

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

BUILDING INSPECTION

PERMIT

Permit Number: 030726

PERMIT ISSUED

This is to certify that Chaiklin Rebecca &

has permission to Replace single window with corner

AT 38 Eastern Promenade

003 K008001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is altered or closed-in.
 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. ARM

Health Dept. _____

Appeal Board _____

Other _____

Department Name

[Signature] 2/31/23
 Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-0726		Issue Date:		CBL: 003 K008001	
Location of Construction: 38 Eastern Promenade		Owner Name: Chaiklin Rebecca &		Owner Address: 80 Varick St # 9b	
Business Name:		Contractor Name:		Contractor Address:	
Lessee/Buyer's Name		Phone:		Permit Type: Alterations - Commercial	
Past Use: Six unit apartment building		Proposed Use: Six unit apartment building with dormer replacing a single window		Permit Fee: \$72.00	
				Cost of Work: \$7,000.00	
				CEO District: 1	
				Zones: R-6	
				FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	
				INSPECTION: Use Group: Type:	
Proposed Project Description: Replace single window with dormer				Signature:	
				Signature:	
				PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)	
				Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	
				Signature: Date:	

Permit Taken By: kwd	Date Applied For: 06/23/2003	Zoning Approval		
1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	
	Date:	Date:	Date:	

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-0726	Date Applied For: 06/23/2003	CBL: 003 K008001
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Location of Construction: 38 Eastern Promenade	Owner Name: Chaiklin Rebecca &	Owner Address: 80 Varick St # 9b	Phone:
Business Name:	Contractor Name: Dexter, Neil	Contractor Address:	Phone (207) 252-6593
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	

Proposed Use: Six unit apartment building with dormer replacing a single window	Proposed Project Description: Replace single window with dormer
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Dept: Zoning	Status: Approved with Conditions	Reviewer: Marge Schmuckal	Approval Date: 07/28/2003
Note: 7/25/03 This application was delayed first because the condo application did not have any tenant information. Now a look at this permit to add a new full dormer is not showing any specifics of where on the building. I will call the contractor and ask why? 7/28/03 Contractor explained the area of the new dormer			Ok to Issue: <input checked="" type="checkbox"/>
<ol style="list-style-type: none"> 1) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals. 2) This property shall remain a six (6) family, condo dwelling. Any change of use shall require a separate permit application for review and approval. 3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work. 			
Dept: Building	Status: Approved with Conditions	Reviewer: Mike Nugent	Approval Date: 07/31/2003
Note:			Ok to Issue: <input checked="" type="checkbox"/>
1) Dormer must be 2" x 12" 16" o.c. This area is not intended to be a sleeping room.			
Dept: Fire	Status: Approved	Reviewer: Lt. MacDougal	Approval Date: 07/29/2003
Note:			Ok to Issue: <input checked="" type="checkbox"/>

03-0726

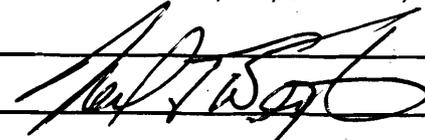
All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>38-40 EASTERN PROMENADE</u>		
Total Square Footage of Proposed Structure <u>7786ft²</u>	Square Footage of Lot <u>9,269 ft²</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>003</u> Block# <u>K</u> Lot# <u>008</u>	Owner: <u>ANTHONY NICHOLICH AND REBECCA CHAIKIN</u>	Telephone: <u>917-414-1336</u>
Lessee/Buyer's Name (If Applicable) <u>N/A</u>	Applicant name, address & telephone: <u>ANTHONY NICHOLICH REBECCA CHAIKIN 80 VARICK ST. NEW YORK, NY</u>	Cost of Work: \$ <u>7,000.00</u> Fee: \$ <u>72.00</u>
Current use: <u>VACANT RENTAL APARTMENT</u>		
If the location is currently vacant, what was prior use: <u>APARTMENT - 6 units</u>		
Approximately how long has it been vacant: <u>3 MONTHS</u>		
Proposed use: <u>APARTMENT (OWNERS) 6 unit</u>		
Project description: <u>REPLACE 1 WINDOW DORMER WITH FULL DORMER</u> <i>where</i>		
Contractor's name, address & telephone: <u>NEIL T. DEXTER 9 LOMBARD ST #22 S. PORTLAND, ME</u>		
Who should we contact when the permit is ready: <u>207 252 6593</u> <u>NEIL T. DEXTER</u>		
Mailing address:		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>207-252 6593</u>		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: 	Date: <u>JUL 23 2003</u>
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This is NOT a permit, you may not commence ANY work until the permit is issued.
If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

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Dept: Fire **Status:** Approved **Reviewer:** Lt. MacDougal **Approval Date:** 07/29/2003

Note: **Ok to Issue:**



April
2003
Sun
per
center

EXPAN
of the right
window into
dormer



This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number	1 of 1
Parcel ID	003 K008001
Location	38 EASTERN PROMENADE
Land Use	FIVE TO TEN FAMILY
Owner Address	CHAIKLIN REBECCA & ANTHONY NICOLICH JTS 80 VARICK ST # 9B NEW YORK NY 10013
Book/Page	15311/248
Legal	3-K-8-9 EASTERN PROM 36-42 BECKETT ST 1-7 9380 SF

Valuation Information

Land	Building	Total
\$62,370	\$157,400	\$219,770

Building Information

Bldg #	Year Built	# Units	Bldg Sq. Ft.	Identical Units
1	1900	6	13458	1

Total Acres	Total Buildings	Sq. Ft.	Structure Type	Building Name
0.215	1	13458	APARTMENT - GARDEN	

Exterior/Interior Information

Section	Levels	Size	Use
1	B1/B1	3751	SUPPORT AREA
1	01/01	3751	APARTMENT
1	02/02	3700	APARTMENT
1	A1/A1	2256	APARTMENT

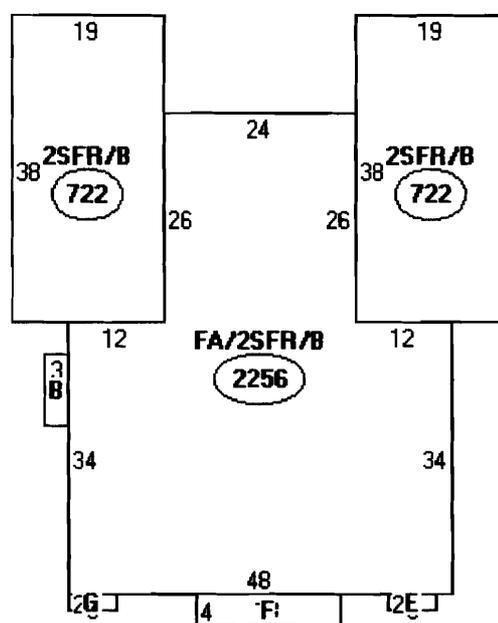
Height	Walls	Heating	A/C
7			
9	FRAME	HOT AIR	
9	FRAME	HOT AIR	
6	FRAME	HOT AIR	

Building Other Features

Line	Structure Type	Identical Units
2	PORCH - COVERED	1

Yard Improvements

Year Built	Structure Type	Length or Sq. Ft.	# Units
1965	SHED FRAME	88	1
1972	ASPHALT PARKING	386	1

Descriptor/Area

- A: FA/2SFR/B
2256 sqft
- B: 1SFRBAY/B
27 sqft
- C: 2SFR/B
722 sqft
- D: 2SFR/B
722 sqft
- E: 1SFRBAY/B
12 sqft
- F: OFF
72 sqft
- G: 1SFRBAY/B
12 sqft



CITY OF PORTLAND

May 21, 2003

Rebecca Chaiklin & Anthony Nicolich
80 Varick St. #9B
New York, N.Y. 10013

*See above
permit -
tenant forms
submitted
7/3/03*

RE: 38-40 Eastern Promenade – 003-K-008 – R-6 zone – permit application #03-0534

Dear Rebecca and Anthony,

I am in receipt of your permit application to allow a condominium conversion of your rental property located at 38-40 Eastern Promenade. Your permit has been denied because you have not submitted all the necessary paperwork required for approvals.

As part of your condominium conversion permit, it is required that this office receives copies of the letters to tenants notifying them of your intent to convert their rental unit into a condominium unit. The City's ordinance is very specific as to wording contained within the tenant notice. I have enclosed a copy of the condominium conversion ordinance highlighting information. The copies of rent increase dated in October and December do not meet the requirements of our condominium conversion notification guidelines. They are insufficient notice to the tenants.

The purpose of the City's condominium conversion ordinance is to give greater protection to rental tenants during condominium conversions. Your tenants have an exclusive and irrevocable first option to purchase the unit that they occupy. They are required to be noticed in writing as to the specific terms of purchase within your declaration letter. The terms of a tenancy, including rent, may not be altered during the notice period, except as expressly provided in a preexisting written lease. No provision of, or right conferred by this article may be waived by a tenant, by agreement or otherwise, and any such waiver shall be void. Any attempt to require, encourage, or induce a tenant to waive any provision hereof, or right conferred hereby, shall be a violation of this article.

Your permit application will be on hold until this office receives copies of all the required tenant notices as outlined in the attached ordinance.

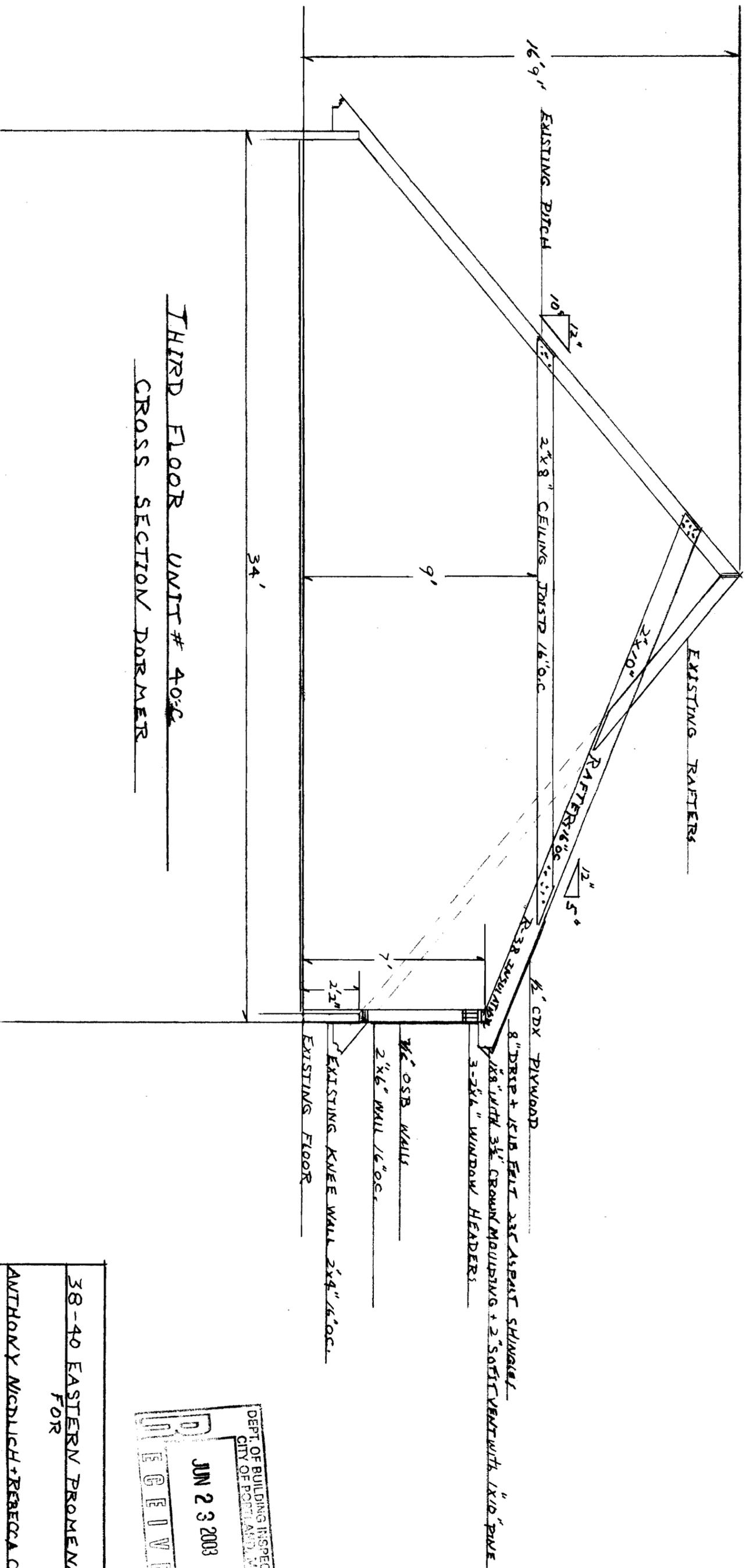
If you have any questions regarding this ordinance, please do not hesitate to contact this office.

Very truly yours,

A handwritten signature in black ink, appearing to read "Marge Schmuckal". The signature is fluid and cursive, with a long horizontal stroke extending to the right.

Marge Schmuckal
Zoning Administrator

Cc: Mark Adelson, Housing and Neighborhood Services Division Director
File



THIRD FLOOR UNIT # 403C
 CROSS SECTION DORMER

DEPT. OF BUILDING INSPECTION
 CITY OF PORTLAND, ME
 JUN 23 2003
 RECEIVED

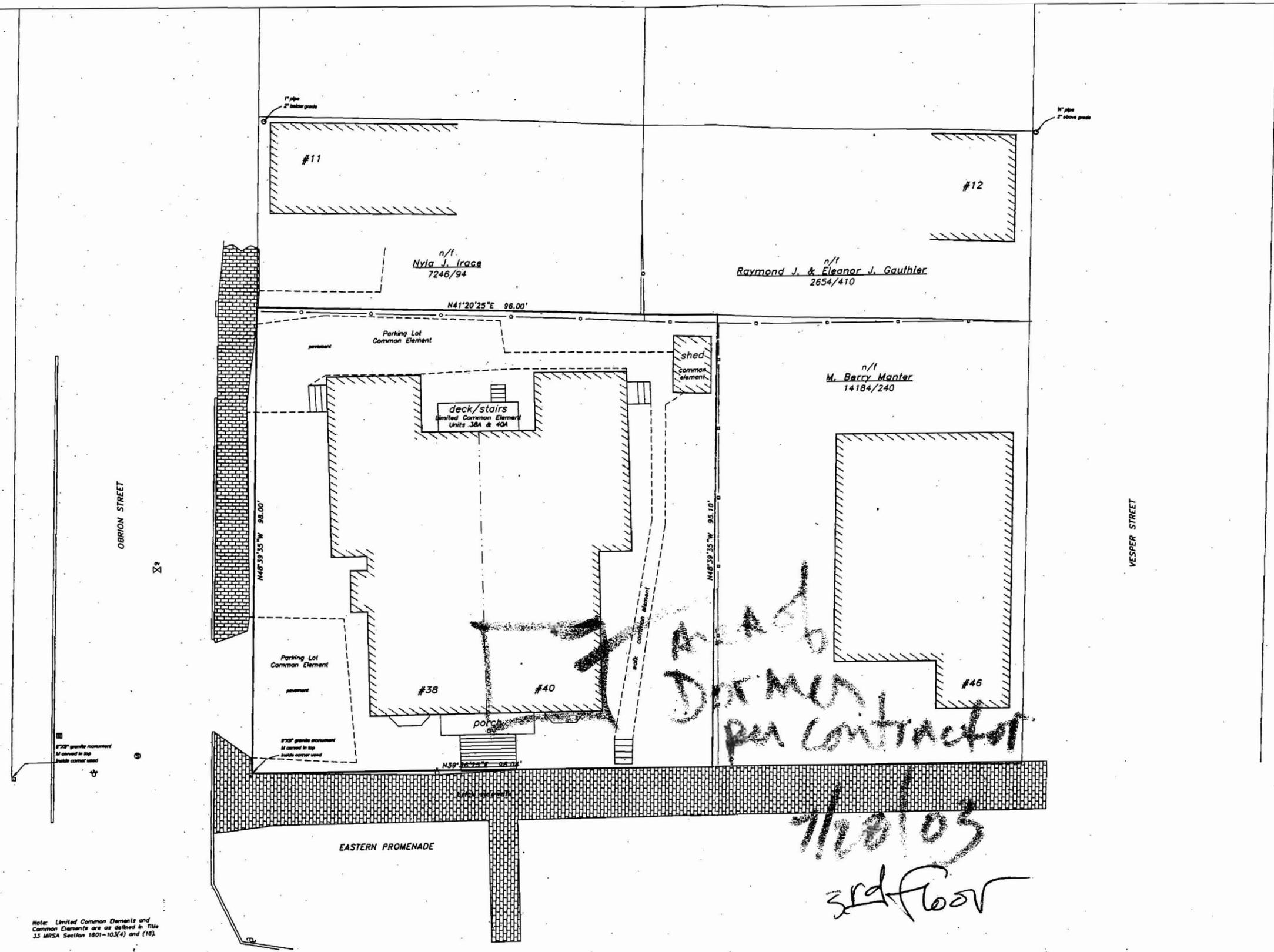
38-40 EASTERN PROMENADE
 FOR

ANTHONY WIDLUGH + REBECCA CHAIKLIN

SCALE 3/8" = 1'



- LEGEND**
- Monument - found
 - Iron marker - found
 - Iron marker - set (#5 rebar)
 - ⊕ Utility pole
 - Property line
 - Lot line
 - Chain link fence
 - Board fence
 - - - Edge of pavement
 - ▬ Curb
 - ▨ Existing building
 - ⊞ Catch basin
 - ⊙ Sewer manhole
 - ⊕ Gas valve
 - ⊖ Water valve



Handwritten notes:
 7/10/03
 3rd floor
 per contractor

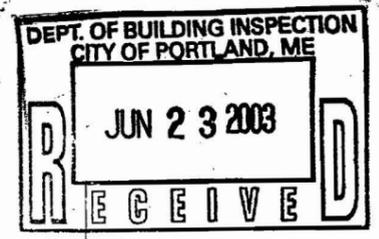
Note: Limited Common Elements and Common Elements are as defined in Title 33 M.R.S.A. Section 1601-10(4) and (16).

- REFERENCES**
- Plan of Division of Lot No. 8 on the Proprietors Plan of Munjoy Hill recorded in Deed Book 250 Page 568.
 - Plans on file in the City of Portland Engineers Office.

- NOTES**
- Book and Page references are to the Cumberland County Registry of Deeds, unless otherwise specified.
 - Bearings are referenced to observed magnetic north.
 - Obrion Street and Eastern Promenade are delineated as defined by the monuments set by the City of Portland.

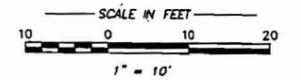
State of Maine, Cumberland ss
 Registry of Deeds
 Received _____ 20____
 at _____ h. _____ m. _____ A and recorded in
 Plan Book _____ Page _____
 Attest: _____
 Register

CERTIFICATION
 This survey substantially conforms to the current standards of practice set forth by the Maine State Board of Licensure for Land Surveyors.
 David E. Titcomb, P.L.S. #1273



OWNERS OF RECORD
 Rebecca Chaiklin &
 Anthony Nicolich
 Book 15311, Page 248

AREA
 9,289 square feet / 0.21 acres



NO.	DATE	DESCRIPTION	BY
1	05/29/03	notations, unit boundaries	det

Condominium & Boundary Survey
38-40 EASTERN PROMENADE CONDOMINIUMS
 38-40 Eastern Promenade, Portland, Maine

MADE FOR
ANTHONY NICOLICH & REBECCA CHAIKLIN
 80 Verick Street, New York, New York

JOB# 203007 DATE: 02/14/03 SCALE: 1"=10'
 BOOK# 738,747
 LP1203007.DWG
 FILE#

Titcomb Associates
 133 Gray Road
 Falmouth, Maine 04105



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

LOCATION 38 Eastern Promenade CBL 003 K008001

Issued to Chaiklin Rebecca &/Dexter, Neil

Date of Issue 09/23/2004

This is to certify that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. 03-0726, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

3rd floor right known as 40C

APPROVED OCCUPANCY

residential condo
use group: R2
type: 5B
BOCA 1999

Limiting Conditions:

none

This certificate supersedes
certificate issued

Approved:

.....
(Date)

.....
Inspector

.....
Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

LOCATION 38 Eastern Promenade CBL 003 K008001

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PORTION OF BUILDING OR PREMISES
first floor right known as 40A

APPROVED OCCUPANCY
residential condo
use group: R2
type: 5B
BOCA 1999

Limiting Conditions:
none

This certificate supersedes
certificate issued

Approved:

(Date)

Inspector

Inspector of Buildings

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CITY OF PORTLAND, MAINE
Department of Building Inspection

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PORTION OF BUILDING OR PREMISES

3rd floor left known as 38C

APPROVED OCCUPANCY

residential condo
use group: R2
type: 5B
BOCA 1999

Limiting Conditions:
none

This certificate supersedes
certificate issued

Approved:

(Date)

Inspector

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