

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

BUILDING INSPECTION

PERMIT

Permit Number: 040239

This is to certify that Friends Of The St Lawrence Hardy Pond Association
 has permission to Shoring, Stabilization & Rock Retaining Church Sanctuary
 AT 66 Congress St L 003 L001001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is laid or closed-in.
 HOURS NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. [Signature]
 Health Dept. _____
 Appeal Board _____
 Other _____
Department Name

[Signature] 4/18/04
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application.

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-0239	Issue Date:	CBL: 003 L001001
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Location of Construction: 66 Congress St	Owner Name: Friends Of The St Lawrence	Owner Address: 76 Congress St	Phone:
Business Name:	Contractor Name: HardyPond Construction	Contractor Address: 45 Bridgton Rd. Westbrook	Phone: 2077976066
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	Zone: R6

Past Use: Church Sanctuary	Proposed Use: Sanctuary / Shoring, Stabilization & Roof Patching of Church Sanctuary <i>Approved use: community center</i>	Permit Fee: \$399.00	Cost of Work: \$42,000.00	CEO District: 1
Proposed Project Description: Shoring, Stabilization & Roof Patching of Church Sanctuary		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: <i>None</i> Type: <i>BA</i> <i>INTENDED</i> <i>SHORING ONLY</i>	
		Signature: <i>[Signature]</i>	Signature: <i>[Signature]</i>	
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)				
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied				
Signature: _____ Date: _____				

Permit Taken By: ldobson	Date Applied For: 03/12/2004	Zoning Approval		
1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..		Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> <i>ok [Signature]</i> Date: <i>3/16/04</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input checked="" type="checkbox"/> Requires Review <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied <i>to DA 3/16/04</i> Date: _____
		<i>D. Andrews</i> <i>3/21/04</i>		

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT

ADDRESS

DATE

PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE

DATE

PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-0239	Date Applied For: 03/12/2004	CBL: 003 L001001
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Location of Construction: 66 Congress St	Owner Name: Friends Of The St Lawrence	Owner Address: 76 Congress St	Phone:
Business Name:	Contractor Name: HardyPond Construction	Contractor Address: 45 Bridgton Rd. Westbrook	Phone (207) 797-6066
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	

Proposed Use: Sanctuary / Shoring, Stabilization & Roof Patching of Church Sanctuary - community center	Proposed Project Description: Shoring, Stabilization & Roof Patching of Church Sanctuary - community center
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Dept: Historical **Status:** Approved **Reviewer:** Deborah Andrews **Approval Date:** 03/31/2004

Note: Ok to Issue:

Dept: Zoning **Status:** Approved **Reviewer:** Marge Schmuckal **Approval Date:** 03/16/2004

Note: Ok to Issue:

Dept: Building **Status:** Approved with Conditions **Reviewer:** Mike Nugent **Approval Date:** 04/08/2004

Note: Ok to Issue:

1) This permit authorizes no use or occupancy, simply stabilizing of this structure ONLY!

Dept: Fire **Status:** Approved with Conditions **Reviewer:** Lt. MacDougal **Approval Date:** 04/06/2004

Note: Ok to Issue:

1) the fire rating shall be maintained between the occupied assembly space and the unoccupied area

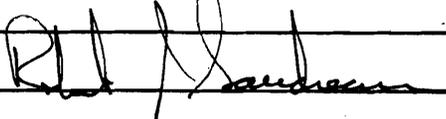
All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>76 CONGRESS ST</u>		
Total Square Footage of Proposed Structure		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>003</u> <u>L</u> <u>001</u>		Owner: <u>FRIENDS OF THE ST. LAWRENCE CHURCH</u> Telephone: <u>207-347-7177</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone:	Cost Of Work: \$ <u>42,000</u> Fee: \$ <u>399.00</u>
Current use: <u>ARTS + COMMUNITY CENTER</u> If the location is currently vacant, what was prior use: _____ Approximately how long has it been vacant: _____ Proposed use: <u>SAME AS ABOVE</u> Project description: <u>SHORING, STABILIZATION + ROOF PATCHING OF CHURCH SANCTUARY AREA.</u>		
Contractor's name, address & telephone: <u>HARDYBOND CONSTRUCTION</u> <u>1039 RIVERSIDE ST. SUITE 11</u> <u>797-6066</u> Who should we contact when the permit is ready: <u>BOB GAUDREAU</u> Mailing address: <u>1039 RIVERSIDE ST SUITE 11</u> <u>PORTLAND, ME 04103</u> We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>797-6066</u>		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: 	Date: <u>3/11/04</u>
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This is NOT a permit, you may not commence ANY work until the permit is issued.
 If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

✓ **Pre-construction Meeting:** Must be scheduled with your inspection team upon receipt of this permit. Jay Reynolds, Development Review Coordinator at 874-8632 must also be contacted at this time, before any site work begins on any project other than single family additions or alterations.

NA **Footing/Building Location Inspection:** Prior to pouring concrete

NA **Re-Bar Schedule Inspection:** Prior to pouring concrete

NA **Foundation Inspection:** Prior to placing ANY backfill

NA **Framing/Rough Plumbing/Electrical:** Prior to any insulating or drywalling

✓ **Final/Certificate of Occupancy:** Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

~~NA~~ CERTIFICATE OF OCCUPANCIES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED

[Signature]
Signature of Applicant/Designee

4/9/04
Date

[Signature]
Signature of Inspections Official

4/9/04
Date

CBL: 003 2001

Building Permit #: 04 0239

GENERAL NOTES

A. GENERAL:

- ALL WORK SHALL COMPLY WITH THE BOCA NATIONAL BUILDING CODE 1999 EDITION.
- CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AND SHALL BE RESPONSIBLE FOR DIMENSIONAL COORDINATION. NOTIFY THE ENGINEER OF ANY AND ALL DISCREPANCIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TEMPORARY SHORING AND GUYING OF THE EXISTING AND NEW STRUCTURES DURING THE WORK, AND FOR TEMPORARY PROTECTION OF THE SURROUNDING ENVIRONS. THE CONTRACTOR ENTERS AND WORKS ON THE STRUCTURE AT ENTIRELY HIS OWN RISK, HOLDING THE OWNER AND THE ENGINEER FREE OF ANY RESPONSIBILITY OR REPRESENTATION W/RESPECT TO THE STRUCTURE'S SAFETY OR STABILITY.
- CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL MEANS OF CONSTRUCTION EMPLOYED ON THIS PROJECT, AND FOR THE SAFE INSTALLATION OF ALL TEMPORARY BRACING, SUPPORT, AND PROTECTION OF THE EXISTING STRUCTURE AS NEEDED FOR THE INSTALLATION OF THIS WORK. ALL WORK SHALL BE DONE IN SUCH A MANNER AS WILL PROVIDE FOR THE ON-GOING SAFETY OF THE WORKERS. NO DRILLING OR REMOVALS SHALL BE DONE WITHOUT PROPER STRUCTURAL BRACING OR PROTECTION, WHICH SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- STRUCTURES NORTH CONSULTING ENGINEERS, INC. (THE ENGINEER) SHALL NOT BE RESPONSIBLE FOR THE PREMATURE COLLAPSE OF OR DAMAGE TO THE STRUCTURE (OR PERSONAL INJURY TO WORKERS OR OCCUPANTS) AS MAY BE CAUSED BY ANY ASPECT OF THE STRUCTURAL REPAIRS OR THE DELAY THEREOF.
- CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR MAINTAINING THE SAFETY OF ALL ADJACENT STRUCTURES DURING ALL PHASES OF THE WORK, AND SHALL CORRECT ANY DEFECTS OR DAMAGE WHICH RESULTS FROM HIS ACTIONS.

B. GENERAL INTENT OF STRUCTURAL WORK:

- COMPLETION OF THE WORK WILL IMPROVE THE PERFORMANCE OF THE EXISTING STRUCTURE UNDER GRAVITY AND WIND LOAD CONDITIONS ONLY IN ORDER TO HELP PREVENT IMMEDIATE COLLAPSE. IN NO WAY SHALL THE COMPLETED WORK BE CONSTRUED TO MAKE THE STRUCTURE SAFE FOR UNAUTHORIZED HUMAN OCCUPANCY.
- THE CITY OF PORTLAND SHALL HAVE AN EMERGENCY CONTINGENCY PLAN IN PLACE SHOULD THE CONDITION OF THE STRUCTURE BECOME SO SEVERE THAT STABILIZATION AND SUPPORT IS DEEMED TO BE IMPOSSIBLE. THE EMERGENCY CONTINGENCY PLAN SHALL CONSIST OF NOTIFICATION OF THE PORTLAND BUILDING DEPARTMENT, THE FIRE DEPARTMENT, THE MAINE HISTORIC PRESERVATION COMMISSION, THE CITY OF PORTLAND HISTORIC REVIEW DIRECTOR AND STRUCTURES NORTH CONSULTING ENGINEERS, INC.. ADJACENT STRUCTURES SHALL BE EVACUATED AND STREET FRONTAGE AREAS RESTRICTED UNTIL SUCH TIME AS THE STRUCTURE HAS BEEN STABILIZED AND DETERMINED TO BE SAFE FROM IMMEDIATE COLLAPSE. REMOVAL OF SEVERELY DETERIORATED PORTIONS OF THE BUILDING SHALL BE DONE WITH THE CONSENT OF THE MAINE HISTORIC PRESERVATION COMMISSION. THE INTENT IS TO PRESERVE AS MUCH AS POSSIBLE WHEN CONSIDERING ANY NECESSARY REMOVALS. AT THE REQUEST OF THE MHPC, THE FRIENDS OF ST. LAWRENCE WILL PROVIDE AN ENGINEER TO BACK UP THE DECISION MAKING PROCESS. EMERGENCY PROCEDURES SHALL BE INVOKED UPON ACCUMULATION OF MORE THAN 6" OF SNOW BEFORE SUPPLEMENTAL SUPPORT HAS BEEN INSTALLED OR IF BUILDING ELEMENTS HAVE ADDITIONALLY SHIFTED OR COLLAPSED.
- WORK SHALL BE PERFORMED CONCURRENTLY WITH GEOMETRIC MONITORING WORK TO BE PERFORMED BY THE CONTRACTOR, WHO SHALL NOTIFY THE ENGINEER IF ANY BUILDING MOVEMENTS ARE DETECTED AND THE WORK SHALL BE STOPPED, THE BUILDING EVACUATED, AND THE EMERGENCY PLAN INVOKED UNTIL THE CAUSE OF THE BUILDING MOVEMENTS HAS BEEN DETERMINED AND CORRECTED.

C. STRUCTURAL DESIGN LOAD ASSUMPTIONS:

- DESIGN GRAVITY LOADS CONSIDERED BASED UPON:
WIND LOAD = 90 MPH WIND
DESIGN GROUND SNOW LOAD = 60 PSF
FLOOR LIVE LOAD = 20 PSF
DEAD LOAD = WEIGHTS OF COMPONENT MATERIALS

D. GENERAL REQUIREMENTS OF WORK:

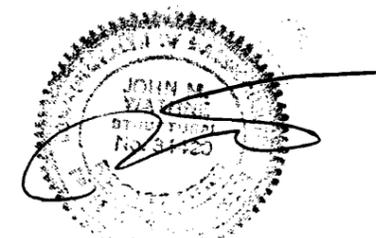
- THE CONTRACTOR SHALL INSTALL ALL NEW SHORING BEAMS AND POSTS AS INDICATED.
- THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BLOCKING AND BRACED CRIPPLES AS NEEDED TO PROVIDE FOR VERTICAL LOAD TRANSFER BETWEEN ALL FLOOR AND ROOF JOISTS AND THE SHORING BEAMS THAT RUN BENEATH THEM. SHORING BEAMS AND SUPPORTS SHALL BE INSTALLED TO A SNUG POSITION.
- THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BRACING AS NEEDED TO PREVENT LATERAL OR LONGITUDINAL DISPLACEMENT OF THE NEW SHORING.
- THE CONTRACTOR SHALL PROVIDE SUPPLEMENTAL ROOF JOISTS AND FLOOR JOISTS AND BLOCKING ON A UNIT COST, AS-NEEDED BASIS TO SUPPORT EXISTING FLOOR AND ROOF FRAMING THAT WILL NOT BE SUFFICIENTLY SUPPORTED BY THE SHORING BEAMS AND POSTS TO PREVENT SHORT-TERM COLLAPSE, AS DIRECTED BY THE ENGINEER FOLLOWING INSPECTION OF EXISTING CONDITIONS.
- THE CONTRACTOR SHALL MAKE EVERY REASONABLE ATTEMPT TO COMPLETE THE WORK ABSOLUTELY AS QUICKLY AND AS SAFELY AS POSSIBLE, KEEPING IN MIND THE UNCERTAINTY AND POSSIBILITY OF SEVERE WINTER WEATHER WHICH MAY DAMAGE OR EVEN COLLAPSE THE STRUCTURE.
- THE CONTRACTOR SHALL WORK WITH THE CITY OF PORTLAND TO ESTABLISH A SAFE AND LEGAL "DROP-OFF" AREA FOR CONSTRUCTION MATERIALS. DO NOT STORE MATERIALS ON PUBLIC RIGHTS OF WAY OR ON PRIVATE PROPERTY WITHOUT EXPRESS PERMISSION OF THE PROPERTY OWNERS.
- THE CONTRACTOR AND ENGINEER OF RECORD SHALL MONITOR THE CONDITION AND STABILITY OF THE STRUCTURE DURING THE WORK AND SHALL NOTIFY THE INSPECTIONAL SERVICES DEPARTMENT AND THE FIRE DEPARTMENT IMMEDIATELY IF THERE ARE ANY INDICATIONS OF NEW MOVEMENT OR INSTABILITY IN THE STRUCTURE, STOPPING ALL WORK UNTIL IT IS DEEMED SAFE THAT THE WORK BE RESUMED.
- THE CONTRACTOR SHALL KEEP THE ENGINEER ABREAST OF ALL CONDITIONS THAT ARE UNCOVERED DURING THE WORK THAT MIGHT AFFECT IT. THE ENGINEER RESERVES THE RIGHT TO MAKE MODIFICATIONS IN THE SCOPE OF WORK AS MAY BE NEEDED TO ACCOMMODATE DISCOVERED CONDITIONS AND THE ENGINEER WILL CONSIDER AND REVIEW ALL SUGGESTED ALTERNATIVES SUBMITTED BY THE CONTRACTOR AS MAY IMPROVE THE SAFETY, TIMELINESS AND EFFECTIVENESS OF THE WORK.

E. WOOD FRAMING REQUIREMENTS:

- PROVIDE THE FOLLOWING ROUGH CARPENTRY MATERIALS:

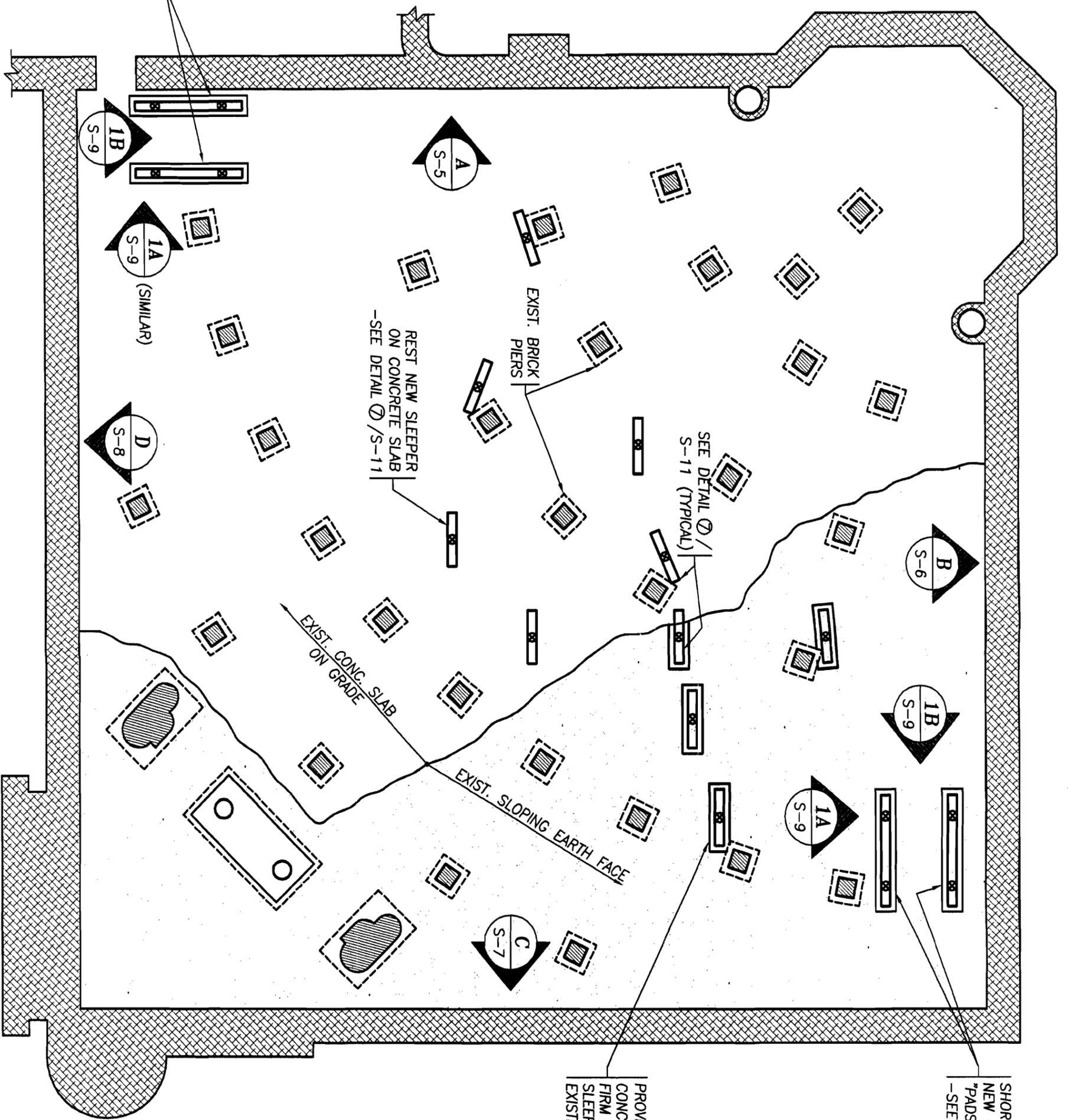
SOLID POST TIMBERS SHALL BE HEM FIR NO. 2 OR BETTER WITH A MINIMUM ALLOWABLE COMPRESSIVE STRESS PARALLEL TO GRAIN OF 425 PSI AND A MINIMUM ELASTIC MODULUS OF 1,000,000 PSI.
- PROVIDE STANDARD GALVANIZED METAL CONNECTORS WHERE APPROPRIATE FOR ALL FLUSH FRAMED BEAM AND JOIST APPLICATIONS WHERE NEEDED PER THE DIRECTION OF THE ENGINEER. CAPACITIES SHALL BE SUITABLE FOR THE MEMBER AND SPAN.
- UNLESS OTHERWISE NOTED, NAIL ALL FRAMING IN ACCORDANCE WITH THE BOCA BUILDING CODE AND INDUSTRY STANDARDS.

- WOOD CONSTRUCTION IS TO CONFORM TO PART II "DESIGN SPECIFICATIONS" AS PUBLISHED IN THE "TIMBER CONSTRUCTION MANUAL" (AITC) AND TO "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION", LATEST EDITIONS.
- NEW LUMBER FOR STRUCTURAL USE IS TO BE SURFACE DRIED AND HAVE A MOISTURE CONTENT OF NOT MORE THAN 19 PERCENT.
- STRUCTURAL LUMBER IS TO BE IDENTIFIED BY THE GRADE MARK OF, OR CERTIFICATE OF INSPECTION ISSUED BY, A GRADING OR INSPECTION BUREAU OR AGENCY RECOGNIZED AS BEING COMPETENT.
- STRUCTURAL LUMBER IS TO BE VISUALLY STRESS-GRADED LUMBER IN ACCORDANCE WITH THE PROVISIONS OF ASTM DESIGNATION D245-74, "METHODS FOR ESTABLISHING STRUCTURAL GRADES AND RELATED ALLOWABLE PROPERTIES FOR VISUALLY GRADED LUMBER."
- WOOD IS TO BE HANDLED AND COVERED TO PREVENT DAMAGE AND MOISTURE ABSORPTION FROM SNOW OR RAIN.
- MANUFACTURED SHORING PRODUCTS AND JACKS SHALL BE PROVIDED TO SUIT THE LOAD & GEOMETRIC STABILITY REQUIREMENTS INDICATED HEREIN.



* Maine Temporary Permit Application pending, to take effect on 3-26-04

E:\CAD\Projects\2003\03183 St. Lawrence Art & Community Center\Structs - General Notes.dwg, 03/15/2004 09:16:50 PM



SHORING TOWER ON
NEW CONCRETE "PADS"
CUT INTO EXIST. SLAB.
-SEE DETAIL ① / S-9

REST NEW SLEEPER
ON CONCRETE SLAB
-SEE DETAIL ② / S-11

EXIST. BRICK
PIERS

SEE DETAIL ③ /
S-11 (TYPICAL)

EXIST. CONC. SLAB
ON GRADE

EXIST. SLOPING EARTH FACE

PROVIDE 8"x18" WIDE
CONCRETE "PAD" ON
FIRM SOIL BELOW
SLEEPERS WHERE NO
EXISTING SLAB IS FOUND

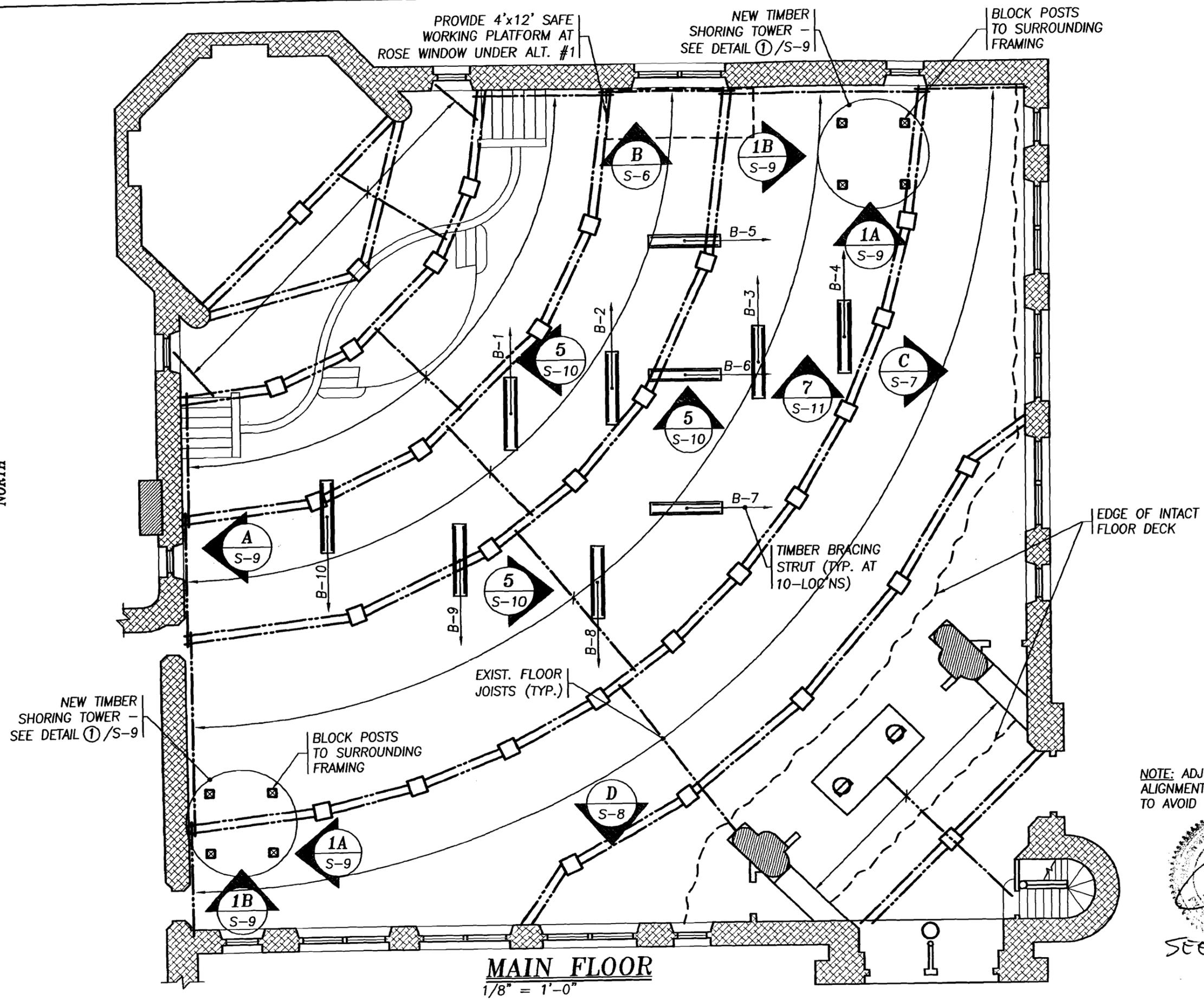
SHORING TOWER ON
NEW CONCRETE
"PADS" IN FIRM SOIL.
-SEE DETAIL ① / S-9



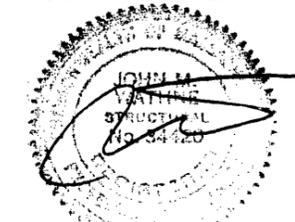
SEE X OVS-1

S-2	LOWER FLOOR	SCALE: 1/8" 1'-0"	CLIENT NAME: St. Lawrence Art & Community Center	STRUCTURES NORTH CONSULTING ENGINEERS, INC. <small>NO. 200 BARRINGTON ST. PORTLAND, ME 04107 TEL: 603.768.6617 FAX: 603.768.6607 WWW.STRUCTURES-NORTH.COM</small>
		DATE: 01-18-04	76 Congress Street	
		DRWN: PN/SB	Portland, Maine	
		CHECKED BY: JMW		

Z:\CADD\Projects\2003\03183 St. Lawrence Arts & Community Center\Struct\S-3 Main Floor Plan.dwg, Main Floor, 1/16/2004 4:23:47 PM



NOTE: ADJUST BRACE ALIGNMENTS AS NEEDED TO AVOID EACH OTHER



SEE * 015-1

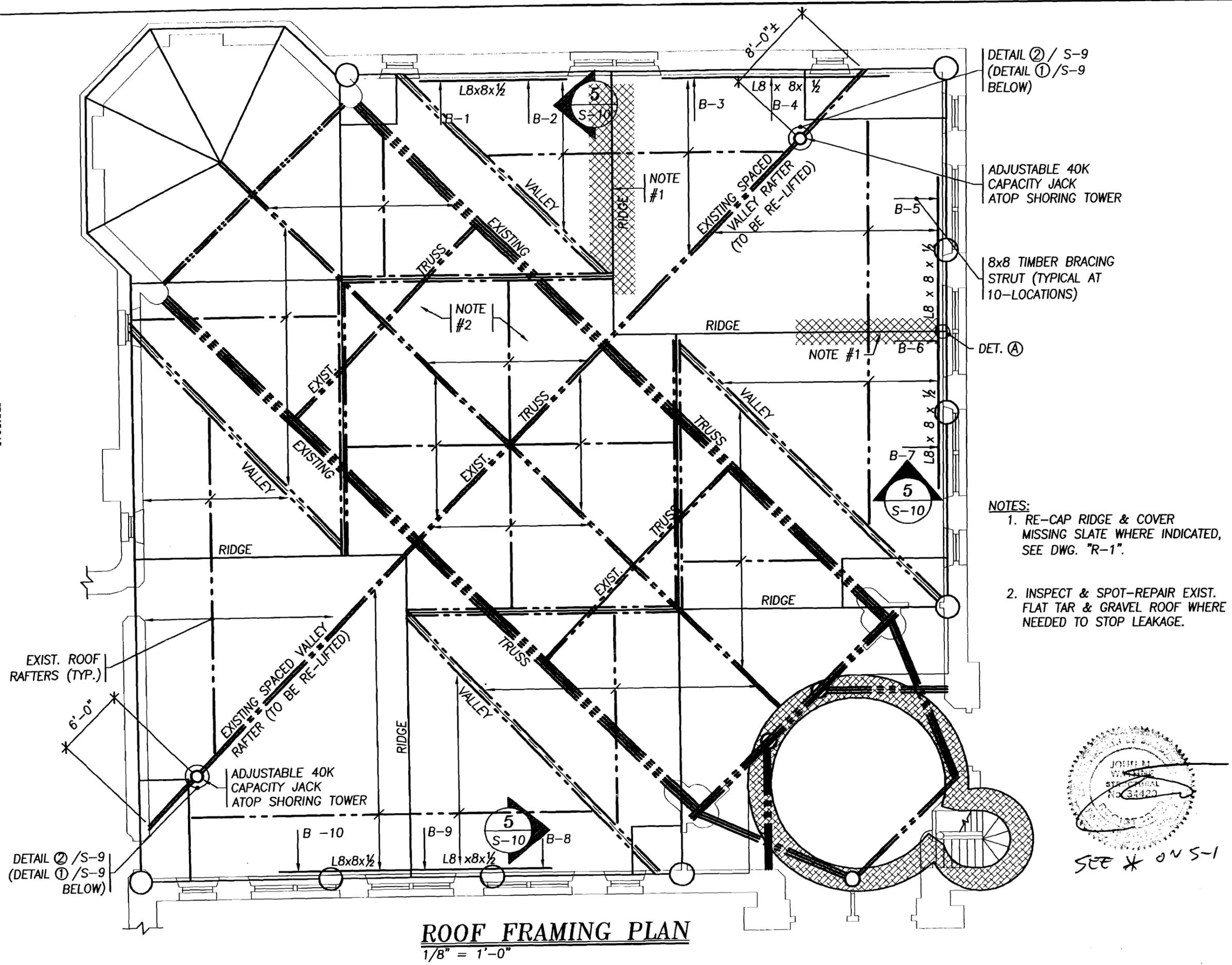
STRUCTURES NORTH
 CONSULTING ENGINEERS, INC.
 60 WASHINGTON ST.
 PO BOX 8840
 BALEW, MA 01971
 TEL 978 745-0817
 FAX 978 745-0817
 www.structures-north.com

St. Lawrence Art & Community Center
 76 Congress Street
 Portland, Maine

CLIENT NAME:
 SCALE: 1/8" = 1'-0"
 DATE: 01-16-04
 DRAWN: PN
 CHECKED BY: JMW

MAIN FLOOR
 S-3

Z:\CADD\Projects\2003\03183 St. Lawrence Arts & Community Center\Struct\S-4 Roof Plan.dwg, Roof Plan, 1/16/2004 4:27:17 PM



DETAIL ② / S-9
(DETAIL ① / S-9
BELOW)

ADJUSTABLE 40K
CAPACITY JACK
ATOP SHORING TOWER

8x8 TIMBER BRACING
STRUT (TYPICAL AT
10-LOCATIONS)

DET. (A)

- NOTES:
1. RE-CAP RIDGE & COVER MISSING SLATE WHERE INDICATED, SEE DWG. "R-1".
 2. INSPECT & SPOT-REPAIR EXIST. FLAT TAR & GRAVEL ROOF WHERE NEEDED TO STOP LEAKAGE.



SEE * ON S-1

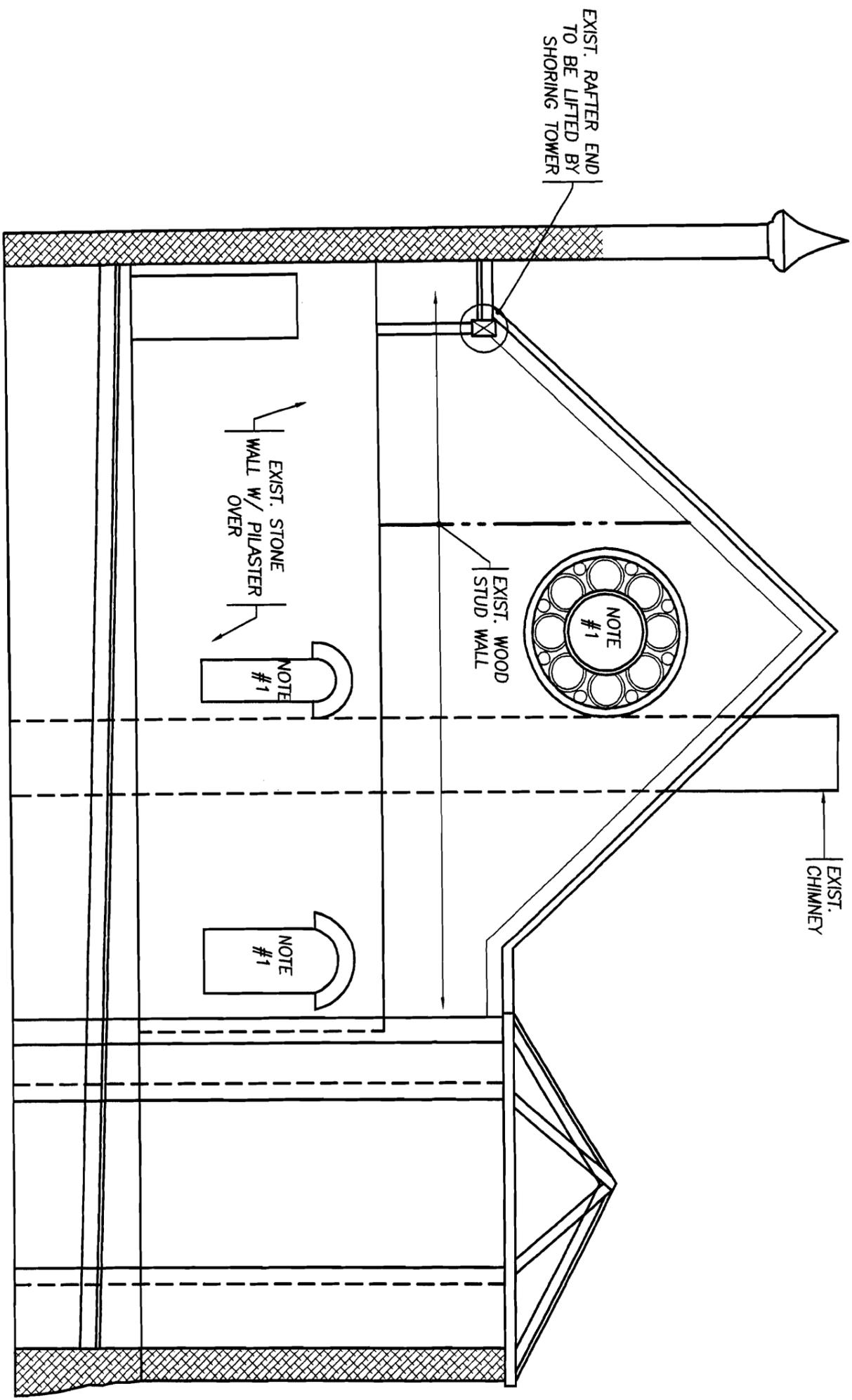
ROOF FRAMING PLAN
1/8" = 1'-0"

STRUCTURES NORTH
CONSULTING ENGINEERS, INC.
80 WASHINGTON ST.
PO BOX 8500
BURLINGAME, MA 01921
TEL 978.748.0017
FAX 978.748.0007
www.structures-north.com

St. Lawrence Art & Community Center
76 Congress Street
Portland, Maine

CLIENT NAME	
SCALE: 1/8" = 1'-0"	
DATE: 01-16-04	
DRAWN: PN/SB	
CHECKED BY: JMW	
ROOF FRAMING PLAN	

S-4

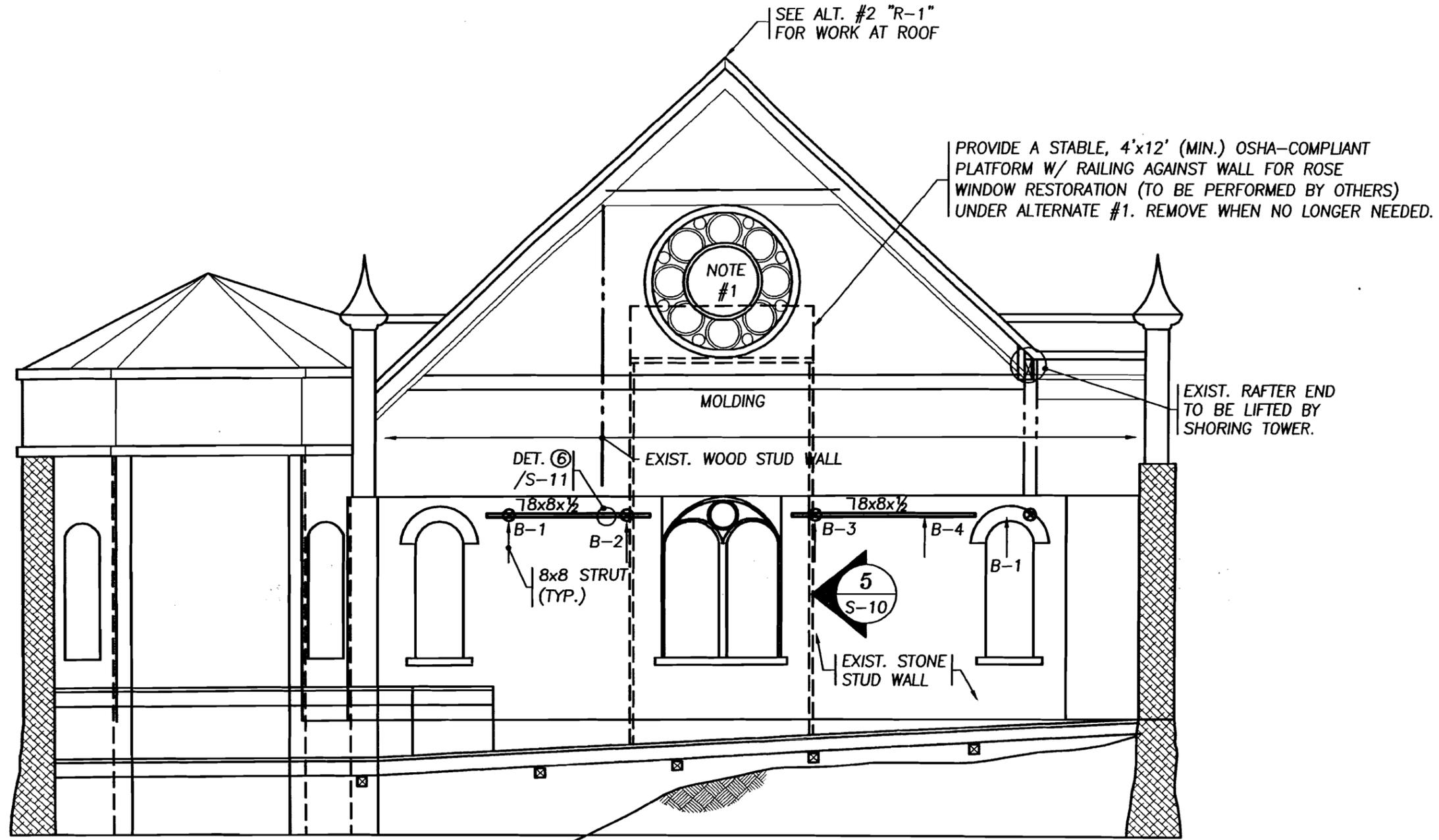


A
 1/8" = 1'-0"
NORTH INTERIOR ELEVATION

SEE * ON S-1

S-5	SCALE: 1/8" 1'-0"	CLIENT NAME: St. Lawrence Art & Community Center 76 Congress Street Portland, Maine	STRUCTURES NORTH CONSULTING ARCHITECTS, INC. 60 BALSHEWTON ST. BURLING, MA 01811 TEL: 978.244.0017 FAX: 978.244.0017 WWW.STRUCTURES-NORTH.COM
	DATE: 01-16-04		
	DRWN: SB		
	CHECKED BY: JMW		
NORTH ELEVATION			

Z:\CADD\Projects\2003\03183 St. Lawrence Arts & Community Center\Struct\S-6 East- S-8 West Elev.dwg, EAST, 1/16/2004 4:32:24 PM



NOTES:
1. PROTECT EXIST. STAINED GLASS DURING WORK.

B EAST INTERIOR ELEVATION
1/8" = 1'-0"



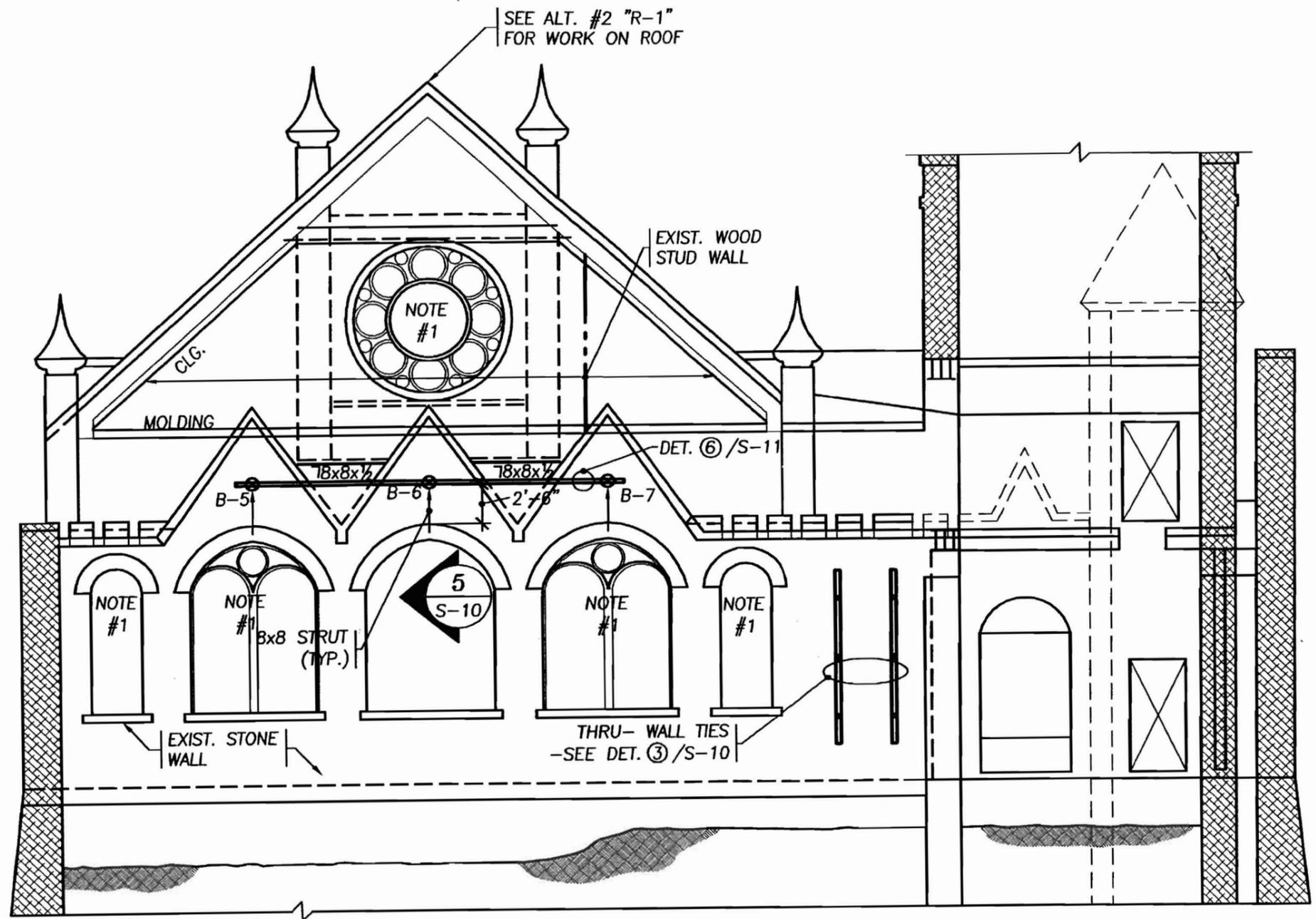
SEE * 025-1

STRUCTURES NORTH
CONSULTING ENGINEERS, INC.
80 WASHINGTON ST.
PO BOX 6600
SALISBURY, MA 01971
PH 978.746.0017
FAX 978.746.0007
www.structures-north.com

St. Lawrence Art & Community Center
76 Congress Street
Portland, Maine

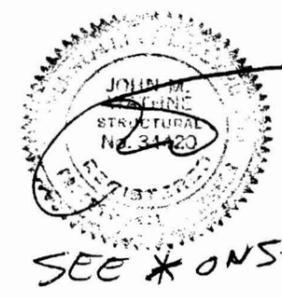
CLIENT NAME:			
SCALE:	1/8" = 1'-0"	DATE:	01-16-04
DRAWN BY:	SB	CHECKED BY:	JMY
EAST ELEVATION			
S-6			

St. Lawrence Art & Community Center
76 Congress Street
Portland, Maine



NOTES:
1. PROTECT EXIST. STAINED GLASS DURING WORK

C SOUTH INTERIOR ELEVATION
1/8" = 1'-0"

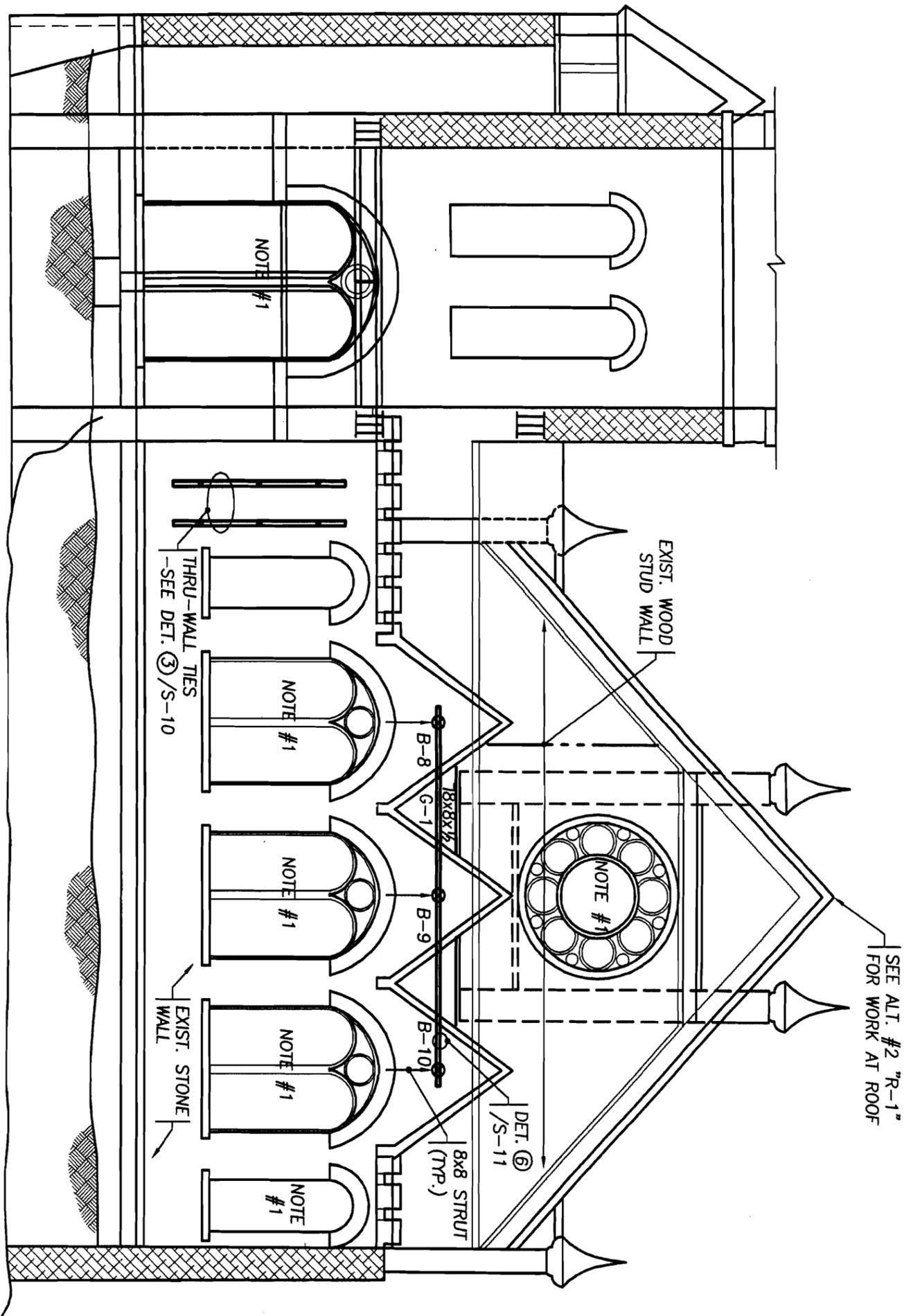


CLIENT NAME:

SCALE: 1/8" = 1'-0"	DATE: 01-16-04	DRAWN: SB/PN	CHECKED BY: JMF
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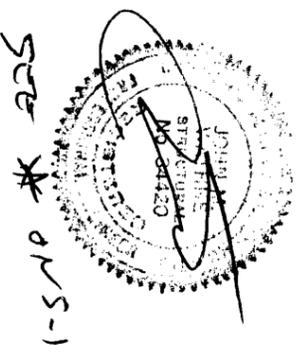
SOUTH ELEVATION

S-7



NOTES:
1. PROTECT EXIST. STAINED GLASS DURING WORK.

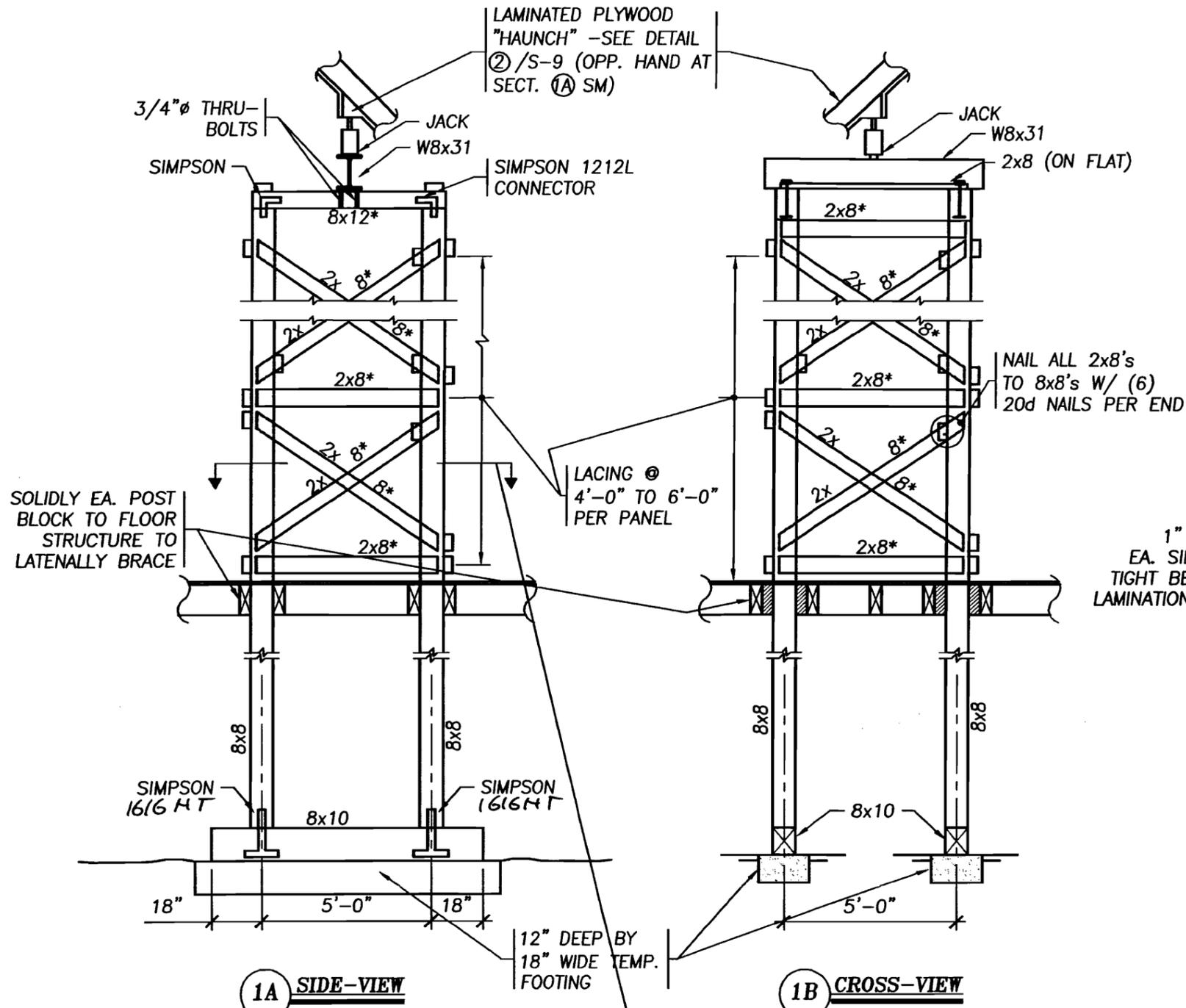
D WEST INTERIOR ELEVATION
1/8" = 1'-0"



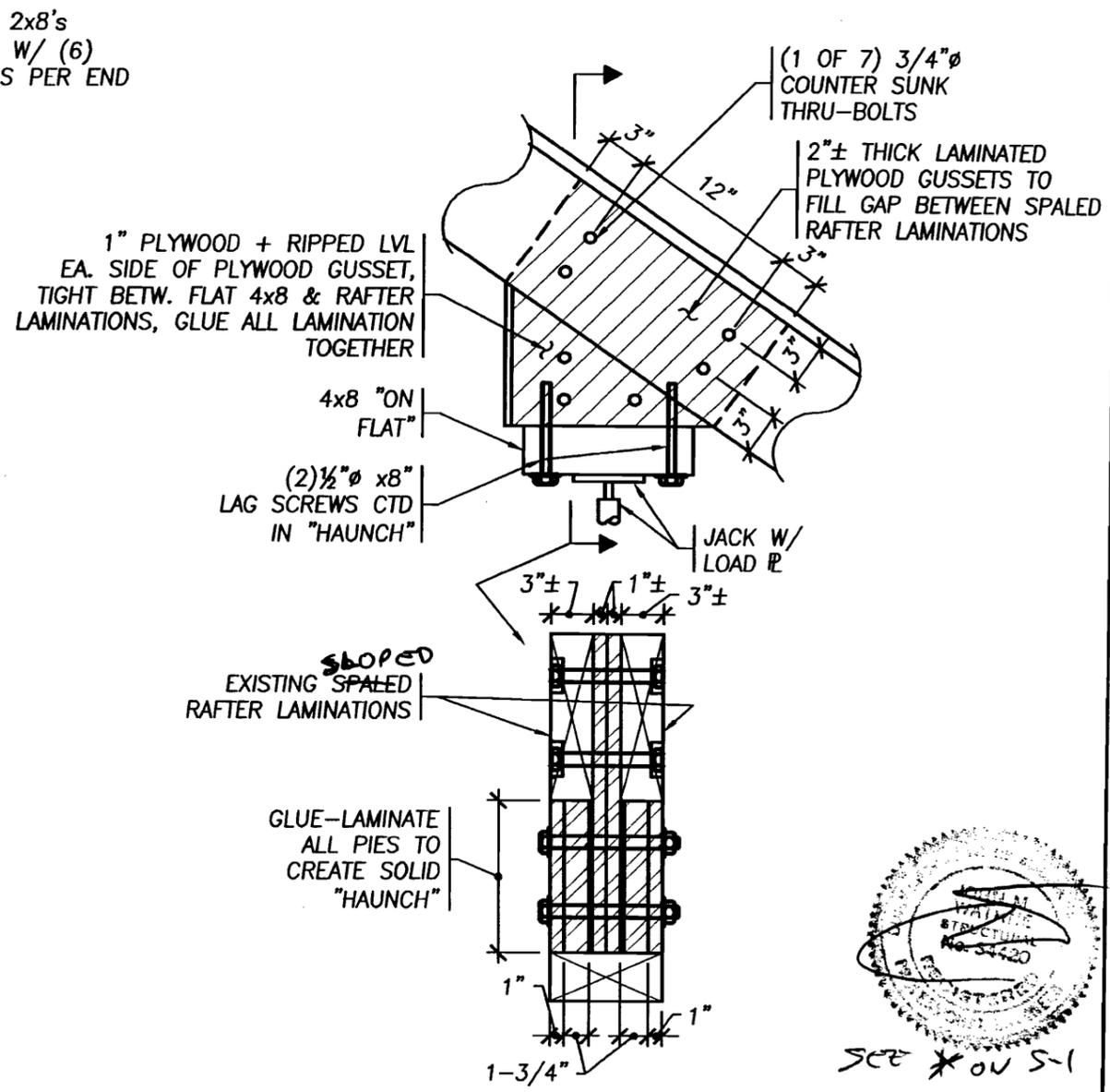
S-8	WEST ELEVATION	SCALE: 1/8" 1'-0"	CLIENT NAME: St. Lawrence Art & Community Center 76 Congress Street Portland, Maine	STRUCTURES NORTH <small> 60 WASHINGTON ST. PORTLAND, ME 04101 TEL: 578-1000 FAX: 578-1000 </small>
		DATE: 01-16-04		
		DRWN: SB		
		CHECKED BY: JMW		

Z:\CADD\Projects\2003\03183 St. Lawrence Arts & Community Center\Struct\S-9 Shoring Elev.dwg, Details, 1/16/2004 4:40:58 PM

St. Lawrence Art & Community Center
76 Congress Street
Portland, Maine



1 SHORING TOWER DETAILS
S-9 1/4" = 1'-0"



2 SHORING "HAUNCH" DETAIL
S-9 1" = 1'-0"

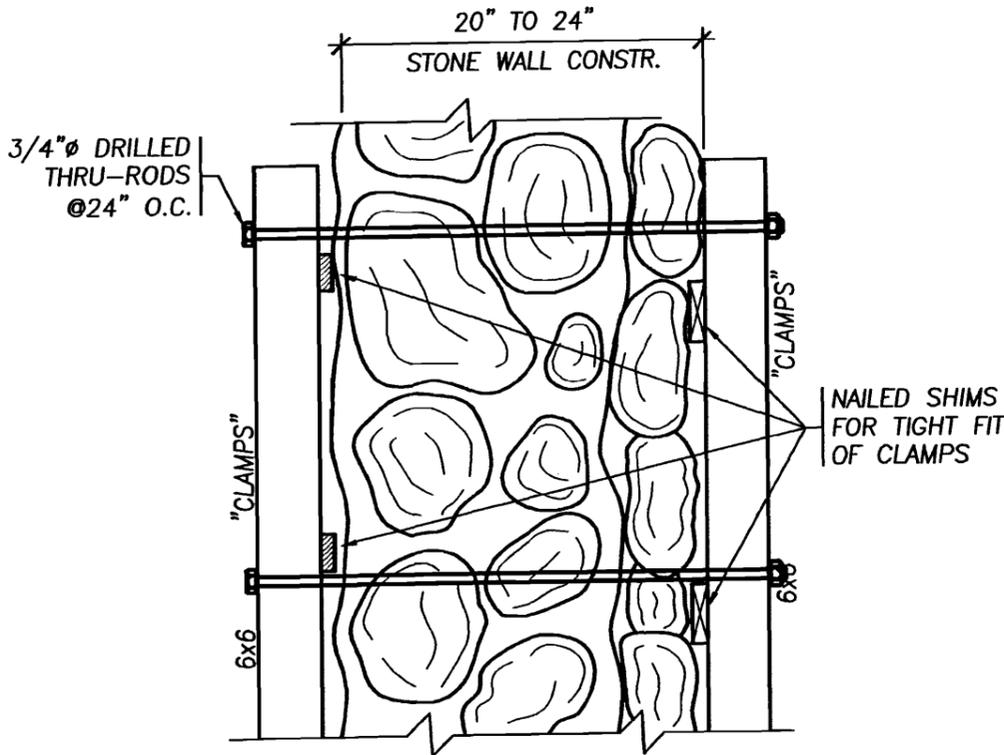


CLIENT NAME:

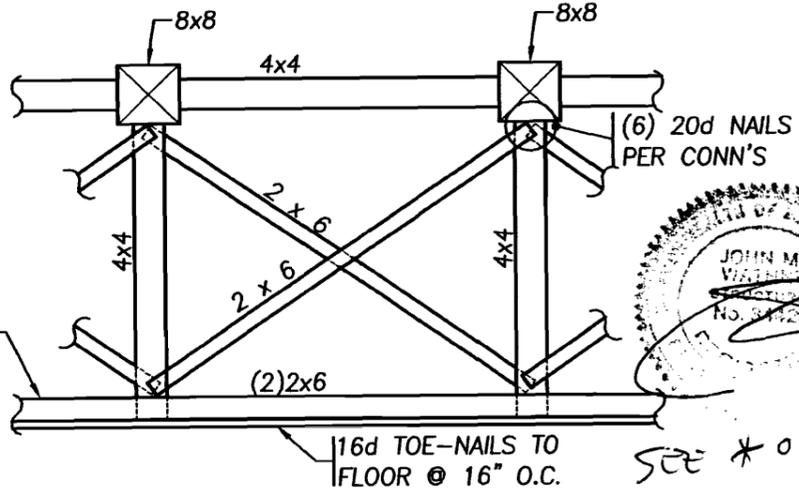
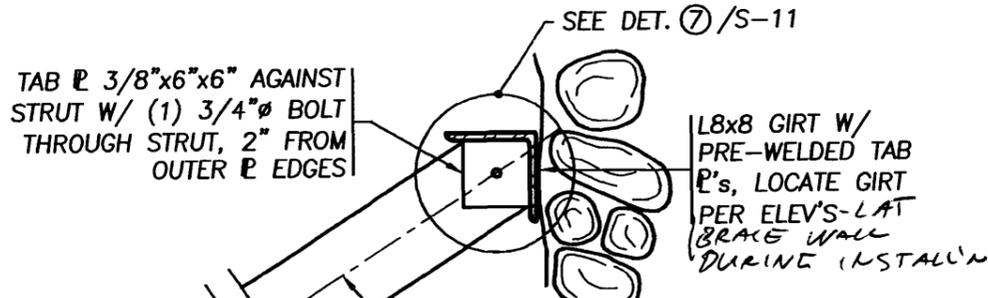
SCALE: AS NOTED	DATE: 01-16-04	DATE: SB	CHECKED BY: JMW
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SHORING TOWER DETAILS

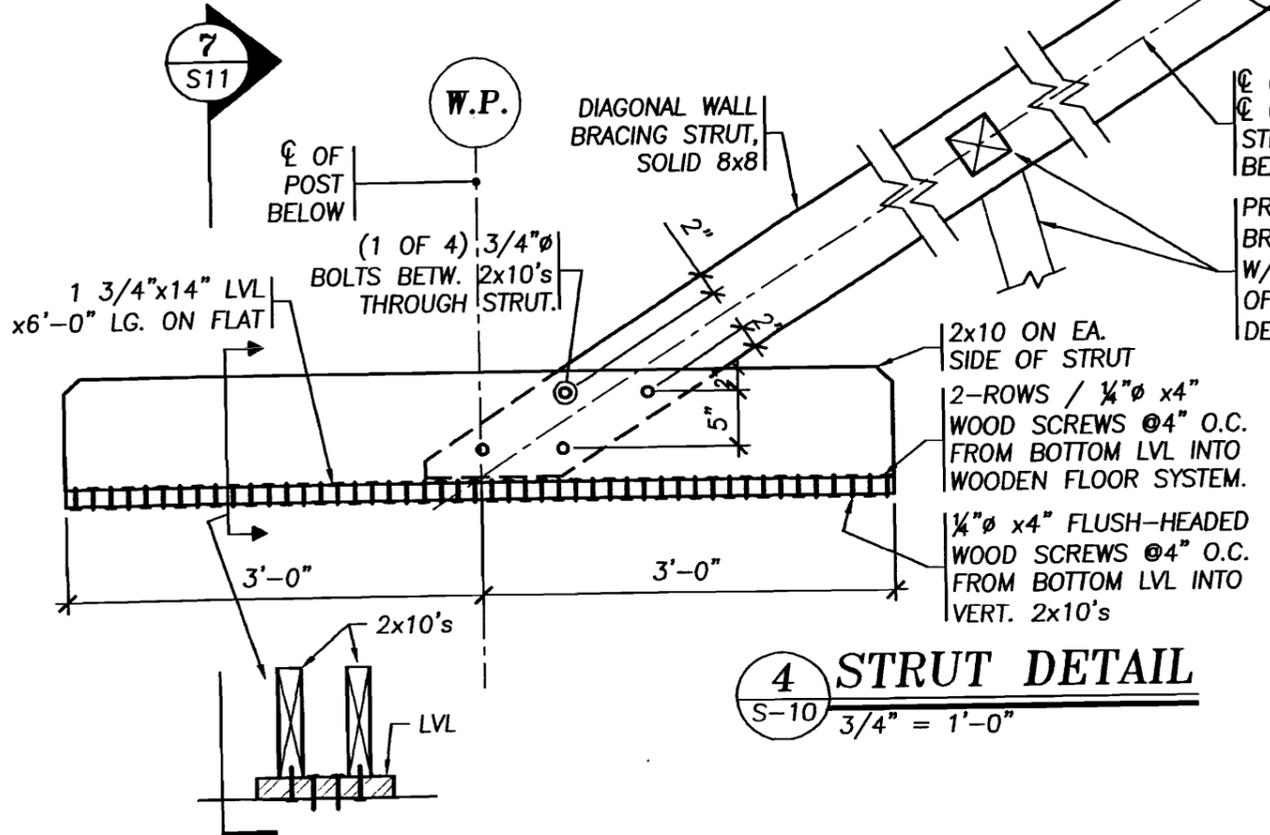
St. Lawrence Art & Community Center
76 Congress Street
Portland, Maine



3 THRU-WALL TIE DETAIL
S-10 1" = 1'-0"



5 STRUT BRIDGING DETAIL
S-10 1/2" = 1'-0"



4 STRUT DETAIL
S-10 3/4" = 1'-0"

Z:\CADD\Projects\2003\03183 St. Lawrence Arts & Community Center\Struct\3-10 Details.dwg, Details, 1/10/2004 3:13:44 PM

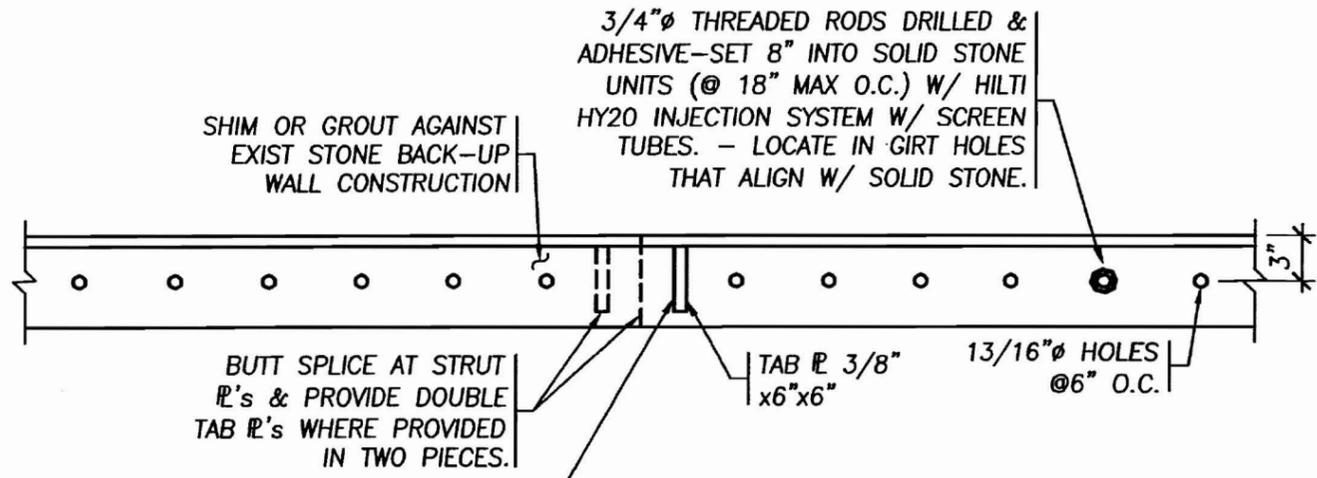
CLIENT NAME:

SCALE: AS NOTED
DATE: 01-16-04
DRAWN: SB
CHECKED BY: JAW

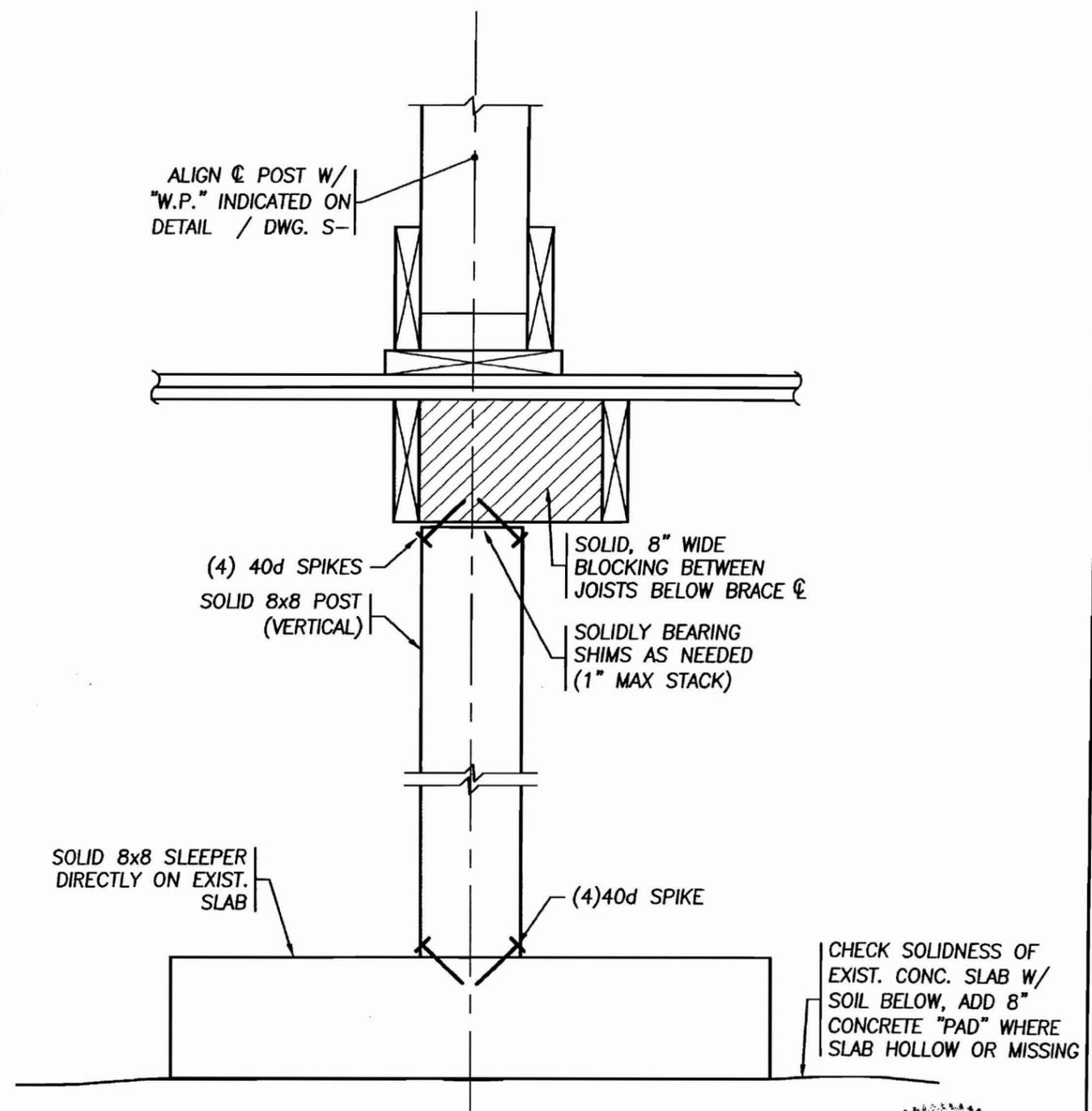
DETAILS

S-10

Z:\CADD\Projects\2003\03183 St. Lawrence Arts & Community Center\Struct\S-11 Details.dwg, Details, 1/16/2004 5:04:22 PM



6 ANGLE WALL GIRT DETAIL
S-11 1" = 1'-0"



7 DETAIL
S-11 1" = 1'-0"

SEE * ONS-1

JOHN M. RATTINE
STRUCTURAL
No. 34420

STRUCTURES NORTH
CONSULTING ENGINEERS, INC.
80 WASHINGTON ST.
PO BOX 6660
SALEM, MA 01972
TEL 978.746.8817
FAX 978.746.8867
www.structures-north.com

St. Lawrence Art & Community Center
76 Congress Street
Portland, Maine

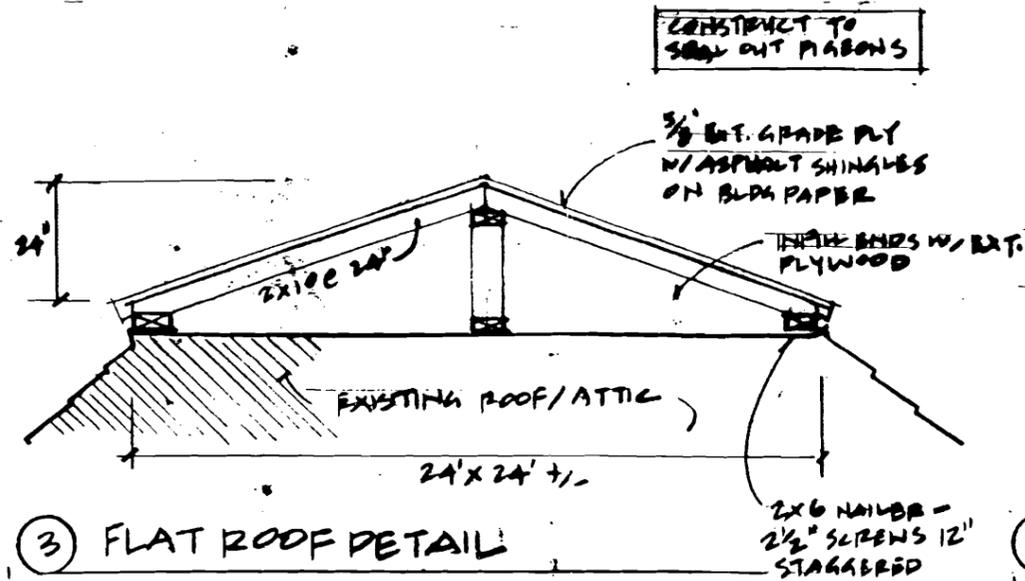
CLIENT NAME

SCALE: AS NOTED	DATE: 01-16-04	DRAWN: SB	CHECKED BY: JMW
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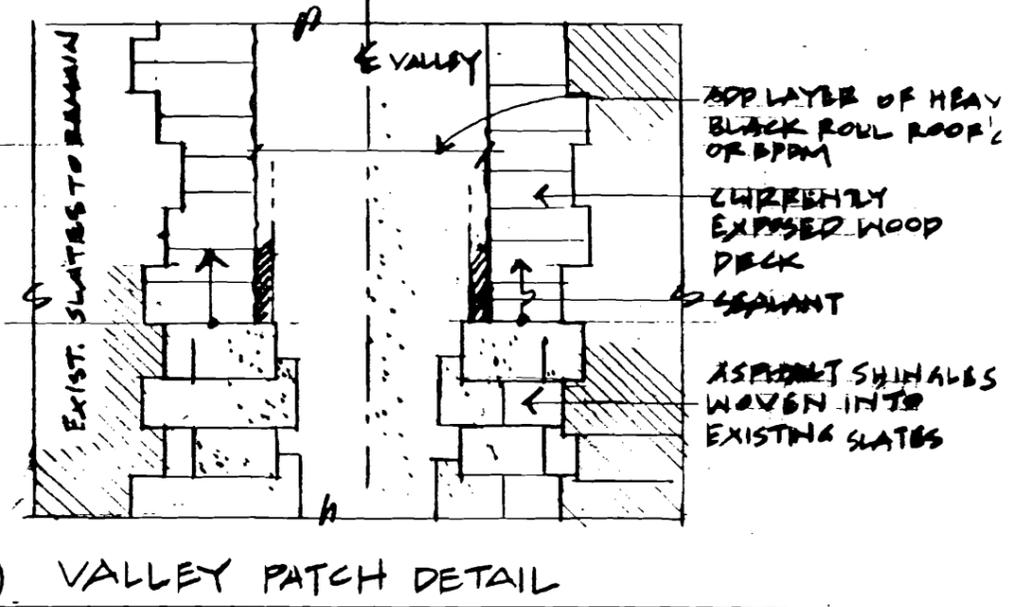
DETAILS

S-11

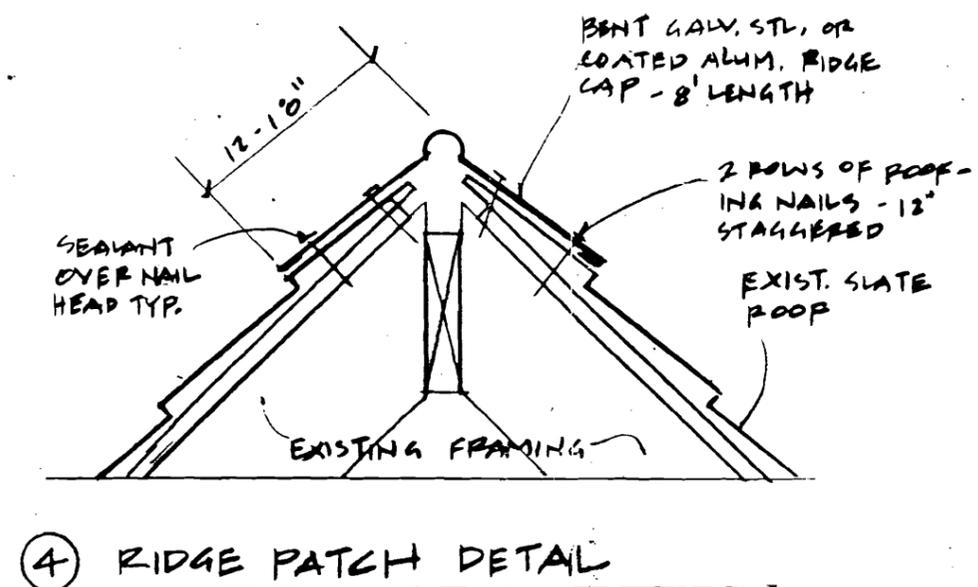
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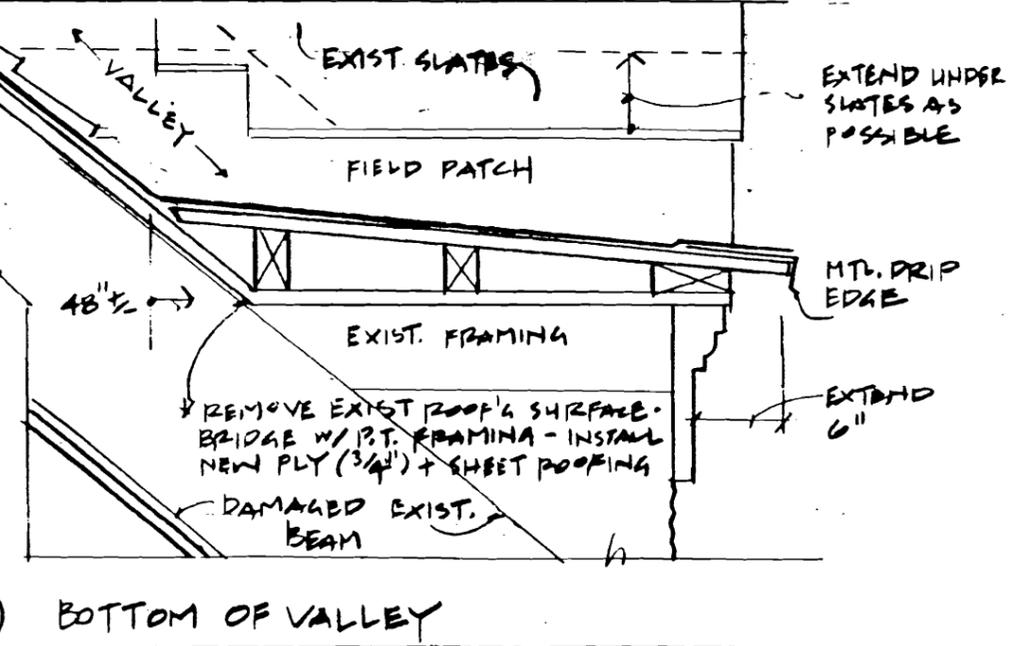
1



7



2



8

5

ST. LAWRENCE ARTS AND COMMUNITY CENTER
 ROOF PLAN
 TEMP. ROOF REPAIR DETAILS (R-2)

INFORMATION PROVIDED BY THE FRIENDS OF ST. LAWRENCE

1/20/04



CITY OF PORTLAND, MAINE
Department of Building Inspections

3-11 2001

Received from Henry Paul Const.

Location of Work 76 Congress St.

Cost of Construction \$ 45000

Permit Fee \$ 29700

Building (IL) Plumbing (IS) Electrical (I2) Site Plan (U2)

Other _____

CBL: 500-2001

Check #: 501 Total Collected \$ 74700

THIS IS NOT A PERMIT

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

[Handwritten signature]

WHITE - Applicant's Copy
YELLOW - Office Copy
PINK - Permit Copy