

**DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND**

Please Read
Application And
Notes, If Any,
Attached

BUILDING INSPECTION

PERMIT

Permit Number: 080138

This is to certify that DOUGHER ZEILE A /Troy Morrill
has permission to 3rd floor addition for master bedroom 9' x 18' 1/2" depth the fact
AT 27 OBRION ST 003 K011001

provided that the person or persons who apply for and accept this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is occupied or otherwise closed-in. 4 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept.

Health Dept.

Appeal Board

Other

PERMIT ISSUED

FEB 28 2008

Department Name

CITY OF PORTLAND

PENALTY FOR REMOVING THIS CARD

[Signature] 2/28/08
Director - Building & Inspection Services

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-0138	Issue Date: FEB 20 2008	CBL: 003 K011001
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Location of Construction: 27 OBRION ST	Owner Name: DOUGHER ZEILE A	Owner Address: 27 OBRION ST	Phone: CITY OF PORTLAND
Business Name:	Contractor Name: Troy Morrill	Contractor Address: 256 Rabbit Road Durham	Phone: 2075769649
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	Zone: R-6

Past Use: Single Family Home	Proposed Use: Single Family Home - 3rd floor addition for master bedroom	Permit Fee: \$500.00	Cost of Work: \$48,000.00	CEO District: 1
Proposed Project Description: 3rd floor addition for master bedroom & permit 7'x18' porch after the fact.		FIRE DEPT: <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied N/A	INSPECTION: Use Group: R-3 Type: SB IRC 2003	
		Signature: [Signature]		
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)				
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input checked="" type="checkbox"/> Denied				
Signature: _____ Date: _____				

Permit Taken By: ldobson	Date Applied For: 02/19/2008	Zoning Approval		
1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: 7/27/08	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date:	Using section 14-431(b) 35% of allowable sq ft in zone ABM

Scanned

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-0138	Date Applied For: 02/19/2008	CBL: 003 K011001
-----------------------	---------------------------------	---------------------

Location of Construction: 27 OBRION ST	Owner Name: DOUGHER ZEILE A	Owner Address: 27 OBRION ST	Phone:
Business Name:	Contractor Name: Troy Morrill	Contractor Address: 256 Rabbit Road Durham	Phone: (207) 576-9649
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	

Proposed Use: Single Family Home - 3rd floor addition for master bedroom & permit 7' x 18' rear porch after the fact	Proposed Project Description: 3rd floor addition for master bedroom & permit 7' x 18' rear porch after the fact
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Ann Machado **Approval Date:** 02/27/2008

Note: Building does not meet side setback so use section 14-436(b). 80% of footprint is 805.26 sf. Addition is adding 279 sf. which is 35% of allowable 80% increase. **Ok to Issue:**

- 1) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
- 2) This permit will also legalize the rear porch that was added to the building previously without a permit.
- 3) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Tammy Munson **Approval Date:** 02/28/2008

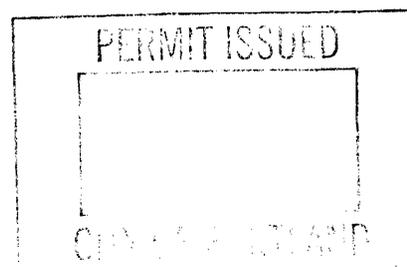
Note: **Ok to Issue:**

- 1) Hardwired interconnected battery backup smoke detectors shall be installed in all bedrooms, protecting the bedrooms, and on every level.
- 2) Separate permits are required for any electrical, plumbing, or HVAC systems. Separate plans may need to be submitted for approval as a part of this process.
- 3) The design load spec sheets for any engineered beam(s) / Trusses must be submitted to this office.
- 4) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.

Comments:

2/21/2008-amachado: Spoke to Troy Morrill, the contractor. Need plans that show the existing side and rear elevations and a cross section that shows the existing living space. Also need to permit the existing porch after the fact.

2/27/2008-amachado: Received revised plans that meet the conditions of 14-436(b).





General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>27 O'brian St</u>		
Total Square Footage of Proposed Structure/Area <u>279 sq. Ft</u>		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart# <u>3</u> Block# <u>K</u> Lot# <u>11</u>	Applicant * must be owner, Lessee or Buyer* Name <u>Steve Fernald</u> Address <u>27 O'brian St</u> City, State & Zip <u>Portland</u>	Telephone: <u>615-5094</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>48,000</u> C of O Fee: \$ _____ Total Fee: \$ <u>500</u>
Current legal use (i.e. single family) <u>single family</u> If vacant, what was the previous use? _____ Proposed Specific use: _____ Is property part of a subdivision? <u>no</u> If yes, please name _____ Project description: <u>3rd Floor addition - for Master Bedroom -</u>		
Contractor's name: <u>Troy Morrill</u> Address: <u>256 Rabbit Rd</u> City, State & Zip <u>Durham, Me 04222</u> Telephone: <u>576-9649</u> Who should we contact when the permit is ready: <u>Troy</u> Telephone: <u>576-9649</u> Mailing address: <u>same as above</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Troy Morrill

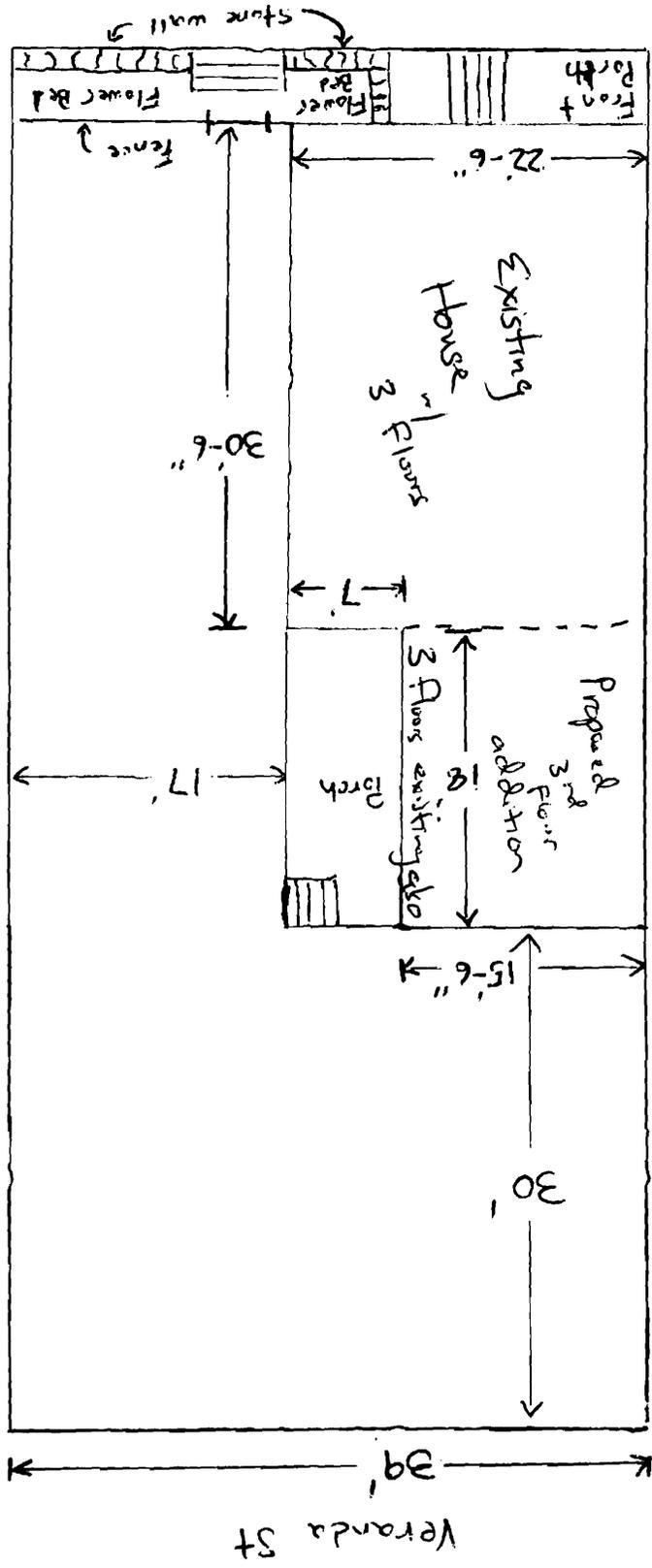
Date: 2/19/08

This is not a permit; you may not commence ANY work until the permit is issued

8008
FEB

Plot Plan 27 O'Brien St

O'Brien St



Neighbors
Driveway

82'

back yard 2x18 = 121

existing 1006.58

1006.58

22.5 x 30.5 = 686.25

15.5 x 18 = 279

40' x 46" = 1920

48' x 14" = 4032

front steps

5952 = 41.334

adding 2794

= 805.214

50% of 1006.584

Section 14-436(b)

max height 45'

1132.884 or

= 1650

lot coverage = 50% of 320

side lot cov. - 17.5m

rear 30' req. - 30.5m

R-6

4.29.08 2nd floor Bathroom

Framing good, plumbing test surge good, electric good -
OK to close SMH.

10/24/08 - w/owner Steve.

Lots of quality of work issues that Steve is addressing w/contractor. He is in possible litigation with the contractor.

Code issues:

- Need Structural Beam ~~& joist specs~~
- Need amendment for replacement of Spiral with a new stairwell & rail system.
- Handrail on stair (new) is not secured properly and is not consistent height off nosing
- Guardrail at 3rd FL catwalk is not ~~fastened~~
The horizontal cables are loose. JMB

10/30/08 Spoke to Troy (contractor), He will call back when he has plans together for the Stair Amendment for a permit by Appt. JMB
Troy also confirmed that the dormer was not installed - The Roof was straight gable - no Engineered Beam required. JMB

11/3/08 Troy came in for Amendment for stairs JMB

Ambientazione Scale

Scale a chiocciola modello Gamia Wood



Scala a chiocciola Gamia Wood Grigio Metallizzato



Scala a chiocciola Gamia Wood Nero

→ [Visualizza la descrizione di questa scala](#)

[glossario](#) | [note legali](#) | [informativa privacy](#)

Misterstep S.r.l. Zona Industriale, Bretella 5 - 86020 S. Polo Matese (CB) - Italia P.IVA 00759710700

Scale: Tel. +39-0543-79.12.11 (224) Fax +39-0543-77.73.46 info@misterstep.it

Parquet e Rivestimenti per scale: Tel. +39-0874-775050 Fax +39-0874-775102 commerciale@misterparquet.com



[Home](#) | [Cooper Stairworks](#) | [Fitta Stairparts](#) | [Ravenwood Spiral](#) | [Gamia Spiral](#) | [Rainbow Attic](#) | [Disappearing Stairs](#) | [Zipbolt UT](#)

Windows

Doors | [Gamia Spiral Stairs](#)

Stairs | **GAMIA** wood and metal stairs represent the simple beauty of spiral stair cases in two products which offer accurately finished details at a very affordable cost and a balanced use of materials which adapt to every environment. They are available in three different diameters, with metal or solid beech wood treads, all featuring adjustable risers for changing the height of the stair.

Millwork

News

Railings are comprised of metal spindles and a special plastic handrail, "Moplen", and have been developed to adapt to different slopes.



Phola

Gamia Wood is the wood spiral stair for all environments, distinguished by a balanced use of different materials. This round-section spiral stair is available in various diameters and adaptable to all types of wells. Both the Gamia Stairs offer practical adjustable spacers and railing with metal spindles and plastic handrails.

Gamia Metal boasts the simple aesthetics of a spiral stair in an affordable, yet accurately finished product in terms of quality and attention to detail. Light gray metal round-section spiral stair available in various diameters.

Treads with adjustable spacers and landing, available either round or square for all types of wells. Railing with metal spindles fastened to tread and patented plastic handrail for easy assembly.

Diameter: 63"
 Total height min/max: 107.5" - 118"
 Color of Steel: Anthracite Grey
 Color of Handrail: Black



[Enter Gallery for more photos!](#)

For complete information on the Gamia product line visit their web.

* Stairs to be installed will meet IRC 2003 code w/ no more than 9 1/2" rise and treads to be 7 1/2" min. tread depth at 12". Also no open risers



Tray Morrill - 576-8649

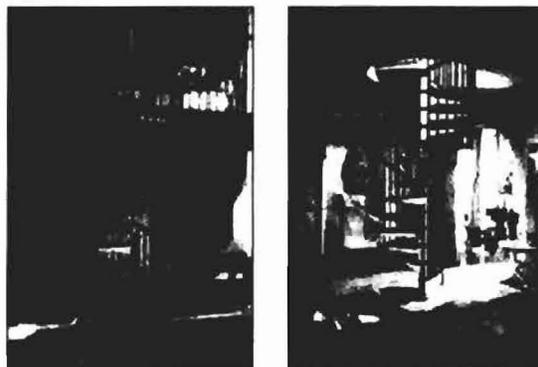
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Misterstep Stairs

Spiral Stair model Gamia Metal



visit the environment for this stair

This iron spiral staircase is available in a reliable kit version that has been tried and tested all over the world for many years now. It is absolutely the simplest and most cost effective solution and it is always easy to install and can adapt to any kind of setting.

The basic model includes 11 or 12 steps. A universal landing is included in the box.

You can choose the silver or the light grey color.

Many of this model accessories are the same as the ones of the Gamia Wood range and thus allow for the creation of a totally personalised staircase.

Characteristics:

- Diameters available Ø 120 cm - 140 cm - 160 cm
- Adjustable rise 21 - 23 cm

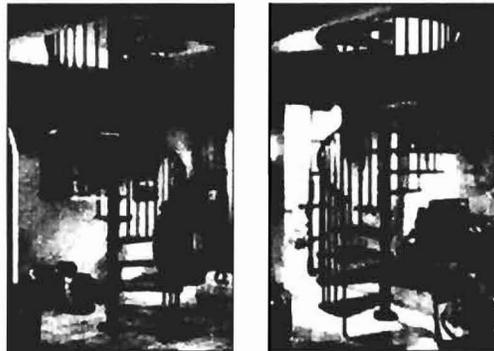
Misterstep S.r.l. Zona Industriale, Bretella 5 - 86020 S. Polo Matese (CB) - Italia P.IVA 00759710700

Stairs: Tel. +39-0543-79.12.11 (224) Fax +39-0543-77.73.46 info@misterstep.it

Wooden floors and stair coverings: Tel. +39-0874-775050 Fax +39-0874-775102 commerciale@misterparquet.com

Misterstep Stairs

Spiral stairs Gamia Wood model



visit the environment for spiral stairs Gamia Wood

The design of the **Gamia Wood** was made by keeping into consideration the installation problems; the results is a spiral stair of different diameters, with railings always according to code and with a rise adjustment system which assures a climb of every height in any project. Thanks to the above system and to the practical instructions for the assembly, the installation is a snap.

The basic kit is made out of:

11 treads + a universal landing, for the following stair diameters:
1200mm, 1400mm and 1600mm.

or

12 treads + universal landing for stair diameters: 1200mm. and 1400mm.
Diameters = Ø 120 cm - 140 cm - 160 cm.

steps = of solid beech wood, thickness 38 mm (1 1/2");

risers = standard min. 210 mm. (8 1/4") - max 230 mm. (9") (for risers 200 ÷ 210 mm. (7 7/8" ÷ 8 1/4"); 230 ÷ 240 mm. (9" ÷ 9 1/2")); it is possible to cut the balusters during the assembly

railing = with metal steel tubing balusters ø 22 mm. (7/8")(clear space among the balusters < 100 mm., 4"); flexible plastic handrail (handrail height = 1000 mm, 39 3/8")

finishes and colours = wood: polished with water varnish (Natural 12); metal: durable powder coat (embossed black); plastic components, rubber matting and screws: black

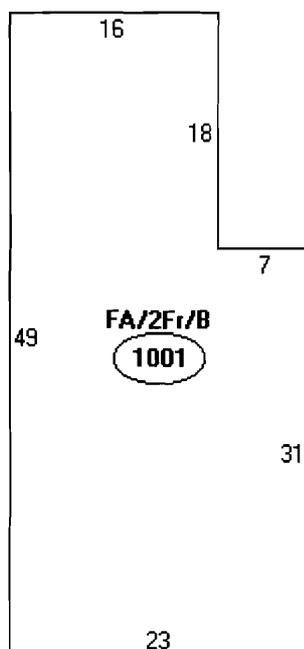
For the spiral staircases Gamia Wood the minimum ideal opening should be 5 cm larger than the diameter of the staircase.

Misterstep S.r.l. Zona Industriale, Bretella 5 - 86020 S. Polo Matese (CB) - Italia P.IVA 00759710700

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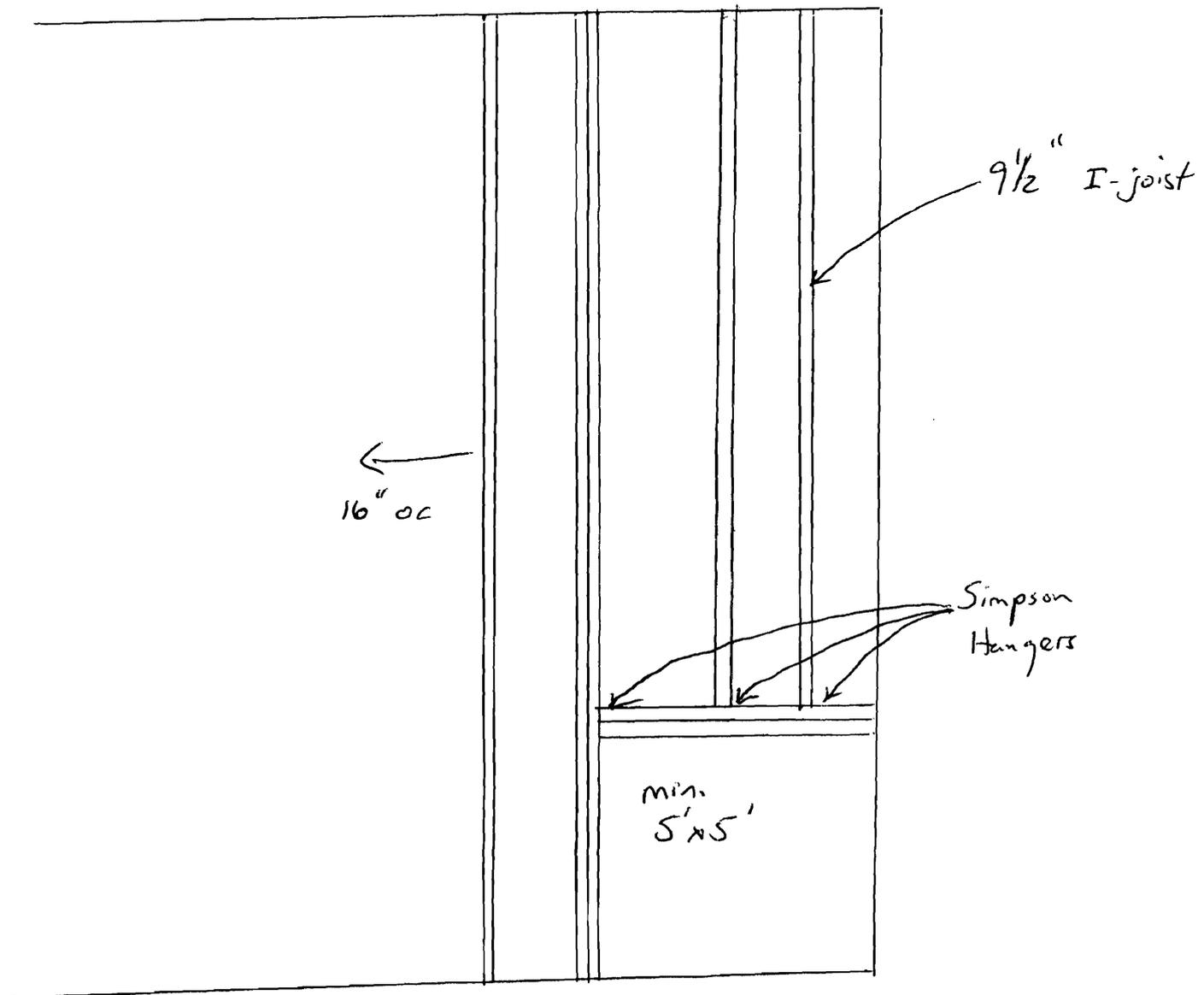


Descriptor/Area

A: FA/2Fr/B
1001 sqft

*purchased in 2001
no record of back porch
being built.*

Framing Detail for
Spiral Stairs for Fernald Residence
27 O'Brien St



ELECTRICAL PERMIT

City of Portland, Me.



To the Chief Electrical Inspector, Portland Maine:
The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of Maine, the City of Portland Electrical Ordinance, National Electrical Code and the following specifications:

Date 2/4/08
Permit # 2008-4088
CBL# 3 K 11

LOCATION: 27 O'BRIEN ST. METER MAKE & # _____
CMP ACCOUNT # _____ OWNER STEVE FERNAALD
TENANT _____ PHONE # 615-5094

							TOTAL EACH FEE	
OUTLETS	<u>2</u>	Receptacles	<u>3</u>	Switches		Smoke Detector	.20	<u>1-</u>
FIXTURES		Incandescent		Fluorescent		Strips	.20	
SERVICES	<u>1</u>	Overhead		Underground		TTL AMPS <u><800</u>	15.00	<u>15-</u>
		Overhead		Underground		>800	25.00	
Temporary Service		Overhead		Underground		TTL AMPS	25.00	
							25.00	
METERS		(number of)					1.00	
MOTORS		(number of)					2.00	
RESID/COM		Electric units					1.00	
HEATING		oil/gas units		Interior		Exterior	5.00	
APPLIANCES		Ranges		Cook Tops		Wall Ovens	2.00	
		Insta-Hot		Water heaters		Fans	2.00	
		Dryers		Disposals		Dishwasher	2.00	
		Compactors		Spa		Washing Machine	2.00	
		Others (denote)					2.00	
MISC. (number of)		Air Cond/win					3.00	
		Air Cond/cent				Pools	10.00	
		HVAC		EMS		Thermostat	5.00	
		Signs					10.00	
		Alarms/res					5.00	
		Alarms/com					15.00	
		Heavy Duty(CRKT)					2.00	
		Circus/Carnv					25.00	
		Alterations					5.00	
		Fire Repairs					15.00	
		E Lights					1.00	
		E Generators					20.00	
PANELS		Service		Remote		Main	4.00	
TRANSFORMER		0-25 Kva					5.00	
		25-200 Kva					8.00	
		Over 200 Kva					10.00	
						TOTAL AMOUNT DUE		
						MINIMUM FEE/COMMERCIAL 55.00	MINIMUM FEE 45.00	

CONTRACTORS NAME Aaron Phelps MASTER LIC. # MS 40088920
ADDRESS 1214 Hollowell Rd Durham Me LIMITED LIC. # _____
TELEPHONE 713-4120

SIGNATURE OF CONTRACTOR _____

White Copy - Office • Yellow Copy - Applicant

ELECTRICAL PERMIT

City of Portland, Me.



To the Chief Electrical Inspector, Portland Maine:
 The undersigned hereby applies for a permit to make electrical installations
 in accordance with the laws of Maine, the City of Portland Electrical Ordinance,
 National Electrical Code and the following specifications:

Date _____

Permit # 2008 4262

CBL# 3-16-11

LOCATION: 27 O'BRIEN ST METER MAKE & # _____
 CMP ACCOUNT # _____ OWNER Steve Fernandez
 TENANT _____ PHONE # _____

							TOTAL EACH FEE
OUTLETS	<u>20</u>	Receptacles	<u>12</u>	Switches	<u>4</u>	Smoke Detector	.20
FIXTURES	<u>12</u>	Incandescent	<u>2</u>	Fluorescent		Strips	.20
SERVICES		Overhead		Underground		TTL AMPS <800	15.00
		Overhead		Underground		>800	25.00
Temporary Service		Overhead		Underground		TTL AMPS	25.00
							25.00
METERS		(number of)					1.00
MOTORS		(number of)					2.00
RESID/COM		Electric units					1.00
HEATING		oil/gas units		Interior		Exterior	5.00
APPLIANCES		Ranges		Cook Tops		Wall Ovens	2.00
		Insta-Hot		Water heaters		Fans	2.00
		Dryers		Disposals		Dishwasher	2.00
		Compactors		Spa		Washing Machine	2.00
		Others (denote)					2.00
MISC. (number of)		Air Cond/win					3.00
		Air Cond/cent				Pools	10.00
		HVAC		EMS		Thermostat	5.00
		Signs					10.00
		Alarms/res					5.00
		Alarms/com					15.00
		Heavy Duty(CRKT)					2.00
		Circus/Carnv					25.00
		Alterations					5.00
		Fire Repairs					15.00
		E Lights					1.00
		E Generators					20.00
PANELS		Service		Remote		Main	4.00
TRANSFORMER		0-25 Kva					5.00
		25-200 Kva					8.00
		Over 200 Kva					10.00
						TOTAL AMOUNT DUE	
						MINIMUM FEE	45.00

CONTRACTORS NAME Aaron Phelps Electric MASTER LIC. # MS 40088920
 ADDRESS 1214 Hallowell Rd LIMITED LIC. # _____
 TELEPHONE 713-4120

SIGNATURE OF CONTRACTOR [Signature] [Signature]

PLUMBING APPLICATION

Department of Health and Human Services
Division of Environmental Health

1003 - 1011
June 9-27-2010

PROPERTY ADDRESS	
Town or Plantation	<i>Portland</i>
Street Subdivision Lot #	<i>17 Ocean Ave.</i>
PROPERTY OWNERS NAME	
Last: <i>Smith</i>	First: <i>John</i>
Applicant Name:	<i>John S. Baker</i>
Mailing Address of Owner/Applicant (If Different)	
Owner/Applicant Statement	
I certify that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the local Plumbing Inspectors to deny a Permit.	
Signature of Owner/Applicant	Date <i>4/16/08</i>

1003 - 1011

PORTLAND PERMIT # 10599 TOWN COPY

Date Permit Issued: *4/16/08* \$ *152* If Double Fee Charged

John S. Baker
Local Plumbing Inspector Signature L.P.I. # *10105*

2008 - 8101

Caution: Inspection Required

I have inspected the installation authorized above and found it to be in compliance with the Maine Plumbing Rules.

PERMIT INFORMATION

This Application is for	Type of Structure To Be Served:	Plumbing To Be Installed By:
1. <input checked="" type="checkbox"/> NEW PLUMBING 2. <input type="checkbox"/> RELOCATED PLUMBING	1. <input checked="" type="checkbox"/> SINGLE FAMILY DWELLING 2. <input type="checkbox"/> MODULAR OR MOBILE HOME 3. <input type="checkbox"/> MULTIPLE FAMILY DWELLING 4. <input checked="" type="checkbox"/> OTHER - SPECIFY <i>Remodel</i>	1. <input checked="" type="checkbox"/> MASTER PLUMBER 2. <input type="checkbox"/> OIL BURNERMAN 3. <input type="checkbox"/> MFG'D. HOUSING DEALER/MECHANIC 4. <input type="checkbox"/> PUBLIC UTILITY EMPLOYEE 5. <input type="checkbox"/> PROPERTY OWNER LICENSE # <i>70007428</i>

Hook-Up & Piping Relocation Maximum of 1 Hook-Up	Number	Column 2 Type of Fixture	Number	Column 1 Type of Fixture
HOOK-UP: to public sewer in those cases where the connection is not regulated and inspected by the local Sanitary District.		Hosebib / Sillcock	<i>1</i>	Bathtub (and Shower)
		Floor Drain	<i>1</i>	Shower (Separate)
OR		Urinal		Sink
		Drinking Fountain	<i>2</i>	Wash Basin
HOOK-UP: to an existing subsurface wastewater disposal system.		Indirect Waste	<i>1</i>	Water Closet (Toilet)
PIPING RELOCATION: of sanitary lines, drains, and piping without new fixtures.		Water Treatment Softener, Filter, etc.		Clothes Washer
		Grease / Oil Separator		Dish Washer
OR		Roof Drain		Garbage Disposal
		Bidet		Laundry Tub
OR		Other: _____		Water Heater
	TRANSFER FEE [\$6.00]	Fixtures (Subtotal) Column 2	<i>6</i>	Fixtures (Subtotal) Column 1
			<i>6</i>	Fixtures (Subtotal) Column 2
			<i>6</i>	Total Fixtures
				Fixture Fee
				Transfer Fee
				Hook-Up & Relocation Fee
				Permit Fee (Total)

SEE PERMIT FEE SCHEDULE FOR CALCULATING FEE

PLUMBING APPLICATION

Department of Health and Human Services
Division of Environmental Health

PROPERTY ADDRESS

Town or Plantation: Portland

Street Subdivision Lot #: 270

PROPERTY OWNERS NAME

Last: 1000 First: 8000

Applicant Name: Richard

Mailing Address of Owner/Applicant (If Different):

53021

PORTLAND PERMIT # 10524 TOWN COPY

Date Permit Issued: 2/5/08 \$ 11130 If Double Fee Charged

[Signature] L.P.I. # 36P

Local Plumbing Inspector Signature

3211

Owner/Applicant Statement

I certify that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Local Plumbing Inspectors to deny a Permit.

[Signature] 2/5/08

Signature of Owner/Applicant Date

Caution: Inspection Required

I have inspected the installation authorized above and found it to be in compliance with the Maine Plumbing Rules.

[Signature] Date Approved

Local Plumbing Inspector Signature Date Approved

PERMIT INFORMATION

This Application is for

1. NEW PLUMBING

2. RELOCATED PLUMBING

Type of Structure To Be Served:

1. SINGLE FAMILY DWELLING

2. MODULAR OR MOBILE HOME

3. MULTIPLE FAMILY DWELLING

4. OTHER - SPECIFY to be installed

Plumbing To Be Installed By:

1. MASTER PLUMBER

2. OIL BURNERMAN

3. MFG'D. HOUSING DEALER/MECHANIC

4. PUBLIC UTILITY EMPLOYEE

5. PROPERTY OWNER

LICENSE # 1111

Hook-Up & Piping Relocation Maximum of 1 Hook-Up	Number	Column 2 Type of Fixture	Number	Column 1 Type of Fixture
HOOK-UP: to public sewer in those cases where the connection is not regulated and inspected by the local Sanitary District.		Hosebib / Sillcock		Bathtub (and Shower)
		Floor Drain		Shower (Separate)
OR		Urinal		Sink
		Drinking Fountain		Wash Basin
HOOK-UP: to an existing subsurface wastewater disposal system.		Indirect Waste		Water Closet (Toilet)
PIPING RELOCATION: of sanitary lines, drains, and piping without new fixtures.		Water Treatment Softener, Filter, etc.		Clothes Washer
		Grease / Oil Separator		Dish Washer
OR		Roof Drain		Garbage Disposal
		Bidet		Laundry Tub
TRANSFER FEE [\$6.00]		Other: _____		Water Heater
		Fixtures (Subtotal) Column 2		Fixtures (Subtotal) Column 1
				Fixtures (Subtotal) Column 2
				Total Fixtures
				Fixture Fee
				Transfer Fee
				Hook-Up & Relocation Fee
				Permit Fee (Total)

SEE PERMIT FEE SCHEDULE FOR CALCULATING FEE



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Director of Planning and Urban Development
Penny St. Louis Littell

October 30, 2008

Zeile Dougher & Steve Fernald
27 Obron Street
Portland, ME 04101

RE: 27 O'Brion St. Building Permits: #08-0138, #07-1188 & #08-0100
CBL: 003-K-011

Dear Zeile and Steve,

As you requested, this letter is a follow-up to my final inspection at the above mention property for the associated building permits. The following is a list of outstanding issues that need to be resolved to meet code compliance and close out the permits.

Permit # 08-0100 – First floor bath/kitchen renovation

- Work complete, ok to close out permit

Permit # 08-0138 – Third floor expansion for master bedroom/second floor bath renovation

- An amendment to the permit for the change from a spiral stairway to a new built stairway to the 3rd floor including plans & dimensions of stairs, handrails and guardrails. **Note: Troy Morrill will be applying for this on 11/3/08.**
- Handrail on new stair is not a consistent height above the nosing and is not secured adequately.
- Guardrail at the 3rd floor balcony has horizontal cables that are not properly tensioned.

Permit # 07-1188 – Exterior front porch rebuild

- Install graspable handrail on one side per the code
- Risers are inconsistent beyond the code tolerances
 1. bottom 1st rise – 7-3/4
 2. 2nd rise – 7-1/4
 3. 3rd rise – 7-3/8
 4. 4th rise – 7-3/8
 5. 5th rise – 7-5/8

Please contact me if you have any questions @ 874-8715.



ELEVATION & SXN
 FERNALD ADDITION/REMODEL
 PORTLAND, ME

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Revisions:

2/26/08 REVISED ROOF LINES

Date: 02/14/08

Scale: 1/4"=1'-0"

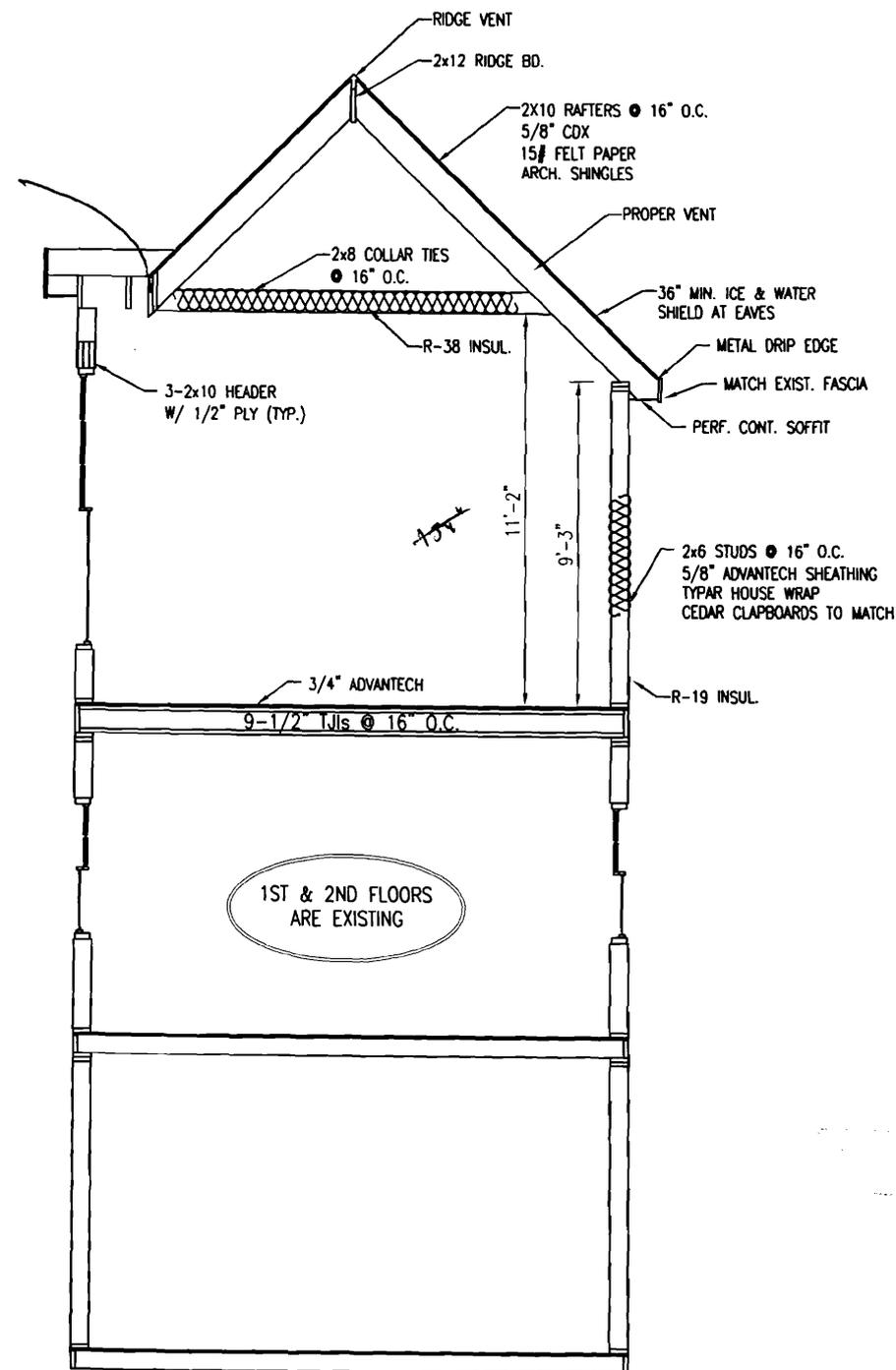
Drawn By: TMS

Project: A8021408

Sheet Number:

2-of-3

Double
LVL



ADDITION CROSS-SECTION

FEB 27 2008

FLOOR PLANS
FERNALD ADDITION/REMODEL
PORTLAND, ME

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Revisions:

2/26/08 REVISED ROOF LINES

Date : 02/14/08

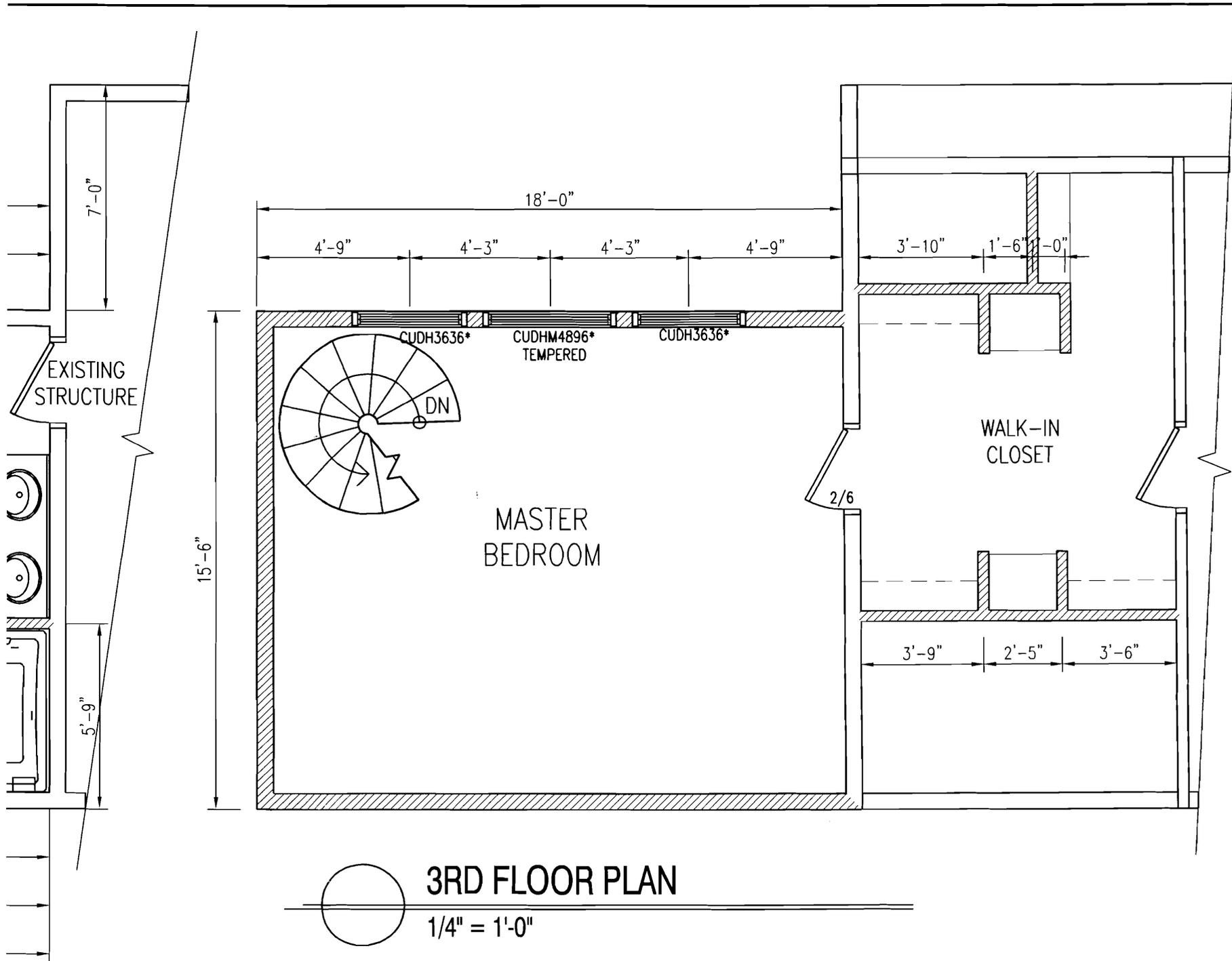
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Drawn By: TMS

Project: A8021408

Sheet Number:

3-of-3

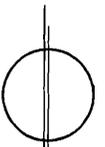


new 18x15.5=279φ

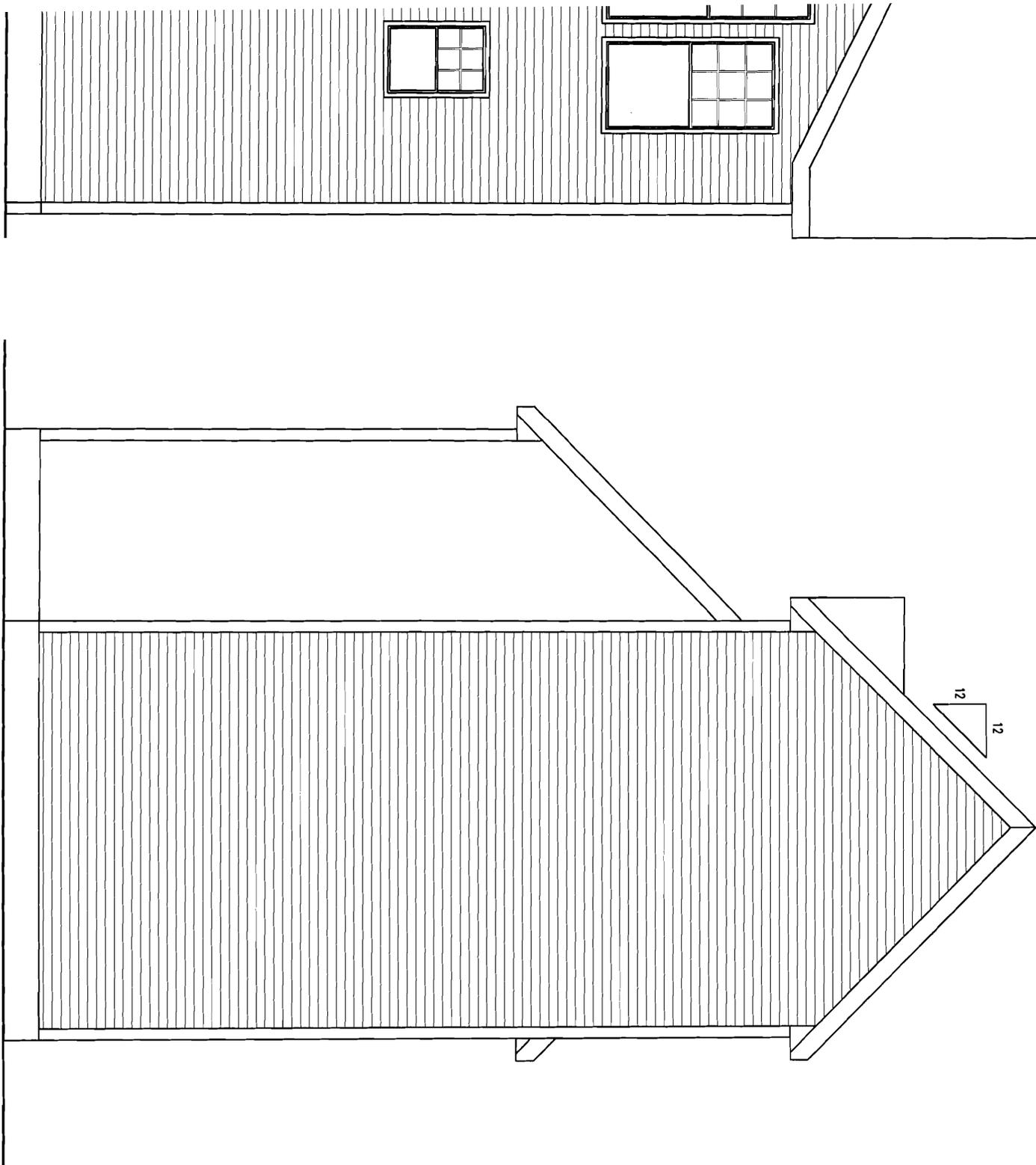
805.26φ increase allowed

35⁰/₁₆ increase

FEB 27 2008



ELEVATION #2



FEB 27 2008

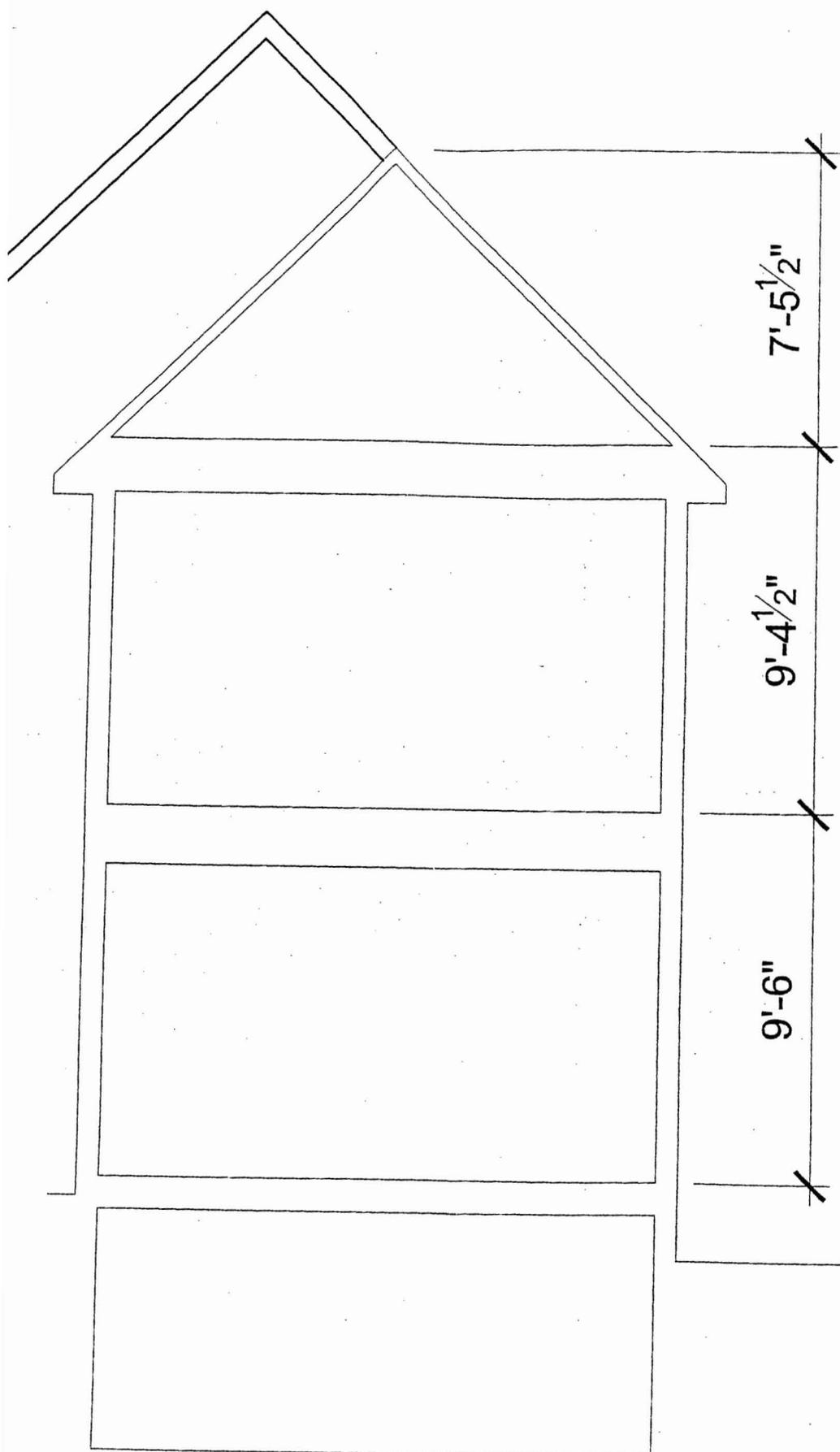
Date: 02/14/08
Scale: 1/4"=1'-0"
Drawn By: TMS
Project: A8021408
Sheet Number:
1-of-3

Revisions:
ZKAWD (REVISED) AND LMS

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ELEVATIONS
FERNALD ADDITION/REMODEL
PORTLAND, ME





- proposed III

7'-5 1/2"

9'-4 1/2"

9'-6"

112.5

1141

337.5"
 4

 32.13

DATE
 FEB 22 2008

ARCHITECT
hWh
 design studio

131 Blanchard Road
 Cumberland, ME 04021
 t 617.283.9428
 e hpebum@maine.rr.com

PROJECT NAME

**FERNALD
 RESIDENCE -
 addition/renovations**

27 O'Brain Street
 Portland, ME 04101
 t 207.615.5094
 e stevef@100congress.com

PROJECT TEAM

CLIENT
 Steve & Zylie Fernald
 27 O'Brain Street
 Portland, ME 04101
 t 207.615.5094
 e stevef@100congress.com

DRAWING INFO.

November 7, 2007
 DATE OF ISSUE
 NOT FOR CONSTRUCTION
 DESCRIPTION
 1/2" = 1'-0"
 SCALE
 2007-02 Fernald
 PROJECT NUMBER
 EX-301_Section.dwg
 FILE NAME

REVISIONS

1	DATE
2	
3	
4	

DRAWING TITLE

**EXISTING
 BUILDING
 SECTION**

DRAWING NUMBER

EX-101