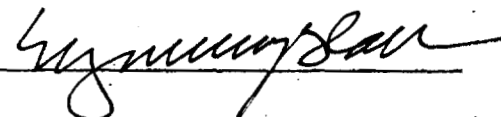
**ACCESSIBILITY CERTIFICATE**

Designer: Stephen Blatt Architects

Address of Project: North Street, Portland, ME

Nature of Project: East End Elementary School

The technical submissions covering the proposed construction work **as** described above have been designed in compliance with applicable referenced standards found in *the* Maine Human Rights Law and **Federal** Americans with Disability Act.

Signature: 

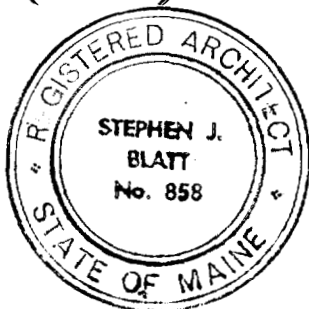
Title: President

Firm: Stephen Blatt Architects

Address: 10 Danforth Street. Portland

Phone: 207-761-5911

(SEAL)



8 A4

# SEAM

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## Structural Engineering Association of Maine

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### LIST OF AGENTS

PROJECT: East End Elementary School

STRUCTURAL ENGINEER OF RECORD: David K. Pinkham, P.E. Pinkham & Greer Engineers  
NAME FIRM  
170 U.S. Route One, Falmouth, Maine 04105  
ADDRESS

ARCHITECT OF RECORD: Stephen J. Blatt, R.A. Stephen Blatt Architects  
NAME FIRM  
10 Danforth St., Portland, Maine 04101  
ADDRESS

Following is the List of Agents selected for performance of Special Inspections for this project.

|                        | <u>Name</u>              | <u>Firm</u>   |
|------------------------|--------------------------|---|
| 1 . Special Inspector  | David K. Pinkham, P.E.   | Pinkham & Greer   |
| 2 . Special Inspector  | James A. Moran III, P.E. | Pinkham & Greer   |
| 3 . Special Inspector  | Timothy S. Dean, P.E.    | Pinkham & Greer   |
| 4 . Special Inspector  | Kenneth I. Marsh         | Pinkham & Greer   |
| 5 . Testing Laboratory |                          | Summit Geoengineering<br>640 Main Street<br>Lewiston, ME 04204<br>(207) 795-6009        |
| 6 . Testing Laboratory |                          | Elite Inspection Services<br>220 Industrial Way<br>Portland, ME 04103<br>(207) 797-2284 |

8A4



# SEAM

## Structural Engineering Association of Maine

### STATEMENT OF SPECIAL INSPECTIONS

PROJECT: East End Elementary School  
LOCATION: Portland, Maine  
PERMIT APPLICANT: City of Portland  
APPLICANT'S ADDRESS: 389 Congress Street Portland, ME 04101

STRUCTURAL ENGINEER OF RECORD: David K. Pinkham, P.E. Pinkham & Greer Engineers  
NAME FIRM

ARCHITECT OF RECORD: Stephen J. Blatt, R.A. Stephen Blatt Architects  
NAME FIRM

This Statement of Special Inspections is submitted in accordance with Section 1705.0 of the 1999 BOCA National Building Code. It includes a listing of special inspections applicable to this project as well as the name of the Special Inspector, and the names of other agencies intended to be retained for conducting these inspections.

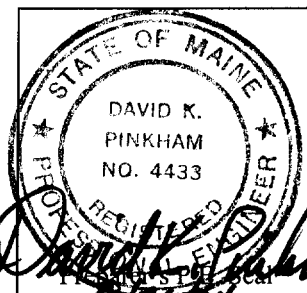
The Special Inspector shall keep records of all inspections listed herein, and shall furnish inspection reports to the Code Official and to the Registered Design Professional of Record. All discrepancies shall be brought to the immediate attention of the Contractor for correction. If the discrepancies are not corrected the discrepancies shall be brought to the attention of the Code Official and to the Registered Design Professional of Record. Interim reports shall be submitted to the Code Official and to the Registered Design Professional of Record monthly, unless more frequent submissions are requested by the Code Official.

Job site safety is solely the responsibility of the Contractor. Materials and activities to be inspected are not to include the Contractor's equipment and methods used to erect or install the materials listed.

Prepared By:

David K. Pinkham, P.E.

David K. Pinkham 8/26/04  
SIGNATURE DATE



Applicant's Authorization:

Signature 8.20.04.  
SIGNATURE DATE

Building Code Official:

\_\_\_\_\_  
SIGNATURE DATE

8 A 4

# SCHEDULE OF SPECIAL INSPECTION SERVICES

PAGE 1 OF 4

PROJECT: EAST END ELEMENTARY SCHOOL

APPLICABLE TO THIS PROJECT

| MATERIAL / ACTIVITY       | ITEM | SERVICE  | Y/N | EXTENT (All, Sample, Other, None)                  | COMMENTS | AGENT #      | DATE COMPLETED | REV. # |
|---------------------------|------|--|-----|--|----------|--------------|----------------|--------|
| 1705.3 STEEL CONSTRUCTION | 1.00 | In-plant review<br>Part A - Fabrication procedures<br>Part B - Procedures implementation<br>Review conformance to Part A | N   | SER to determine extent after completion of Part A |          |              |                |        |
|                           |      | Review material certificates of compliance (structural steel & weld filler material)                                     | Y   | ALL  |          | 1,2, 3, OR 4 |                |        |
|                           | 1.01 | Review connections   | N   |  |          |              |                |        |
|                           |      | Review welding of seismic-resisting system in Cat. "C" buildings   | N   |  |          |              |                |        |
|                           |      | Review welder certification  | Y   | ALL  |          | 1,2, 3, OR 4 |                |        |
|                           | 1.02 | Review materials certificates of compliance (Bolts, nuts, washers, & weld filler material)                               | Y   | ALL  |          | 1,2, 3, OR 4 |                |        |
|                           | 1.03 | Review primary steel connections   | Y   | ALL  |          |              |                |        |
|                           |      | Field welded moment connections  | Y   | VISUAL, ALL, U.T. INITIAL SAMPLE 25%               |          |              | 6              |        |
|                           | 1.05 | Field welded shear connections   | Y   | VISUAL, ALL  |          |              | 6              |        |
|                           | 1.06 | Bracing connections  | Y   | VISUAL, ALL  |          |              | 6              |        |
| Steel Erection            |      | Review welded Cat. "C" seismic connections   | N   |  |          |              |                |        |
|                           |      | Review welded column splices   | N   |  |          |              |                |        |
|                           |      | Review base metal testing for "t" > 1 1/2"   | N   |  |          |              |                |        |
|                           |      | Review secondary steel connections   | N   |  |          |              |                |        |
|                           |      | Girts  | N   |  |          |              | 6              |        |
|                           | 1.07 | Steel deck   | Y   | VISUAL, ALL  |          |              |                |        |
|                           | 1.08 | Review installation of relieving angles  | Y   | VISUAL, INITIAL SAMPLE 10%                         |          |              | 1,2 OR 3       |        |
|                           |      | Review installation of shear studs   | N   |  |          |              |                |        |
|                           |      | Review Details / Steel Frame   | Y   | SAMPLE   |          |              | 1,2,3, 4, OR 6 |        |
|                           | 1.09 |  | Y   |  |          |              |                |        |

All Steel Construction Special Inspections have been completed in accordance with BOCA Section 1705.3

Special Inspector

Date

8A ✓



PROJECT: EAST END ELEMENTARY SCHOOL

PAGE 3 OF 4

## APPLICABLE TO THIS PROJECT

| MATERIAL/ACTIVITY            | ITEM | SERVICE   | APPLICABLE TO THIS PROJECT |                                   | COMMENTS | AGENT #          | DATE COMPLETED | REV. # |
|------------------------------|------|---|----------------------------|-----------------------------------|----------|------------------|----------------|--------|
|                              |      |   | Y/N                        | EXTENT (All, Sample, Other, None) |          |                  |                |        |
| 1705.4 CONCRETE CONSTRUCTION | 2.00 |   |                            |                                   |          |                  |                |        |
| Concrete Materials           | 2.01 | Review materials (ACI Chapter 3)  | Y                          | ALL                               |          | 1,2, 3, OR 4     |                |        |
|                              | 2.02 | Review mix design (ACI Chapter 4)   | Y                          | ALL                               |          | 1,2, 3, OR 4     |                |        |
|                              |      | Review reinforcing certification & weldability (ASTM A 706) if required               | N                          |                                   |          |                  |                |        |
| Placing Reinforcement        | 2.03 | Review condition & placement of reinforcing and prestressing steel (ASTM 318 7.4-7.7) | Y                          | SAMPLE                            |          | 1,2, 3, OR 4     |                |        |
|                              |      | Review welding of reinforcing in Cat "C" seismic-resisting systems                    | N                          |                                   |          |                  |                |        |
| Formwork                     |      | Review formwork (ACI 318 6.1)   | N                          |                                   |          |                  |                |        |
|                              |      | Review form removal & reshoring (ACI 318 6.2)   | N                          |                                   |          |                  |                |        |
| Concrete Operations          | 2.04 | Review concrete strength tests (ACI 318 5.6)  | Y                          | ALL                               |          | 1,2, 3, OR 4 & 5 |                |        |
|                              |      | Review mix proportions and technique (ACI 318 5.2, 5.3, 5.4, & 5.8)                   | N                          |                                   |          |                  |                |        |
|                              | 2.05 | Review concrete placement (ACI 318 5.9 & 5.10)  | Y                          | SAMPLE                            |          | 1,2, 3, OR 4     |                |        |
| Prestressing Operations      | 2.06 | Review curing technique & temperature (ACI 318 5.11, 5.12, & 5.13)                    | Y                          | SAMPLE                            |          | 1,2, 3, OR 4     |                |        |
|                              |      | Review application of prestressing force (ACI 318 18.18)                              | N                          |                                   |          |                  |                |        |
| Precast Manufacturing        |      | Review grouting of bonded prestressing tendons in Cat. "C" seismic-resisting systems  | N                          |                                   |          |                  |                |        |
|                              |      | In-plant review   | N                          |                                   |          |                  |                |        |
|                              |      | Part A - Fabrication procedures   | N                          |                                   |          |                  |                |        |
| Erection of Precast Concrete |      | Part B - Procedures implementation Review conformance to Part A                       | N                          |                                   |          |                  |                |        |
|                              |      | Review erection of precast units  | N                          |                                   |          |                  |                |        |
|                              |      | Review key reinforcement  | N                          |                                   |          |                  |                |        |
|                              |      | Review key grouting   | N                          |                                   |          |                  |                |        |
|                              |      | Review concrete topping   | N                          |                                   |          |                  |                |        |
|                              |      | Review connections  | N                          |                                   |          |                  |                |        |

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Special Inspector

Date

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| MATERIAL/ACTIVITY           | ITEM | SERVICE  | APPLICABLE TO THIS PROJECT |                                   |          |  |  | AGENT #       | DATE COMPLETED | REV. # |
|-----------------------------|------|--|----------------------------|-----------------------------------|----------|--|--|---------------|----------------|--------|
|                             |      |  | Y/N                        | EXTENT (All, Sample, Other, None) | COMMENTS |  |  |               |                |        |
| 1705.5 MASONRY CONSTRUCTION | 3.00 |  |                            |                                   |          |  |  |               |                |        |
| Masonry Materials           |      | Review materials certification   |                            |                                   |          |  |  |               |                |        |
|                             | 3.01 | Masonry units  | Y                          | ALL                               |          |  |  | 1,2,3, OR 4   |                |        |
|                             |      | Reinforcing steel  |                            |                                   |          |  |  |               |                |        |
|                             | 3.02 | Review grout materials & mix design  | Y                          | ALL                               |          |  |  | 1,2,3, OR 4   |                |        |
|                             | 3.03 | Review mortar materials & mix design   | Y                          | ALL                               |          |  |  | 1,2,3, OR 4   |                |        |
|                             |      | Review strength determination  |                            |                                   |          |  |  |               |                |        |
|                             |      | strength method. Review unit strengths & grout, mortar mixes   | N                          |                                   |          |  |  |               |                |        |
|                             |      | Review strength method. Review pre-construction test results. Field tests during construction.                                   | N                          |                                   |          |  |  |               |                |        |
|                             | 3.04 | Grout testing  | Y                          | SAMPLE                            |          |  |  | 5             |                |        |
|                             |      | Determine compressive strength   |                            |                                   |          |  |  |               |                |        |
| General Masonry work        |      | Mortar testing Field test compressive strength ASTM C780 (Reqd. only if property reqs of ASTM C270 are used)                     | N                          |                                   |          |  |  |               |                |        |
|                             | 3.05 | Review mortar mix proportions & mixing (ACI 530.1: 2.3.2.5)  | Y                          | SAMPLE                            |          |  |  | 1,2,3,4, OR 5 |                |        |
|                             | 3.06 | Review grout mix proportions & mixing (ACI 530.1: 4.2.2)   | Y                          | SAMPLE                            |          |  |  | 1,2,3,4, OR 5 |                |        |
|                             | 3.07 | Review general installation of mortar, grout, masonry units. (ACI 530.1: 3.07)   | Y                          | SAMPLE                            |          |  |  | 1,2,3, OR 4   |                |        |
|                             | 3.08 | Review installation of horiz., vert., & joint reinforcing (incl. Location, sizes, splices, & positioning devices) (ACI 530.Ch.8) | Y                          | SAMPLE                            |          |  |  | 1,2,3, OR 4   |                |        |
|                             | 3.09 | Review hot/cold weather procedures (ACI 530.1: 2.3.2.2, 2.3.2.3)   | Y                          | ALL                               |          |  |  | 1,2,3, OR 4   |                |        |
|                             | 3.10 | Review installation of anchorage & devices (ACI 530.4.2, 5.14)   | Y                          | SAMPLE                            |          |  |  | 1,2,3, OR 4   |                |        |
|                             | 3.11 | Review installation of lintels   | Y                          | SAMPLE                            |          |  |  | 1,2,3, OR 4   |                |        |
|                             |      | Review welding of reinf., grouting, consolidation and reconsolidation for seismic Cat. "C"                                       |                            |                                   |          |  |  |               |                |        |
|                             |      | buildings  |                            |                                   |          |  |  |               |                |        |

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