

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

BUILDING DEPARTMENT

PERMIT

Please Read Application And Notes, If Any, Attached

PERMIT ISSUED

Permit Number: 050747

JUL 14 2005

CITY OF PORTLAND

This is to certify that Scott Stanley J & Michael D

has permission to Repair / replacement of fire escape, door, window, deck

AT 94 Beckett St

003 L00300C

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is altered or closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. Jack Kelly PFD 6/28/05

Health Dept. _____

Appeal Board _____

Other _____

Department Name _____

[Signature] 7/13/05

Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 05-0747	Issue Date: JUL 14 2005	003 100300C
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Location of Construction: 94 Beckett St	Owner Name: Scott Stanley J &	Owner Address: 21 Dudley St	Phone:
Business Name:	Contractor Name: Michael Dube	Contractor Address: 9 spring st Brunswick	Phone: 734738
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Commercial	Zone: 26

PERMIT ISSUED

JUL 14 2005

CITY OF PORTLAND

Past Use: Residential 3 unit	Proposed Use: Residential 3 unit repair / replacement of fire escape, door, window and deck	Permit Fee: \$93.00	Cost of Work: \$7,850.00	CEO District: 1
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FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R2 Type: 5B 7/13/05
Signature: <i>J.P. P. 6-30-05</i>	Signature: <i>Ally King</i>

Proposed Project Description:
Repair / replacement of fire escape, door, window and deck
(02-0808)
Deck is NEW over existing

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)

Action: Approved Approved w/Conditions Denied

Signature: _____ Date: _____

Permit Taken By: dmartin	Date Applied For: 06/10/2005	Zoning Approval
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<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> <i>OK with conditions</i> Date: <i>9/12/05</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: _____
	<i>STATES OK under 14-Ad</i> <i>AND 14-A37</i>		

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 05-0747	Date Applied For: 06/10/2005	CBL: 003 L00300C
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Location of Construction: 94 Beckett St	Owner Name: Scott Stanley J &	Owner Address: 21 Dudley St	Phone:
Business Name:	Contractor Name: Michael Dube	Contractor Address: 9 spring st Brunswick	Phone (207) 798-4738
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Commercial	

Proposed Use: Residential 3 unit repair / replacement of fire escape, door, window and deck	Proposed Project Description: Repair / replacement of fire escape, door, window and deck
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 06/23/2005

Note: 7/12/05 Mike N gave back to me - the stairs are being changed to the minimum necessary to meet fire & building codes - rear lot line affected - ok under 14-440& 14-433 **Ok to Issue:**

- 1) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.
- 2) Separate permits shall be required for future decks, sheds, pools, and/or garages.
- 3) This property shall remain a three (3) family residential condominium dwelling. Any change of use shall require a separate permit application for review and approval.
- 4) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Mike Nugent **Approval Date:** 07/13/2005

Note: **Ok to Issue:**

- 1) The net tread is allowed at 10.75 inches to make the structure fit on the lot. Per MJN
- 2) All Guards Must be 42 inches with openings less than 4 inches with graspable rails on both sides that are between 34 inches and 38 inches above the leading edge of the tread.

Dept: Fire **Status:** Approved **Reviewer:** Jay Kelley **Approval Date:** 06/28/2005

Note: **Ok to Issue:**

- 1) Build to current specifications and codes.

Comments:

6/29/2005-mjn: Plans do not comply with building code standards, redraft required, need more detail, Placed on hold for a bit, Builder notified/owner notified

Clara Chisholm Condominium Association
94 Beckett Street
Portland, Maine 04101

April 27, 2005

Office of Building Inspection
City of Portland
City Hall
Portland, Maine

Dear Sir or Madame,

This letter is to confirm that all three owners of units in the Clara Chisholm Condominium Association are hereby submitting an application for a Building Permit to replace the fire escape (used only by Unit C on the third floor) and to build a deck over the existing shed.

We are in agreement that the deck will become common space of the condominium for all three owners to use according to a mutually agreed schedule and/or arrangement.

The Condominium Association will enter into a contract with a builder to do this construction work.

Sincerely,



Francisca Lopez-
President



Robert H. Levin
Owner of Unit B

RECORD OF BUILDINGS

GRADE DENOTES QUALIN OF CONSTRUCTION: A—EXCELLENT; B—GOOD; C—AVERAGE; D—CHEAP; E—VERY CHEAP

YEAR 19

YEAR 19

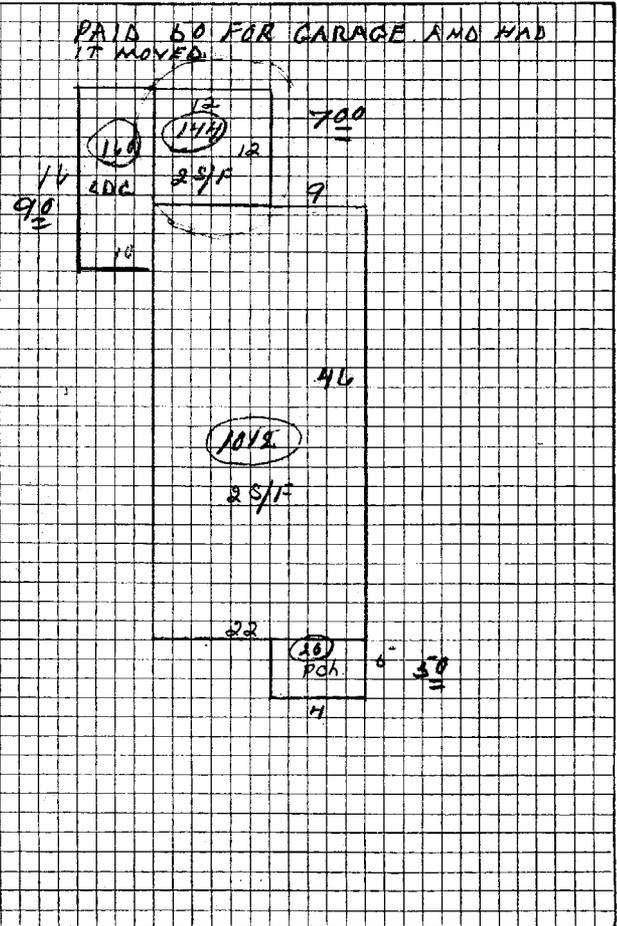
1ST 24.00 VAL. OWNER 1573.4/10
 2ND 24.00 1955 ELEC. WATER TANKS
 TOTAL 48.00

CONSTRUCTION

FOUNDATION	FLOOR CONST.	PLUMBING	
CONCRETE	WOOD JOIST ✓	BATHROOM 2 ✓	
CONCRETE BLOCK	STEEL JOIST	TOILET ROOM	
BRICK OR STONE	MILL TYPE	WATER CLOSET	
PIERS	REIN. CONCRETE	LAVATORY	
CELLAR AREA FULL ✓	FLOOR FINISH		
NO. CELLAR	CEMENT ✓	KITCHEN SINK 2 ✓	
EXTERIOR WALLS		STD. WAT. HEAT 2 ✓	
CLAPBOARDS ✓	EARTH	AUTO. WAT. HEAT 2 ✓	
WIDE SIDING	PINE ✓	ELECT. WAT. SYST.	
DROP SIDING	HARDWOOD	LAUNDRY TUBS	
NO SHEATHING	TERRAZZO	NO PLUMBING	
WOOD SHINGLES	TILE	TILING	
ASBES. SHINGLES	ATTIC FLR. & STAIRS ✓	BATH FL. & WCOT.	
STUCCO ON FRAME	INTERIOR FINISH		
STUCCO ON TILE	BRICK VENEER ✓	TOILET FL. & WCOT.	
BRICK ON TILE	PINE ✓	LIGHTING	
SOLID BRICK	HARDWOOD ✓	ELECTRIC ✓	
STONE VENEER	PLASTER ✓	NO LIGHTING	
CONC. OR CIND. BL.	UNFINISHED	NO. OF ROOMS	
TERRA COTTA	METAL CLG.	BSMT. 5	
VITROLITE	RECREAT. ROOM	2ND 5	
PLATE GLASS	FINISHED ATTIC FULL ✓	1ST 5	
INSULATION	FIREPLACE	3RD 4	
WEATHERSTRIP	HEATING		
ROOFING		OCCUPANCY	
ASPH. SHINGLES ✓	PIPELESS FURNACE	SINGLE FAMILY	
WOOD SHINGLES	HOT AIR FURNACE ✓	TWO FAMILY ✓	
ASBES. SHINGLES	FORCED AIR FURN.	APARTMENT	
SLATE TILE	STEAM	STORE	
METAL	HOT WAT. OR VAPOR ✓	THEATRE	
COMPOSITION	NO HEATING	HOTEL	
ROLL ROOFING	GAS BURNER	OFFICES	
INSULATION	OIL BURNER 2 ✓	WAREHOUSE	
	STOKER	COMM. GARAGE	
		GAS STATION	
		ECONOMIC CLASS	
		OVER BUILT	
		UNDER BUILT	
		DT. 5/24/60	
		AR. 2m 20	
		LD. 198	
		PD. 2m 22	
		MS.	
		CK. 50	

COMPUTATIONS

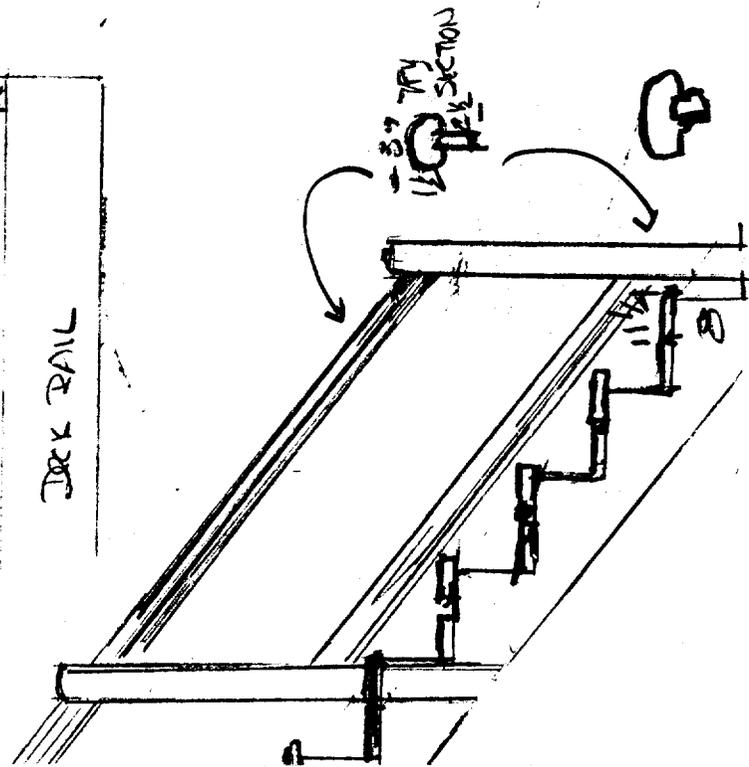
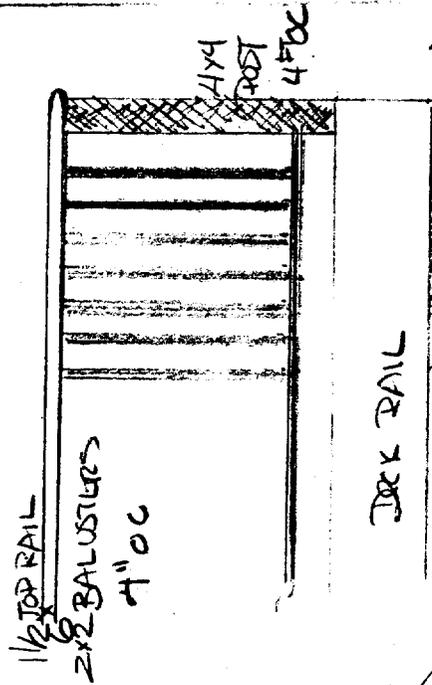
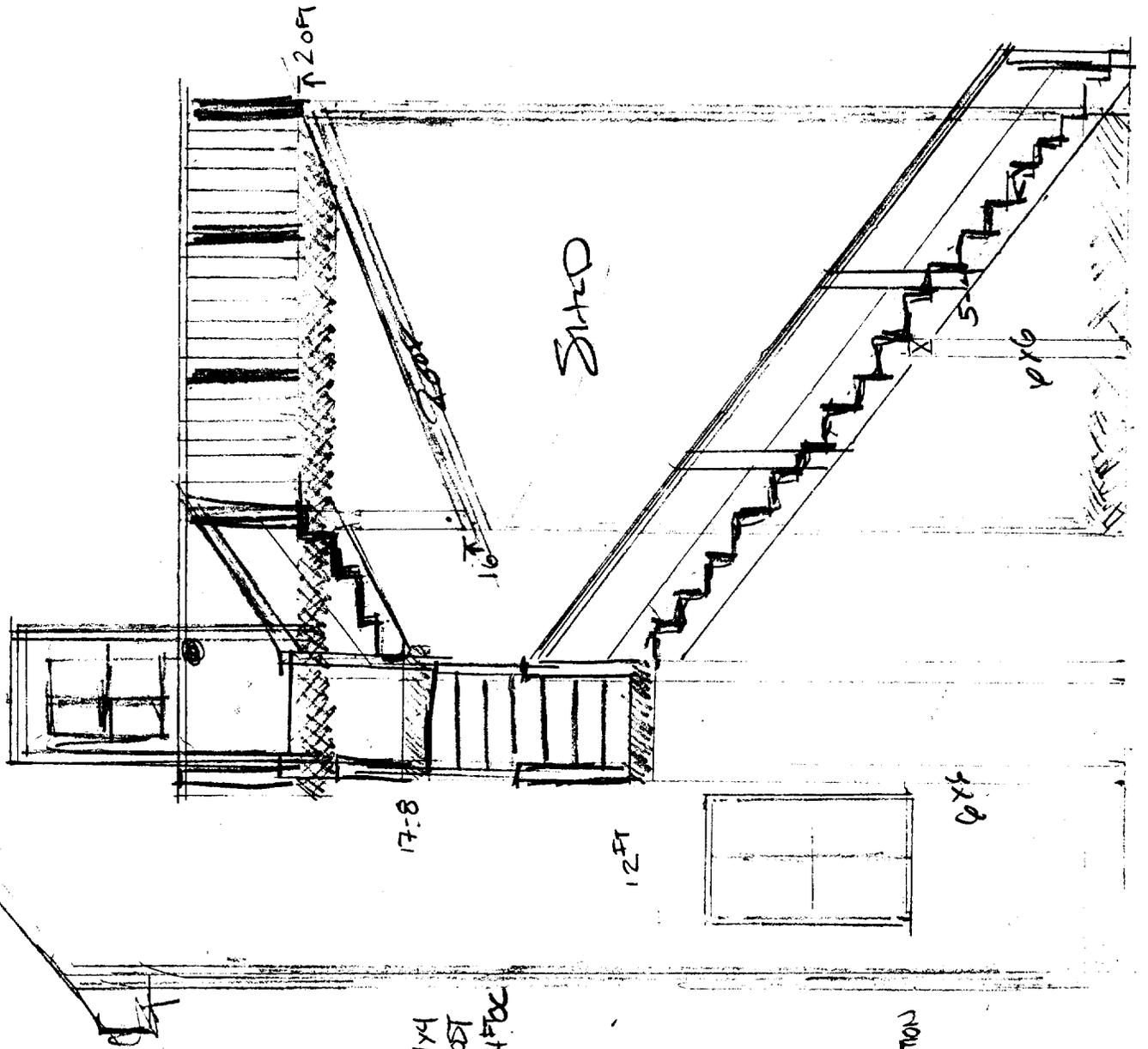
	1951	1955
S. F.		16
ADDITIONS	+ 840	
BASEMENT		
WALLS	+ 150	
ROOF		
FLOORS		
ATTIC FULL	+ 400	
FINISH		
FIREPLACE		
HEATING	+ 270	
PLUMBING	+ 350	+ 550
TILING		
M.F. #102	+ 550	
TOTAL	8050	8100
FACT. +10	+ 550	+ 550
REP. VAL.	8600	8650

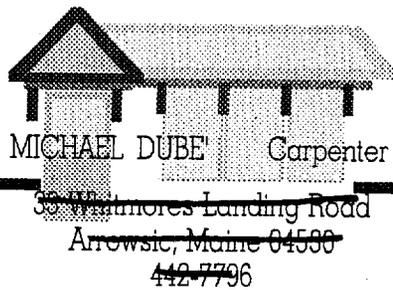


SUMMARY OF BUILDINGS

OCC'Y	TYPE	GR.	AGE	REMOD.	COND.	REP. VAL.	P. D.	PHY. VAL.	F. D.	SOUND VAL.	TAX VAL.	Y.
Dwg	A 2 5/8 FR	C	56		F	8600	50%	4300	15%	3650	2200	5
GAR	B 12 X 20	-	-	-	F	170	100%	70		70	50	5
C						8650	50%	4330	15%	3680	2200	5
D												
E												
F												
G												

YEAR	1951	1955	1951 TOTAL BLDGS.	1955
TAX VAL.			1856	2250
OLD VAL.		7750		
CHANGE				





95 SPRING ST
BROOKSWICK MAINE

798 4735

JOB DESCRIPTION:

- WRAPED STAIR TO PROPOSED 12x12 APX DECK.
 - STAIR SUPPORTED ON PRESSURE TREATED 6x6 FROM 10" CONCRETE FOOTINGS
 - PRESSURE TREATED TREADS AND HANDRAIL
 - DECK ON 2x12 JOISTS PRESSURE TREATED
5/4 x 6 DECKING " "
 - RAIL 2x6 PRESSURE TREATED WITH
BALUSTERS 4" O.C. 4x4 POSTS 4FT O.C. APX.
- EST FOR CONSTRUCTION \$7850

Thank you for your consideration.

Sincerely,

Michael Dube
Michael Dube

REAL ESTATE ASSESSMENT RECORD - CITY OF PORTLAND, MAINE

CURR. DESC.	LAND NOS.	STREET	BLDG. NO.	CARD NO.	DEVELOPMENT NO.	AREA	DIST.	ZONE	CHART	BLOCK	LOT	CURR. DESC.
	94	Beckett		OF			5		3	L	3	

TAXPAYER ADDRESS AND DESCRIPTION

O'BRIEN MARY
96 BECKETT ST.
CITY

LAND & BLDGS. BECKETT ST. #94
ASSESSORS PLAN 3-L-8 AREA 3200
SQ. FT.

RECORD OF TAXPAYER			YEAR	BOOK	PAGE
<i>O'Brien Charles H</i>					
<i>O'Brien Charles H. W.W.T.V.E.T</i>			1958		

PROPERTY FACTORS	
TOPOGRAPHY	IMPROVEMENTS
LEVEL	
HIGH	SEWER
LOW	GAS
ROLLING	ELECTRICITY
SWAMPY	ALL UTILITIES
STREET	
PAVED	TREND OF DISTRICT
SEMI-IMPROVED	IMPROVING
DIRT	STATIC
SIDEWALK	DECLINING
TILLABLE	PASTURE
	WOODED
	WASTE

LAND VALUE COMPUTATIONS AND SUMMARY						
FRONTAGE	DEPTH	UNIT PRICE	DEPTH FACTOR	FRONT FT. PRICE	YEAR 1951	1956
40	80	22 ⁰⁰	91	20 ⁰⁰	800	
TOTAL VALUE LAND					800	800
TOTAL VALUE BUILDINGS					3720	3750
TOTAL VALUE LAND AND BUILDINGS					4520	
SQ. FT. TO-FROM CH.				BLK.	LOT	
SQ. FT. TO-FROM CH.				BLK.	LOT	

LAND VALUE COMPUTATIONS AND SUMMARY						
FRONTAGE	DEPTH	UNIT PRICE	DEPTH FACTOR	FRONT FT. PRICE	19	19
TOTAL VALUE LAND						
TOTAL VALUE BUILDINGS						
TOTAL VALUE LAND AND BUILDINGS						
SQ. FT. TO-FROM CH.				BLK.	LOT	
SQ. FT. TO-FROM CH.				BLK.	LOT	

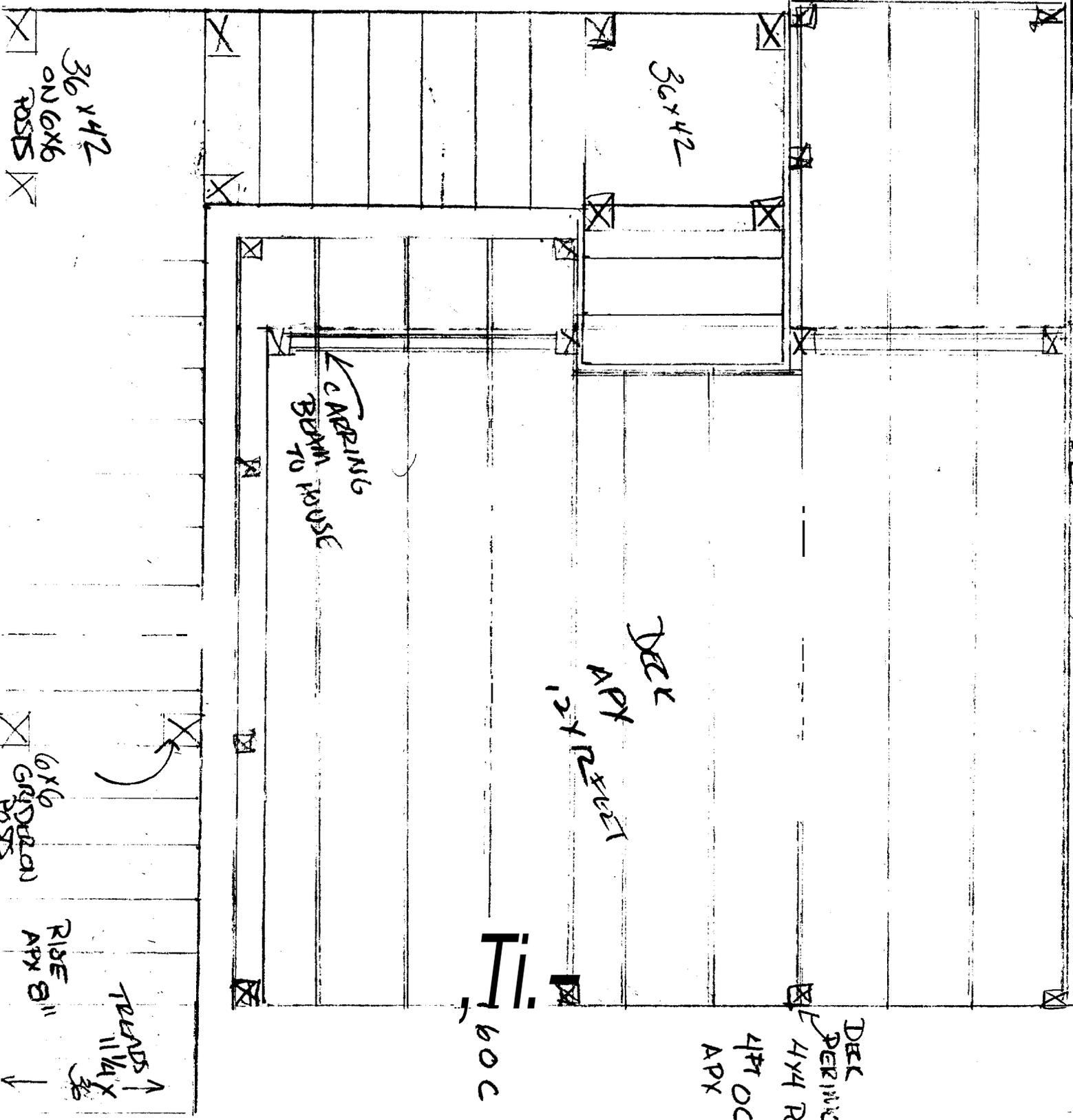
ASSESSMENT RECORD				INCREASE	DECREASE
1950	LAND	500			
	BLDGS.	2075			
	TOTAL	2575			
1951	LAND	500			
	BLDGS.	2250			
	TOTAL	2750			
1956	LAND	500			
	BLDGS.	2250			
	TOTAL				
1958	LAND	X 500	X 500	750	
	BLDGS.	X 2250	X 2250	7225	
	TOTAL	X 2750	X 2750	7275	
1959	LAND	X 425			
	BLDGS.	X 2250			
	TOTAL	X 2675			
19	LAND				
	BLDGS.				
	TOTAL				
19	LAND				
	BLDGS.				
	TOTAL				
19	LAND				
	BLDGS.				
	TOTAL				
19	LAND				
	BLDGS.				
	TOTAL				
19	LAND				
	BLDGS.				
	TOTAL				

LAND VALUE COMPUTATIONS AND SUMMARY						
FRONTAGE	DEPTH	UNIT PRICE	DEPTH FACTOR	FRONT FT. PRICE	16	19
TOTAL VALUE LAND						
TOTAL VALUE BUILDINGS						
TOTAL VALUE LAND AND BUILDINGS						
SQ. FT. TO-FROM CH.				BLK.	LOT	
SQ. FT. TO-FROM CH.				BLK.	LOT	

LAND VALUE COMPUTATIONS AND SUMMARY						
FRONTAGE	DEPTH	UNIT PRICE	DEPTH FACTOR	FRONT FT. PRICE	19	19
TOTAL VALUE LAND						
TOTAL VALUE BUILDINGS						
TOTAL VALUE LAND AND BUILDINGS						
SQ. FT. TO-FROM CH.				BLK.	LOT	
SQ. FT. TO-FROM CH.				BLK.	LOT	

YEAR	ORIG. COST	RENTAL	580
YEAR	SALE PRICE	EXPENSE	
YEAR	U. S. R. S.	NET	580

1/2" = 1 FOOT



36 X 42
ON 6 X 6
POSTS

36 X 42

CARPENS
BEAM TO HOUSE

DECK
APX
12 X 12 FEET

60C

DECK
PERIMETER
4 X 4 POSTS
4 X 4 OC
APX

6 X 6
GRIDDED
POSTS

RISE
APX 8"

TREADS
1 1/4 X 3

