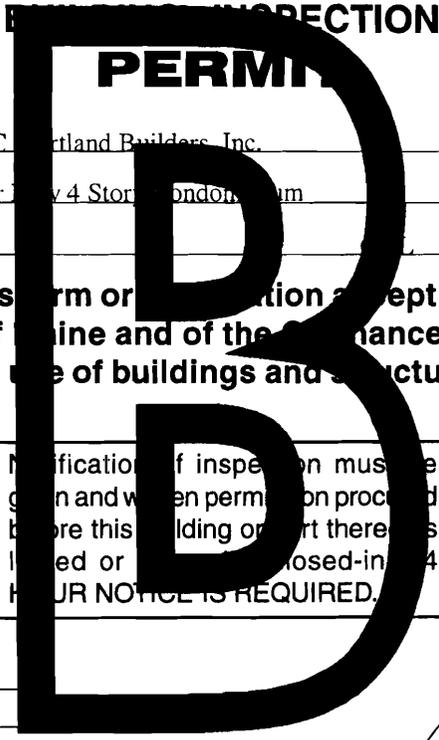


DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached



PERMIT ISSUED
JUL 27 2007
CITY OF PORTLAND

This is to certify that SHERIDAN STREET LLC Portland Builders, Inc.
has permission to FOUNDATION ONLY for new 4 Story condominium
AT 129 SHERIDAN ST Portland, OR 97201 0131 K002001

provided that the person or persons who accept this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission proceeds before this building or part thereof is started or closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. Greg Cross
Health Dept. _____
Appeal Board _____
Other _____
Department Name

7/26/07
[Signature]
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD



Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

*Lee Urban - Director of Planning and Development
Jemie Bourke - Inspections Division Director*

July 20, 2007

SHERIDAN STREET LLC
477 CONGRESS ST 5TH FLOOR
PORTLAND , ME 04101

CBL: 013 K002001
Located at 129 SHERIDAN ST

Hand Delivery

Dear SHERIDAN STREET LLC ,

STOP WORK ORDER

An evaluation of the above-referenced property on 07/20/2007 revealed that building construction was being conducted without benefit of a valid building permit as required by Section 105.1 of the 2003 International Building Code and the 2003 International Residential Code of the City of Portland.

Appropriate permitting has not been issued for the property listed above, therefore all construction activity at that property must STOP immediately. This is a STOP WORK ORDER pursuant to Section 114. of 2003 International Building Code and the 2003 International Residential Code of the City of Portland.

You may resume construction activity only after issuance of the appropriate building permit and the subsequent lifting of this order. Building Permit Applications are available in this office, Room 315 at Portland City Hall, from 8:00 a.m. to 4:00 p.m. weekdays except holidays.

Failure to comply will result in this office referring the matter to the City of Portland Corporation Counsel for legal action and possible civil penalties, as provided for in Section 1-15 of the Code and in Title 30-A of M.R.S.A. Section 4452. This constitutes an appealable decision pursuant to Section 112 of the City of Portland Building Code.

If you wish to discuss this matter, or you have any questions, please feel free to contact me.

Sincerely,

Jemie Bourke for Tom Markley

Tom Markley @ (207) 874-8705
Building Inspector

CITY OF PORTLAND
DEPARTMENT OF PLANNING & URBAN DEVELOPMENT

389 Congress Street
Portland, Maine 04101

Inspection Violations

Owner/Manager SHERIDAN STREET LLC		Inspector Tom Markley	Inspection Date 7/20/2007
Location 129 SHERIDAN ST	CBL 013 K002001	Status	Inspection Type Building Permit-Inspection

Code	Int/Ext	Floor	Unit No.	Area	Compliance Date
1) 105.1	Exterior				
Violation:	Building w/o Permit				
Notes:	Foundation excavation has commenced without benefit of building permit approval				

Comments: An inspection on 7/19/07 by Phil Dipierro - DRC revealed that the site was excavated for a foundation and unstable fill was being removed.

**City of Portland
Inspection Services
RETURN OF SERVICE**

On the 23RD day of July, 2007, I made service of the
STOP WORK ORDER upon 129 Sheridan St
at ~~129 Sheridan St~~ City Hall.

By delivering a copy in hand.
 By leaving copies at the individual's dwelling house or usual place of abode with a person of suitable age or discretion who resides therein and whose name is

By delivering a copy to an agent authorized to receive service of process, and whose name is Greg Shinberg.

By (describe other manner of service) _____

DATED: 7/23/07

Janie Bonke
Signature of Person Making Service

CEO/Dir. Div. Inspection
Title

I have received the above-referenced documents

[Signature]
Signature of Person Receiving Service

Refused to Sign

Unable to Sign

13 K 2



Certificate of Design Application

070365
2006-0214

From Designer:

TFA ARCHITECTS

Date:

4/9/07

Job Name:

SHERIDAN HEIGHTS

Address of Construction:

135 SHERIDAN STREET

2003 International Building Code

Construction project was designed to the building code criteria listed below:

Building Code & Year IBC 2003 Use Group Classification (S) R2/S2

Type of Construction 5A

Will the Structure have a Fire suppression system in accordance with Section 903.5.1 of the 2003 IRC YES

Is the Structure mixed use? YES If yes, separated or non separated or non separated (section 302.3) SEPARATED

Supervisory alarm System? YES Geotechnical/Soils report required? (See Section 1802.2) YES

Structural Design Calculations

Submitted for all structural members (1601.1, 1601.11)

Design Loads on Construction Documents (1602)

Uniformly distributed floor live loads (7603.11, 1807)

Floor Area Use	Loads Shown

Wind loads (1603.1.4, 1609)

- Design option utilized (1609.1.1, 1609.5)
- Basic wind speed (1809.3)
- Building category and wind importance factor, I_w (Table 1603.3, 1609.5)
- Wind exposure category (1609.4)
- Internal pressure coefficient (ASCE 7)
- Component and cladding pressures (1603.1.1, 1609.6.2.2)
- Main force wind pressures (7603.1.1, 1609.6.1.1)

Earth design data (1603.1.5, 1614-1623)

- Design option utilized (1614.1)
- Seismic use group ("Category")
- Spectral response coefficients, S_A & S_D (1617.1)
- Site class (1615.1.5)

- Live load reduction
- Roof live loads (1603.1.2, 1607.11)
- Roof snow loads (1603.7.3, 1606)
- Ground snow load, P_g (1608.2)
- If $P_g > 10$ psf, flat-roof snow load, P_f
- If $P_g > 10$ psf, snow exposure factor, E_s
- If $P_g > 10$ psf, snow load importance factor, I_s
- Roof thermal factor, C_t (1608.4)
- Sloped roof snowload, P_s (1608.3)
- Seismic design category (1616.3)
- Basic seismic force resisting system (1617.6.2)
- Response modification coefficient, R , and
- deflection amplification factor, C_d (1617.6.2)
- Analysis procedure (1616.6, 1617.5)
- Design base shear (1617.1, 1617.5.1)

Flood loads (1803.1.6, 1612)

- Flood Hazard area (1612.3)
- Elevation of structure

Other loads

- Concentrated loads (1607.4)
- Partition loads (1607.5)
- Misc. loads (Table 1607.8, 1607.6.1, 1607.7, 1607.12, 1607.13, 1610, 1611, 2404)



Accessibility Building Code Certificate

Designer: TFH ARCHITECTS

Address of Project: 135 SHERIDAN STREET

Nature of Project: 21 RESIDENTIAL CONDOMINIUM
UNITS WITH COVERED PARKING

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act. Residential Buildings with 4 units or more must conform to the Federal Fair Housing Accessibility Standards. Please provide proof of compliance if applicable.

Signature:  / T. SCOTT TEAS

Title: PRINCIPAL

Firm: TFH ARCHITECTS

Address: 100 COMMERCIAL STREET
PORTLAND, MAINE

Phone: 207 775 6141

(SEAL)

For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov



Certificate of Design

Date: 4/9/07

From: T. SCOTT TEAS / TFH ARCHITECTS

These plans and / or specifications covering construction work on:

21 RESIDENTIAL CONDOMINIUM UNITS WITH
ENCLOSED PARKING

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the **2003 International Building Code** and local amendments.

Signature: _____

Title: PRINCIPAL

Firm: TFH ARCHITECTS

Address: 100 COMMERCIAL STREET
PORTLAND, MAINE

Phone: 207.775.6141

(SEAL)

For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov

Applicant: Sheridan Street LLC - Greg Shenberg Date: 7/4/07

Address: 129 Sheridan St (121-135) C-B-L: 13-K-002 # 17
CHECK-LIST AGAINST ZONING ORDINANCE

Date - #07-0365 → foundation only

Zone Location - Contract Zone (modified R-6)

Interior or corner lot -

Proposed Use/Work - to construct a new building for 21 res. D.U. Condo mining

Sewage Disposal - City Foundation ONLY

Lot Street Frontage - 40' min - 60' & 20' shown

Front Yard - 5' to the terrace wall

Rear Yard - setback range shall be approx 16' to 17'9"

Side Yard - northern side yard setback shall be graduated from 3' along Sheridan to 4'5" at rear with a deck within 21
southernly side yard setback shall range from 3 to 5' at the location of the surface party

Projections -

Width of Lot 50' - 60' thru narrowest
to be determined with rest of construction permit

Height - 45' MAX

Lot Area - 4,500^{sq ft} min → single family up front to have 4560.2^{sq ft}
new lot for 21 res. DU has 24,567.1^{sq ft}

Lot Coverage/Impervious Surface - 43.3% - given ok in contract

Area per Family - contract allows a MAX of 21 res. D.U. - showing 21

Off-street Parking - a min. of 31 on-site pkg spaces - 29 shown for the residential cards

Loading Bays - N/A 18 shown on interior / 14 shown exterior = 32 PKG SPACES shown
2 for the single fam Dwelling location 13-K-17

Site Plan - #2006-0214

Shoreland Zoning/Stream Protection - N/A

Flood Plains - panel 14 - Zone C

open space ratio shall be no less than 25.2% - L

The initial sale price of the 21 condos will not exceed a total cost of \$200,000

JAMES L. COHEN (MAYOR)(5)
JILL C. DUSON (A/L)
JAMES F. CLOUTIER(A/L)
NICHOLAS M. MAVODONES (A/L)
EDWARD J. SUSLOVIC (A/L)

*Passed
10-16-06
6-3*

CITY OF PORTLAND
IN THE CITY COUNCIL

*Order 62-06/07
~~Tab 13 10-04-06~~
Tab 16 10-16-06*

WILLIAM R. GORHAM (1)
KAREN A. GERAGHTY (2)
DONNA J. CARR (3)
CHERYL A. LEMAN (4)

**ORDER AUTHORIZING AMENDMENT TO CITY CODE
SEC. 14-49 (ZONING MAP AMENDMENT)
RE: CONDITIONAL REZONING FOR 121-135 SHERIDAN STREET**

ORDERED, that the Zoning Map of the City of Portland, dated December 2000 as amended and on file in the Department of Planning & Development, and incorporated by reference into the Zoning Ordinance by Sec. 14-49 of the Portland City Code, is hereby amended to reflect a conditional rezoning as detailed below:

**Sheridan Street LLC
Sheridan Street, Portland, Maine**

This contract made this ____ day of _____, 2006 by **SHERIDAN STREET LLC**, a Maine Limited Liability Corporation having a place of business at One Longfellow Square, Portland, Maine (hereinafter "Developer").

WHEREAS, DEVELOPER owns property at 121-135 Sheridan Street, Portland, Maine; and

WHEREAS, DEVELOPER filed a request for a Conditional Rezoning with the City of Portland ("City") to modify an existing R-6 zone to accommodate housing with reduced parking; and

WHEREAS, the at121-135 Sheridan Street property is more specifically described and shown on the Portland Assessors Map, Parcels 13-K-2 and 13-K-17 (the "Property"); and

WHEREAS, the Portland Planning Board determined the rezoning would provide needed housing in the City and would not negatively impact the surrounding residential community; and

WHEREAS, the Portland Planning Board, pursuant to 30-A M.R.S.A. §4352(8), and after notice and hearing and due deliberations, recommended the rezoning of the Property, subject, however, to certain conditions; and

WHEREAS, the City, by and through its City Council, has determined that the rezoning, necessary because of the unusual nature of the development, with conditions and restrictions, would be pursuant to and consistent with the City's Comprehensive Plan and would not unreasonably interfere with the existing and permitted uses within the underlying R-6 zone; and

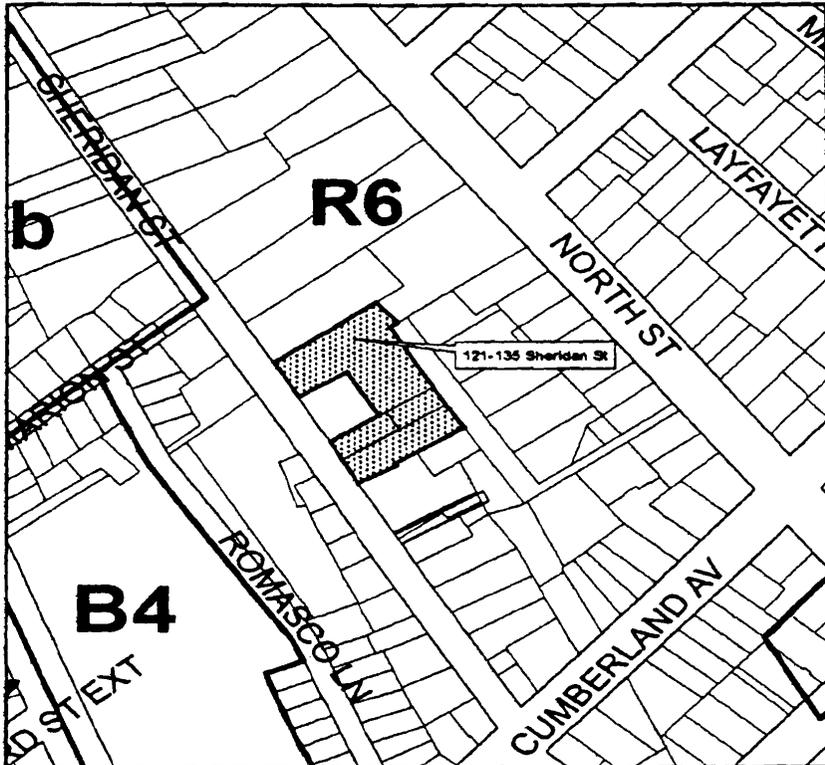
DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME
JUN 21 2007
1

DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME
JUN 20 2007

WHEREAS, the **DEVELOPER** has agreed to enter into this contract, with its concomitant terms and conditions, which shall hereinafter bind **DEVELOPER** its successors and assigns; and

NOW, THEREFORE, in consideration of the rezoning of the Property, **DEVELOPER** contracts to be bound by the following terms and conditions:

1. The CITY shall amend the Zoning Map of the City of Portland, dated December 2000, as amended and on file in the Department of Planning and Development, and incorporated by reference into the Zoning Ordinance by §14-49 of the Portland City Code, by adopting the following map change.



City of Portland
Proposed Conditional Rezoning
for 121 -135 Sheridan Street



Map prepared by the City of Portland's Department of Planning & Development

MAX →

2. The use of the Property shall consist of a building containing a maximum of twenty one (21) unit residential units located at the rear of the site (the "Residential Condominium") with at least twenty-nine (29) on-site parking spaces for the use of the Residential Condominium; and an existing single family residential house located at the front of the lot along Sheridan Street (the Single-

Needs 2 pkgs

13-K-17
↑

Family House”) with two 2 on-site parking spaces for the use of the Single Family House (hereinafter collectively, the “Development”).

3. The Property will be developed substantially in accordance with the Site Layout Plan (the “Site Plan”), Attachment 1, by MRLD, LLC dated _____ and the conceptual elevations (the “Elevations”), Attachment 2, by TFH Architects dated _____, 2006.
4. The Planning Board shall review and approve the Site Plan according to the site plan and subdivision provisions of the Portland Land Use Code and nothing herein shall prevent the Planning Board from imposing conditions otherwise required to bring this development into compliance with those subdivision and site plan standards.
5. The underlying zoning requirements of the R-6 zone are modified as follows:
 - a. The maximum density shall be no greater than twenty one (21) residential units to be located on the lot within the Residential Condominium shown on Attachment 1 and the existing Single Family House located at the front of the lot as shown on Attachment 1; and
 - b. A minimum of thirty one (31) on-site parking spaces (29 shown for the Residential Condominium and 2 shown for the Single Family House) shall be provided and each unit shall be designated at least one (1) on-site parking space; and
 - c. For the Residential Condominium, the front yard setback shall be five (5) feet to the terrace wall as shown on Attachment ____; the northerly side yard setback shall be graduated from 3 feet along Sheridan Street to 14’5” feet at the rear of the site with a deck within 2’ of the property line and the southerly side yard setback shall range from three (3) to five (5) feet at the location of the surface parking all as more particularly shown on Attachment ____ . The rear yard setback range shall be approximately 16’ to 17’9”.
 - d. The maximum lot coverage shall be no greater than 43.3% on the lot containing the Residential Condominium as shown on Attachment 1; the maximum lot coverage on the lot containing the Single Family House shall be maintained in accordance with the requirements of the R-6 zone.
 - e. The open space ratio shall be no less than 25.2% of the land area of the lot containing the Residential Condominium as shown on Attachment 1; the open space ratio for the lot containing the Single Family House shall be no less than required under the R-6 zone.

13-K-17

Otherwise, the provisions of §14-139 through 14-140 (the R-6 Zone) of the Portland City Code shall apply to this development. Alterations and

improvements may be made to the Single Family House in accordance with the provisions of the R-6 Zone, but no change in use or the number of residential units in excess of one may be made to the Single Family House, except that home occupations shall be permitted therein in accordance with the provisions of the R-6 Zone. The conveyance of any property interest in the single family house shall contain a restriction on the residential use of the property to no more than one residential unit.

→ Can be very much

6. The **DEVELOPER** shall undertake the following:
 - a. The **DEVELOPER** shall deed to the City an easement for public access over the driveway shown on Attachment 1 for purposes of public pedestrian passage and access to the community gardens. The final location of the easement to be determined by the City and a deed executed at time of site plan approval; and
 - b. The installation of utilities stubs (water and electric) from the building to the boundaries of the adjacent City Owned property as shown on Attachment 3; and
 - c. The payment of a monetary contribution in the amount of \$23,000.00 to be allocated as follows: \$5,000 toward the implementation of the improvement project at the Washington Avenue/Walnut Street intersection; \$18,000 to be placed in an established Parks and Recreation fund to contribute to the cost of providing community improvements, such as trails, community gardens, park improvements, etc. in the vicinity of the development.

→

7. The initial sale price of two of the twenty-one (21) units in the Residential Condominium will not exceed a total cost of \$200,000 (Two-Hundred Thousand Dollars) and there shall be an income and equity limitation for any future sale of those units to ensure affordability. The equity and income limitations will be determined by the City Department of Planning and Development in consultation with the applicant.

8. In order to preserve affordability of at least two (2) of the units in the Residential Condominium at least two units in the Residential Condominium shall be not more than 850 square feet, and shall not contain more than one bedroom, and shall be located generally in the eastern wing of the building and such units shall be subject to a restriction to be contained in the condominium documents that prohibits combining such units with any other unit in the condominium.

9. In the event the development described herein is not commenced within two (2) years from the date of this rezoning, or an additional one year if, in the sole discretion of the City Planning Department, it deems such extension to be

within AS of 7/07

appropriate, this contract shall become null and void and the Property shall revert back to the underlying R-6 zone.

10. The above stated restrictions, provisions, and conditions are an essential part of the rezoning, shall run with the Property, shall bind and benefit **DEVELOPER**, and any of its successors and assigns, and shall inure to the benefit of and be enforceable by the City, by and through its duly authorized representatives. **DEVELOPER** shall file a copy of this Agreement in the Cumberland County Registry of Deeds, along with a reference to the Book and Page locations of the deeds for the Property. The **DEVELOPER** shall provide to the City the Book and Page number of said recording.
11. If any of the restrictions, provisions, conditions, or portions thereof set forth herein is for any reason held invalid or unconstitutional by any court of competent jurisdiction, such portion shall be deemed as a separate, distinct, and independent provision and such determination shall not affect the validity of the remaining portions hereof.
12. Except as expressly modified herein, the development, use, and occupancy of the subject premises shall be governed by and comply with the provisions of the Land Use Code of the City of Portland and any applicable amendments thereto or replacement thereof.
13. In the event that **DEVELOPER**, or any successor fails to continue to utilize the Property in accordance with this Agreement, or in the event of an uncured breach of any condition(s) set forth in this Agreement, the Planning Board shall have the authority, after hearing and notice to the developer, to resolve the issue resulting in the breach. The resolution may include a recommendation to the City Council that the Agreement be terminated, requiring cessation of the use of the development authorized herein.

WITNESS:

Cumberland, ss.

SHERIDAN STREET LLC

By _____
Greg Shinberg
Its: Manager

State of Maine
Date:

Personally appeared the above-named Greg Shinberg, Manager of Sheridan Street LLC and acknowledged the foregoing Agreement to be his free act and deed in his said capacity and the free act and deed of Sheridan Street LLC.

Notary Public

O:\OFFICE\PENNY\CONTRACT
vrezone\sheridanstreet0907062.doc

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 07-0365	Date Applied For: 04/06/2007	CBL: 013 K002001
-----------------------	---------------------------------	---------------------

Location of Construction: 129 SHERIDAN ST	Owner Name: SHERIDAN STREET LLC	Owner Address: 477 CONGRESS ST 5TH FLOOR	Phone:
Business Name:	Contractor Name: Portland Builders, Inc.	Contractor Address: P.O. Box 4902 Portland	Phone (207) 879-0118
Lessee/Buyer's Name	Phone:	Permit Type: Foundation Only/Residential	

Proposed Use: 4 Story - 21 residential Condominium - FOUNDATION ONLY for New 4 Story Condominiums	Proposed Project Description: FOUNDATION ONLY for New 4 Story - 21 residential Condominiums
--	--

Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 07/04/2007

Note: **Ok to Issue:**

- 1) There shall be a minimum of 31 on-site parking spaces: 29 spaces for the 21 residential condominiums and 2 for the single family dwelling located at 121 Sheridan Street, 013-K-017.
- 2) PRIOR TO FURTHER COBSTRUCTION there shall be a separate permit for work beyond the foundation approval PRIOR to its commencement. At that time building height requirements and parking requirements and unit sizes shall be confirmed.
- 3) According to the contract zone, the initial sale price of the 21 condominiums will not exceed a total cost of \$200,000, and there shall be an income and equity limitation for any future sale of those units to ensure affordability.
- 4) According to the contract zone, at least two of the 21 units shall be not more than 850 square feet and shall not contain more than one bedroom, and shall be located generally in the eastern wing of the building and such units shall be subject to a restriction to be contained in the condominium documents that prohibits combining such units with any other unit in the condominium.
- 5) The maximum number of residential condominiums is 21 dwelling units.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Mike Nugent **Approval Date:** 07/27/2007

Note: **Ok to Issue:**

- 1) This permit approves the foundation only, no construction is allowed beyond this phase without approvals

Dept: Fire **Status:** Approved with Conditions **Reviewer:** Capt Greg Cass **Approval Date:** 07/16/2007

Note: **Ok to Issue:**

- 1) Application requires State Fire Marshal approval.
- 2) The fire alarm system shall comply with NFPA 72.
Per city ordinance "A masterbox is required"
- 3) Installation of a Fire Alarm system requires a Knox Box to be installed per city ordinance
- 4) The sprinkler system shall be installed in accordance with NFPA 13.
- 5) Applicant must show hydrant within 500' path of travel.
- 6) A single source supplier should be used for all through penetrations.
- 7) Provide details for proposed fireplaces
- 8) provide a code summary for NFPA 101.
Need information for parking garage.

Dept: Public Works **Status:** Approved **Reviewer:** **Approval Date:**

Note: **Ok to Issue:**

Location of Construction: 129 SHERIDAN ST	Owner Name: SHERIDAN STREET LLC	Owner Address: 477 CONGRESS ST 5TH FLOOR	Phone:
Business Name:	Contractor Name: Portland Builders, Inc.	Contractor Address: P.O. Box 4902 Portland	Phone (207) 879-0118
Lessee/Buyer's Name	Phone:	Permit Type: Foundation Only/Residential	

Dept: Zoning **Status:** Pending **Reviewer:** **Approval Date:**
Note: **Ok to Issue:**

Dept: Parks **Status:** Approved with Conditions **Reviewer:** **Approval Date:**
Note: **Ok to Issue:**

Dept: Fire **Status:** **Reviewer:** Greg Cass **Approval Date:**
Note: **Ok to Issue:**
1) Applicant must show hydrant within 500' path of travel.

Dept: DRC **Status:** Approved **Reviewer:** Philip DiPierro **Approval Date:** 07/06/2007
Note: **Ok to Issue:**

Dept: Planning **Status:** Approved with Conditions **Reviewer:** Shukria Wiar **Approval Date:** 01/09/2007
Note: **Ok to Issue:**

Comments:

4/6/2007-mes: requested the conditional R-6 Zone copy and a stamped approved site plan

7/5/2007-mes: On June 21, 2007 I received a copy of the contact zone - Planning still has not released (but are close) the stamped approved site plan. I am trying to sign-off on zoning with site plans that I beleive to be accurate, but will have to recheck when the final stamped one is given this office.

Location of Construction: 129 SHERIDAN ST	Owner Name: SHERIDAN STREET LLC	Owner Address: 477 CONGRESS ST 5TH FLOOR	Phone:
Business Name:	Contractor Name: Portland Builders, Inc.	Contractor Address: P.O. Box 4902 Portland	Phone (207) 879-0118
Lessee/Buyer's Name	Phone:	Permit Type: Foundation Only/Residential	

7/23/2007-l Dobson: I just informed TFH that the following info was not complete or included with the above application. Can you forward this email to Greg Shindberg, I don't have his email address (sorry) :

- 1) The certification forms are not stamped
- 2) The page 3 Cert form is blank, except for the heading
- 3) The architectural plans are not stamped
- 4) There is no Statement of Special Inspections
- 5) The Geotechnical report does not include a seismic determination, and it needs to.
- 6) The horizontal fire separation assemblies do not have STC or IIC ratings (sound)
- 7) The building is very close to the side lot lines . Need elevations for all sides (other than the street side) that are less than 30 feet from the lot lines that show percentages of openings and ratings of the exterior walls that complies with Table 602 and 704.8.
- 8) Many of the "A" series plans shown on the table of contents were not included in the permit set.
- 9) There are no stamped mechanical, plumbing, electrical plans.
- 10) need a Comcheck energy code compliance report.

I'll return this one on Monday to go on Hold.

7/25/2007-mes: I received an approved stamped site plan from planning - permit can be issued when ready.

7/27/2007-jmb: Mike Nugent called to say that the permit was ok to issue. He was leaving out of town and did not have time to deliver the actual permit to our office, so I created a "B" for Greg. We will need to mail him the official copy.

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 07-0365	Issue Date:	CBL: 013 K002001
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Location of Construction: 129 SHERIDAN ST	Owner Name: SHERIDAN STREET LLC	Owner Address: 477 CONGRESS ST 5TH FLOOR	Phone:
Business Name:	Contractor Name: Portland Builders, Inc.	Contractor Address: P.O. Box 4902 Portland	Phone: 2078790118
Lessee/Buyer's Name	Phone:	Permit Type: Foundation Only/Residential	Zone: <i>Contract</i>

Past Use: Vacant Land	Proposed Use: 4 Story - 21 residential Condominium - FOUNDATION ONLY for New 4 Story Condominiums	Permit Fee: \$2,700.00	Cost of Work: \$268,000.00	CEO District: 1	Zone: <i>Zone (modified 12-6)</i>
FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied INSPECTION: Use Group: <i>FOUNDATION ONLY</i>		Signature: <i>Greg Cross</i> Signature: <i>[Signature]</i>			

Proposed Project Description:
FOUNDATION ONLY for New 4 Story - 21 residential Condominiums

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)
Action: Approved Approved w/Conditions Denied
Signature: _____ Date: _____

Permit Taken By: Idobson	Date Applied For: 04/06/2007	Zoning Approval
-----------------------------	---------------------------------	------------------------

- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews

Shoreland *N/A*

Wetland

Flood Zone *Panel 14 zone C*

Subdivision

Site Plan
#2006-0214

Maj Minor MM

ok with conditions
Date: *7/14/07*

Zoning Appeal

Variance

Miscellaneous

Conditional Use

Interpretation

Approved

Denied

Date: _____

Historic Preservation

Not in District or Landmark

Does Not Require Review

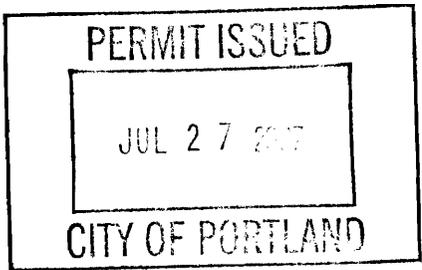
Requires Review

Approved

Approved w/Conditions

Denied

Date: *[Signature]*



CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT ADDRESS DATE PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE



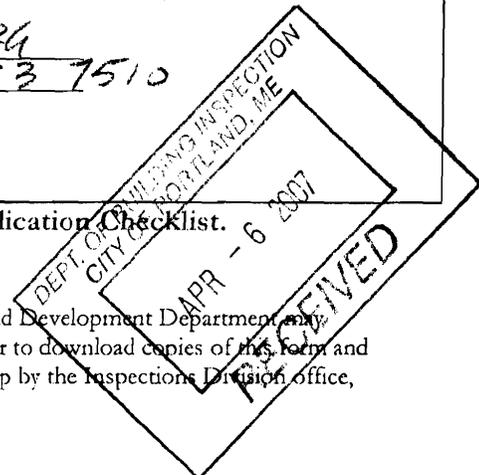
General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>135 SHERIDAN ST.</u>		
Total Square Footage of Proposed Structure <u>38,100</u>	Square Footage of Lot <u>24,067</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>13</u> Block# <u>K</u> Lot# <u>2</u>	Owner: <u>SHERIDAN ST LLC</u> <u>477 CONGRESS ST 5TH FL</u> <u>PORTLAND ME 04101</u>	Telephone: <u>207</u> <u>523 3410</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>GREG SHINBERG</u> <u>SHINBERG CONSULTING LLC</u> <u>477 CONGRESS ST 5TH FL</u> <u>PORTLAND ME 04101</u>	Cost Of Work: \$ <u>268,000</u> Fee: \$ <u>2,700</u> C of O Fee: \$ _____
Current legal use (i.e. single family) _____ If vacant, what was the previous use? <u>VACANT FIELD</u> Proposed Specific use: <u>21 UNIT CONDOMINIUM</u> Is property part of a subdivision? _____ If yes, please name _____ Project description: <u>Foundation only CONSTRUCT ONE 4 STORY CONDOMINIUM BUILDING</u> <u>WITH 18 COVERED & 12 SURFACE PARKING SPACES.</u>		
Contractor's name, address & telephone: <u>PORTLAND BUILDERS</u> <u>879 0118</u> <u>85 YORK ST PORTLAND ME 04101</u> Who should we contact when the permit is ready: <u>GREG SHINBERG</u> Mailing address: _____ Phone: <u>207 653 7510</u>		

Please submit all of the information outlined in the Commercial Application Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.



I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant:	Date: <u>4/4/07</u>
-------------------------	---------------------

This is not a permit; you may not commence ANY work until the permit is issued.

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon.

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

- Footing/Building Location Inspection: Prior to pouring concrete
- Re-Bar Schedule Inspection: Prior to pouring concrete
- Foundation Inspection: Prior to placing ANY backfill
- N/A Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling
- N/A Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

N/A CERTIFICATE OF OCCUPANCIES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED

Signature of Applicant/Designee

Date

Signature of Inspections Official

Date

CBL:

13-k-12

Building Permit #:

07-0365

TFH



Certificate of Design

13K2

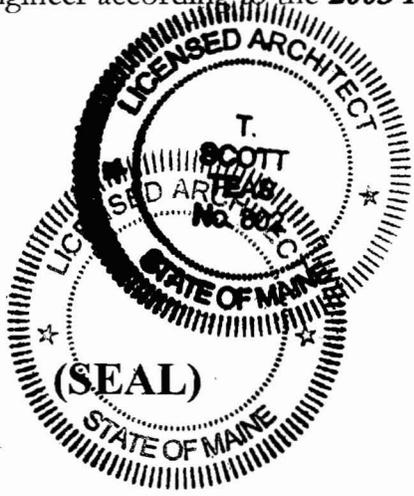
Date: 4/9/07

From: T. SCOTT TEAS / TFH ARCHITECTS

These plans and / or specifications covering construction work on:

21 RESIDENTIAL CONDOMINIUM UNITS WITH
ENCLOSED PARKING

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the **2003 International Building Code** and local amendments.



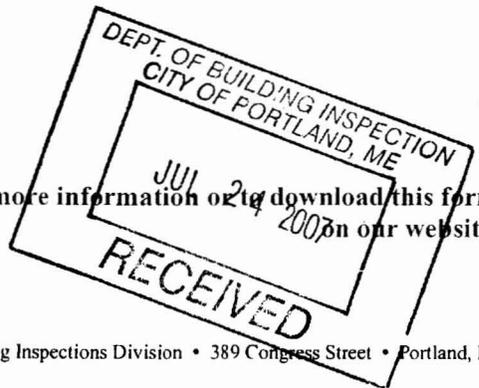
Signature: _____

Title: PRINCIPAL

Firm: TFH ARCHITECTS

Address: 100 COMMERCIAL STREET
PORTLAND, MAINE

Phone: 207.775.6141



For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov



13K2

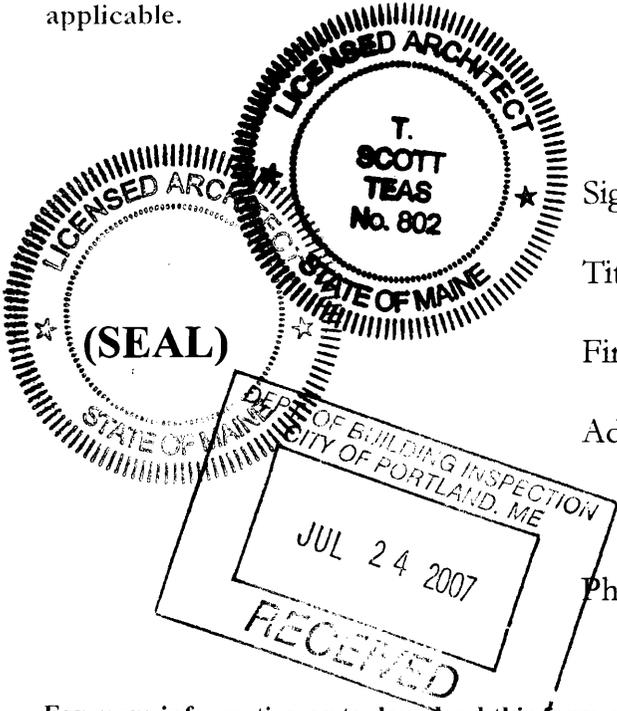
Accessibility Building Code Certificate

Designer: TFH ARCHITECTS

Address of Project: 135 SHERIDAN STREET

Nature of Project: 21 RESIDENTIAL CONDOMINIUM
UNITS WITH COVERED PARKING

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act. Residential Buildings with 4 units or more must conform to the Federal Fair Housing Accessibility Standards. Please provide proof of compliance if applicable.



Signature:  / T. SCOTT TEAS

Title: PRINCIPAL

Firm: TFH ARCHITECTS

Address: 100 COMMERCIAL STREET
PORTLAND, MAINE

Phone: 207 775 6141

For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov



Certificate of Design Application

13162

From Designer:

TFM ARCHITECTS / PRICE STRUCTURAL ENGINEERS

Date:

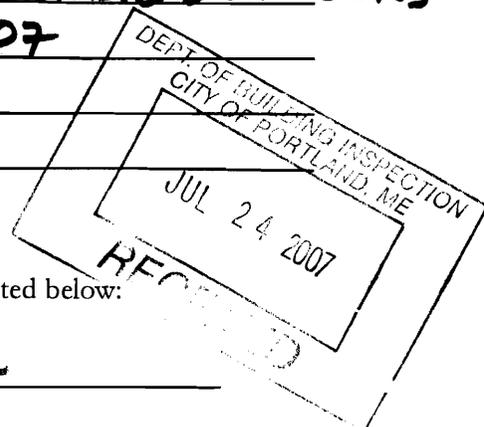
~~4/9/07~~ 07.24.07

Job Name:

SHERIDAN HEIGHTS

Address of Construction:

135 SHERIDAN STREET



2003 International Building Code

Construction project was designed to the building code criteria listed below:

Building Code & Year IBC 2003 Use Group Classification (s) R2/S2

Type of Construction 5A

Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IRC YES

Is the Structure mixed use? YES If yes, separated or non separated or non separated (section 302.3) SEPARATED

Supervisory alarm System? YES Geotechnical/Soils report required? (See Section 1802.2) YES

Structural Design Calculations

N/A Submitted for all structural members (106.1 - 106.11)

Design Loads on Construction Documents (1603)

Uniformly distributed floor live loads (7603.11, 1807)

Floor Area Use	Loads Shown
TYPICAL FLOOR	40 PSF
GF CORRIDOR	100 PSF
MECH. EQUIP. ROOM	125 PSF
STORAGE	40 PSF

Wind loads (1603.1.4, 1609)

- 1609.1.1 Design option utilized (1609.1.1, 1609.6)
- 100 MPH Basic wind speed (1809.3)
- 1D Building category and wind importance Factor, I_w (table 1604.5, 1609.5)
- C Wind exposure category (1609.4)
- 47 PSF @ CORNERS Internal pressure coefficient (ASCE 7)
- 30 PSF TYP. Component and cladding pressures (1609.1.1, 1609.6.2.2)
- 27 PSF Main force wind pressures (7603.1.1, 1609.6.2.1)

Earth design data (1603.1.5, 1614-1623)

- ASCE 7-02 Design option utilized (1614.1)
- C Seismic use group ("Category")
- S_{ds} = 0.38 S₁ = 1.0 Spectral response coefficients, S_d & S₁ (1615.1)
- D Site class (1615.1.5)

ASCE 7-02

- N/A Live load reduction
- 35 PSF Roof live loads (1603.1.2, 1607.11)
- 35 PSF Roof snow loads (1603.7.3, 1608)
- 35 PSF Ground snow load, P_g (1608.2)
- 1.0 If P_g > 10 psf, flat-roof snow load I_f
- 1.0 If P_g > 10 psf, snow exposure factor, C_e
- 1.0 If P_g > 10 psf, snow load importance factor, I_s
- 1.0 Roof thermal factor, C_t (1608.4)
- N/A Sloped roof snowload, P_s (1608.4)
- C Seismic design category (1616.3)
- LIGHT FRAME SHEAR WALL Basic seismic force resisting system (1617.6.2)
- 6.5 = R Response modification coefficient, R_v and deflection amplification factor C_d (1617.6.2)
- "E.L.F." Analysis procedure (1616.6, 1617.5)
- 71.4 K Design base shear (1617.4, 1617.5.1)

Flood loads (1803.1.6, 1612)

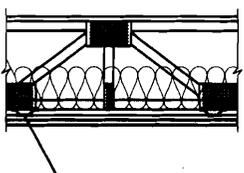
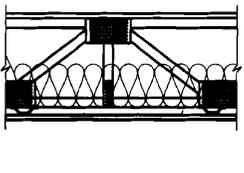
- N/A Flood Hazard area (1612.3)
- N/A Elevation of structure

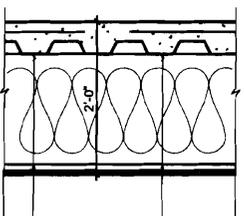
Other loads

- N/A Concentrated loads (1607.4)
- N/A Partition loads (1607.5)
- Misc. loads (Table 1607.8, 1607.6.1, 1607.7, 1607.12, 1607.13, 1610, 1611, 2404)

CONDENSING UNITS ON ROOF = 300 POUNDS MAX.
PACKAGED ROOF TOP UNIT = 1000 POUNDS MAX.

13k2

1 HOUR RATED FLOOR/CEILING			
KEY	STC	ICC RATING	RATED PARTITIONS TO EXTEND TO BOTTOM OF FLOOR DECK ABOVE, THROUGH FLOOR-CEILING ASSEMBLY.
1K	53 MIN. W/ RESILIENT FLOORING	52 MIN. W/ RESILIENT FLOORING	 <p>1 LAYER 5/8" TYPE 'X' GWB ATTACHED PERPENDICULAR, JOINTS STAGGERED, TO 1/2" UL L528 RESILIENT CHANNELS SPACED 16" O.C. ON 1/2" HAT CHANNELS 24" O.C. ON 2x4 WOOD TRUSSES SPACED 24" O.C. MAX., 8" SOUND BATT INSUL., 3/4" T & G FLOOR 'UNDERLAYMENT', FINISH FLOOR PER SCHED.</p> <p>TAB OF BITUMINOUS TAPE BETWEEN LAYERS OF MTL. RC AND HAT CHANNELS TYPICAL ALL POINTS OF CONTACT - FOR ISOLATION</p>
	57 MIN. W/ CARPET AND PAD	81 MIN. W/ CARPET AND PAD	
1L	51 MIN. W/ RESILIENT FLOORING	51 MIN. W/ RESILIENT FLOORING	 <p>1 LAYER 5/8" TYPE 'X' GWB ATTACHED PERPENDICULAR, JOINTS STAGGERED, TO 1/2" UL L528 RESILIENT CHANNELS SPACED 16" O.C. OR 24" O.C. ON 2x4 WOOD TRUSSES SPACED 24" O.C. MAX., 8" SOUND BATT INSUL., 3/4" T & G FLOOR 'UNDERLAYMENT', FINISH FLOOR PER SCHED.</p>
	55 MIN. W/ CARPET AND PAD	77 MIN. W/ CARPET AND PAD	

2 HOUR RATED FLOOR/CEILING			
KEY	STC	ICC RATING	RATED PARTITIONS TO EXTEND TO BOTTOM OF FLOOR DECK ABOVE, THROUGH FLOOR-CEILING ASSEMBLY.
2H	58 MIN. W/ RESILIENT FLOORING	56 MIN. W/ RESILIENT FLOORING	 <p>FINISHED FLOOR UL D502 5" COMPOSITE SLAB (SEE STRUCTURAL DWGS) STEEL BEAM (SEE STRUCTURAL DRAWINGS) BATT INSULATION COMPLETELY FILL CAVITY HANGER CLIPS STEEL FRAME MAIN RUNNERS AT 24" O.C. WITH CROSS RUNNERS AT 24" O.C. 5/8" TYPE 'X' GWB FINISHED PAINTED FINISH</p>
	85 MIN. W/ CARPET AND PAD	60 MIN. W/ CARPET AND PAD	

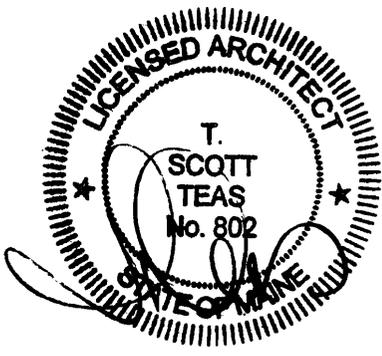
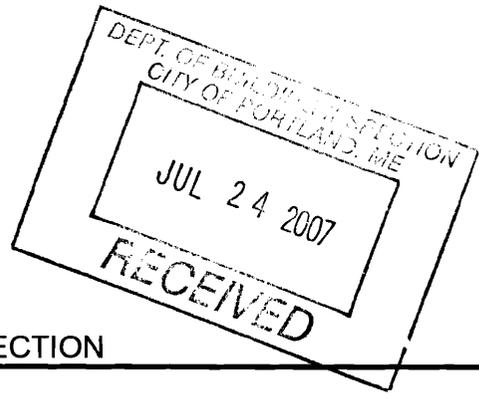
SHERIDAN HEIGHTS
 PROPOSED CONDOMINIUMS AT
 135 SHERIDAN STREET, PORTLAND MAINE
 FOR SHERIDAN STREET LLC


TFH ARCHITECTS
 100 COMMERCIAL STREET
 PORTLAND MAINE 04101
 TELEPHONE 207 775 8141
 ARCHITECTURE PLANNING

CONSULTANTS:

DATE: 07.24.07
 PROJECT No. 0507
 DRAWN BY: SA
 CHECKED BY: TST
 SCALE: N.T.S.

SHEET TITLE:
 FLOOR SECTIONS



1 FLOOR SECTION
 N.T.S.

ASK

Greg Shinberg

From: Matt Lilley [mlilley@swcole.com]
Sent: Tuesday, July 24, 2007 9:31 AM
To: gls@shinbergconsulting.com
Cc: 'Paul Kohler'
Subject: Sheridan Heights - Site Class
Attachments: Geo- mapping.pdf

Greg,

This email is to follow up discussions with you this morning. Explorations were made at the site on November 3, 2006. We then prepared a geotechnical report, dated December 6, 2007. The explorations at the site encountered fill overlying native sand and gravel and native glacial till. Our geotechnical report recommended removal of the fill below the building and replacement with compacted structural fill.

Section 1613.5.2 of the 2006 International Building Code reads..."When the soil properties are not known in sufficient detail to determine the site class, Site Class D shall be used unless the building official or geotechnical data determines that Site Class E or F soil is likely to be present at the site."

It is our opinion, based on the findings at the explorations and our previous work in the area, as well as surficial geologic mapping (see attached map), the native site soils at least meet the properties of Site Class D. There were no soils that would be classified as Site Class E or F encountered at the site.

The structural engineer for the project has reviewed our geotechnical report and agrees that a Site Class of D is appropriate for seismic design for this project.

We trust this meets your current needs.

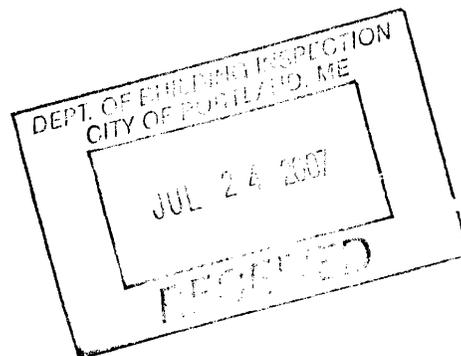
Sincerely,

Paul F. Kohler, P.E.
Senior Geotechnical Engineer

Matthew P. Lilley, P.E.
Geotechnical Engineer

S. W. Cole Engineering, Inc.
286 Portland Road
Gray, ME 04039-9586

Phone: (207) 657-2866
Fax: (207) 657-2840
Cell: (207) 615-2765
E-mail: mlilley@swcole.com

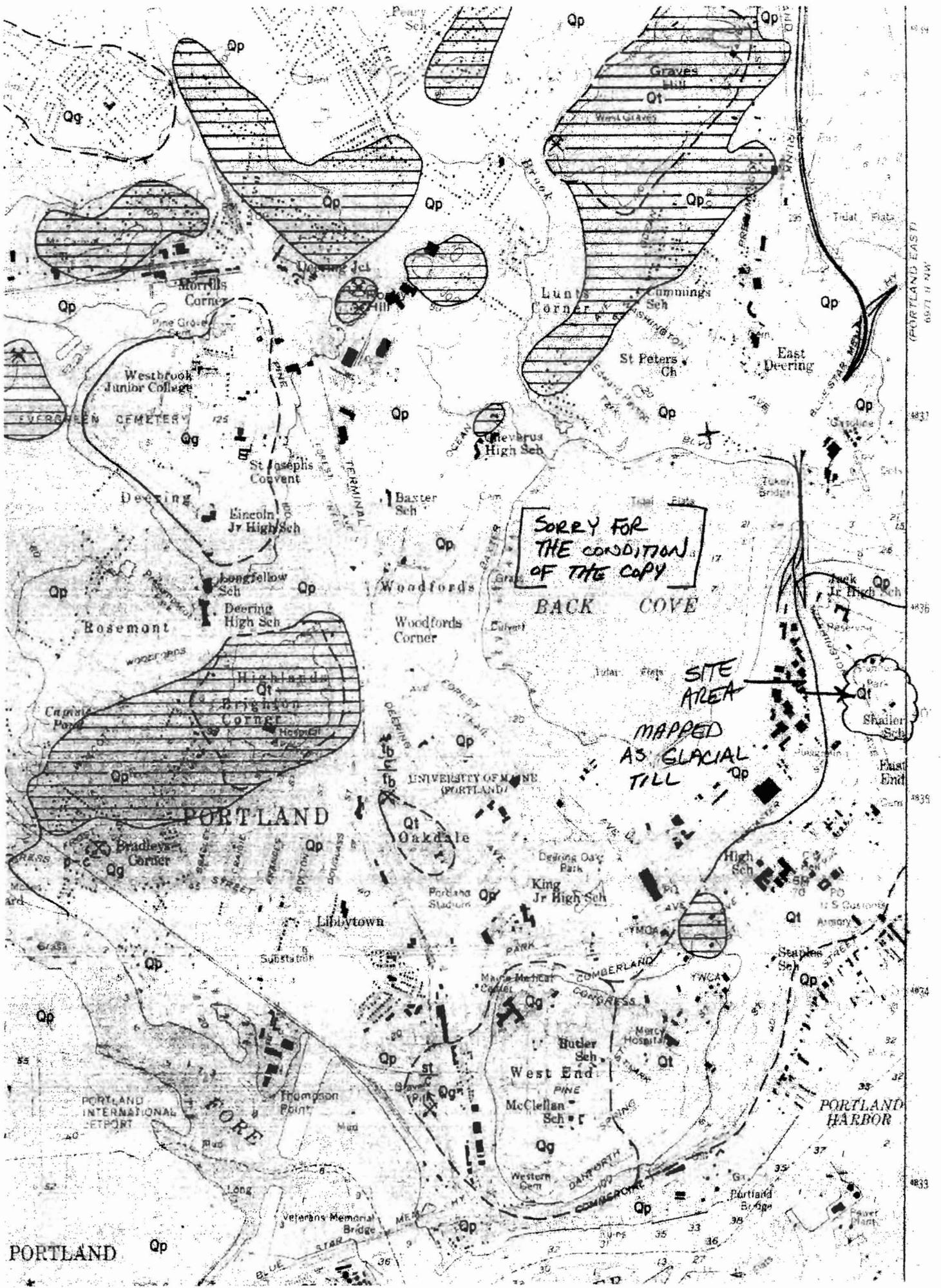


www.swcole.com

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7/24/2007

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SORRY FOR THE CONDITION OF THE COPY

BACK COVE

SITE AREA MAPPED AS GLACIAL TILL

PORTLAND

FORE

PORTLAND HARBOR

PORTLAND

6871 11 144 (PORTLAND EAST)

From: Sarah Hopkins
To: Marge Schmuckal
Date: 4/7/2006 9:14:17 AM
Subject: Re: trying to find a site plan number

It's under rezoning in urban insight. They requested an R-7 and the City Council said no, but directed him to return with a contract zone. He hasn't re-applied yet. if you want, I'll call the n'bor back.

-s

>>> Marge Schmuckal 04/06/2006 2:41:55 PM >>>

Sarah,

I am trying to find the status of Greg Shinberg's project for Sheridan Street, LLC on Sheridan Street. I do have plans, and correspondence, but I see no application in your files. I see that it has gone to the planning board and that they have had at least one public meeting. Are they only requesting a zone change to R-7 right now? Has that been approved yet by the PB and/or the City Council? I don't think this has advanced to the site plan application stage yet, but I could be wrong.

I have a neighbor asking that I wanted to get back to.

Thanks,
Marge

From: "Travis Letellier" <tletellier@sgceng.com>
To: <mes@portlandmaine.gov>
Date: 8/29/2006 10:17:49 AM
Subject: Sheridan Street - Average Building Elevation

RE: Sheridan Street - Average Building Elevation

Ms. Schmuckal;

I am contacting you on behalf of Mr. Greg Shinburg who is proposing a multi unit building off Sheridan Street, in Portland. More specifically I am contacting you regarding the average building elevation that we have calculated. I have attached a drawing of the proposed building with elevations at each corner. We are looking for confirmation that the elevation that we have calculated is appropriate. Our average elevation is an average of the eight primary corners of the building and not an average of the elevations calculated for each nuance in building shape. The average when using elevations of every nuance in building shape biases the average lower than what the average building elevation really is.

Agreed

As I said I have attached a drawing the shows the corners that were used in the calculations and the elevations of those corners. It also shows the corners that aren't used in the calculation with their representing elevations. I have also attached the excel spreadsheet file that calculated the average elevation.

Please at your earliest convince review the drawing and the excel file and advise us to weather this is acceptable to you in terms of average elevation. Thank you for your assistance in the matter.

Very truly yours,

SGC Engineering, LLC

Travis Letellier, EIT

Design Engineer

SHERIDAN HEIGHTS
Building Elevation 8.24.06

All Corners

Corner	Elevation
1	120.65
2	121.50
3	121.59
4	121.37
5	121.49
6	121.55
7	122.78
8	122.78
9	123.00
10	123.03
11	123.74
12	125.74
13	125.43
14	132.59
15	132.34
AVG	123.97

Major Building Corners

Corner	Elevation
1	120.65
6	121.55
10	123.03
11	123.74
12	125.74
13	125.43
14	132.59
15	132.34

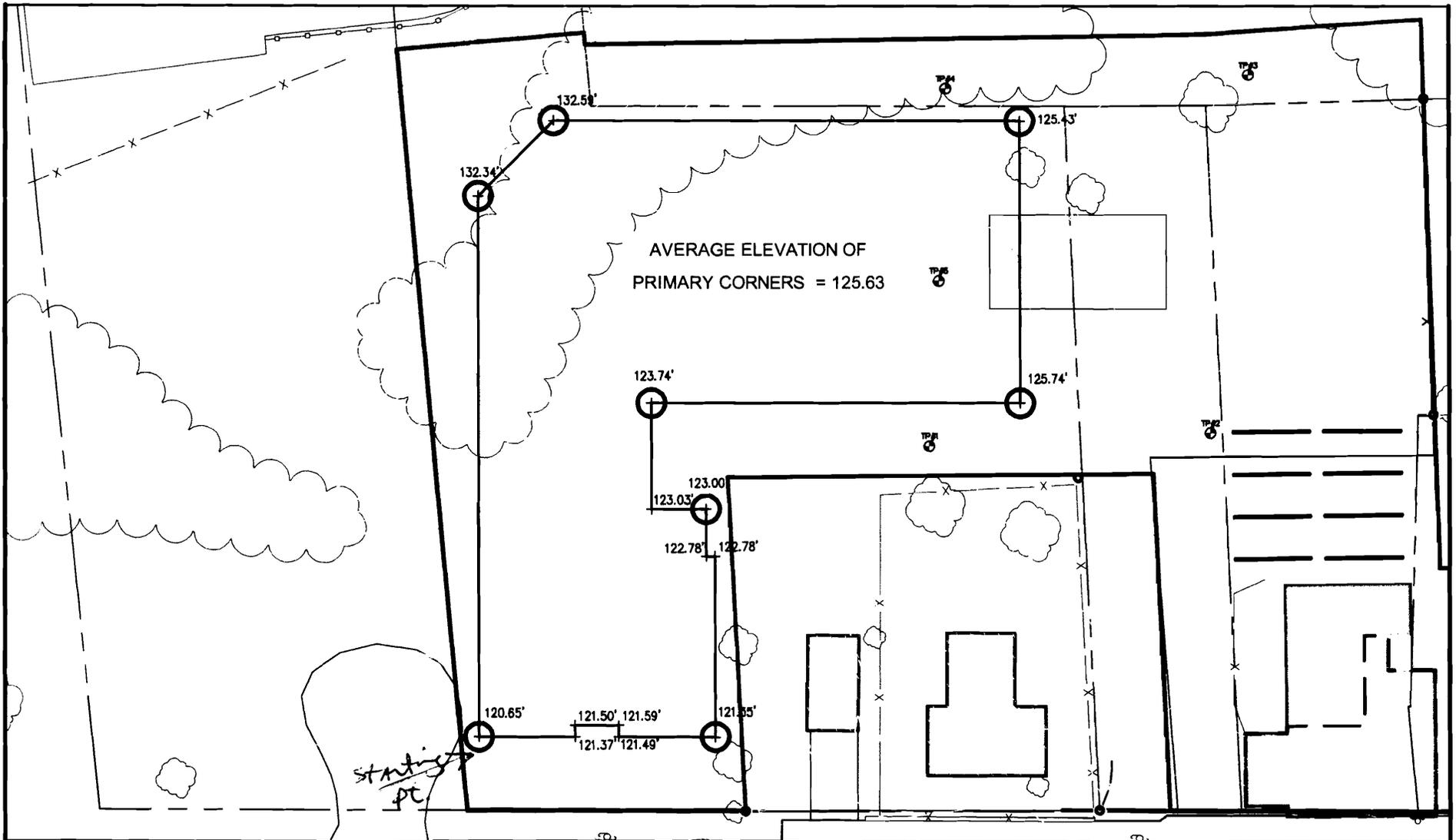
AVG 125.63

*This is ok
to use*

DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME

AUG 29 2006

RECEIVED



SHERIDAN STREET

AVERAGE ELEVATION PLAN
SHERIDAN HEIGHTS
 121 & 135 SHERIDAN STREET
 PREPARED FOR
SHERIDAN STREET, LLC
 477 CONGRESS STREET
 PORTLAND, MAINE 04101



SGC ENGINEERING, LLC
 • Civil Design & Survey Engineering
 • Environmental & Regulatory Permitting
 • Electrical Power Systems Engineering

SERVING OUR CLIENTS IN THE U.S.A. & CANADA

501 County Road
 Westbrook, Maine 04092
 Tel: 207-347-8100
 Fax: 207-347-8101

Target Technology Center
 20 Godfrey Drive, Suite 200
 Orono, Maine 04473
 Tel: 207-866-6571
 Fax: 207-866-6501

DEPT. OF BUILDING INSPECTION
 CITY OF PORTLAND, ME
 AUG 29 2006
RECEIVED

From: Marge Schmuckal
To: ALEX JAEGERMAN
Date: 8/3/2006 11:23:22 AM
Subject: 135 Sheridan ST - Sheridan Heights

Alex,
what you sent me to review has a scaled survey with no buildings situated on it. I was also given a reduced plan showing the buildings on it. I can't scale a thing on the reduced plans. I need scalable plans before I can compare this to the R-6 zone. I will await such plans before finishing my review.
Marge

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number	1 of 1
Parcel ID	013 K002001
Location	129 SHERIDAN ST
Land Use	VACANT LAND
Owner Address	SHERIDAN STREET LLC 477 CONGRESS ST 5TH FLOOR PORTLAND ME 04101
Book/Page	24012/046
Legal	13-K-2 SHERIDAN ST 131-135 15721 SF

Current Assessed Valuation

Land	Building	Total
\$101,400	\$ 0.00	\$101,400

Property Information

Year Built	Style	Story Height	Sq. Ft.	Total Acres	
				0.361	
Bedrooms	Full Baths	Half Baths	Total Rooms	Attic	Basement

Outbuildings

Type	Quantity	Year Built	Size	Grade	Condition
-------------	-----------------	-------------------	-------------	--------------	------------------

Sales Information

Date	Type	Price	Book/Page
05/31/2006	LAND	\$311,200	24012-046
03/11/2004	LAND		20967-141
05/01/1999	LAND	\$42,000	14745-060
11/01/1998	LAND	\$29,900	14267-191
11/01/1996	LAND	\$84,000	12840-124

Picture and Sketch

Picture	Sketch	Tax Map
----------------	---------------	----------------

[Click here to view Tax Roll Information.](#)

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or e-mailed.

New Search!

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number	1 of 1
Parcel ID	013 K017001
Location	121 SHERIDAN ST
Land Use	SINGLE FAMILY
Owner Address	SHERIDAN STREET LLC 477 CONGRESS ST 5TH FLOOR PORTLAND ME 04101
Book/Page	22760/001
Legal	13-K-17 SHERIDAN ST 119-121 6600 SF

Current Assessed Valuation

Land	Building	Total
\$94,900	\$98,600	\$193,500

Property Information

Year Built 1864	Style Old Style	Story Height 2	Sq. Ft. 1626	Total Acres 0.152		
Bedrooms 4	Full Baths 1	Half Baths	Total Rooms 8	Attic Full Fin./wh	Basement Full	

Outbuildings

Type GARAGE-WD/CB	Quantity 1	Year Built 1940	Size 20X32	Grade D	Condition A
-----------------------------	----------------------	---------------------------	----------------------	-------------------	-----------------------

Sales Information

Date	Type	Price	Book/Page
06/15/2005	LAND + BLDING	\$385,000	22760-001
07/07/1999	LAND + BLDING	\$122,340	14888-054
06/01/1992	LAND + BLDING	\$72,000	10147-001

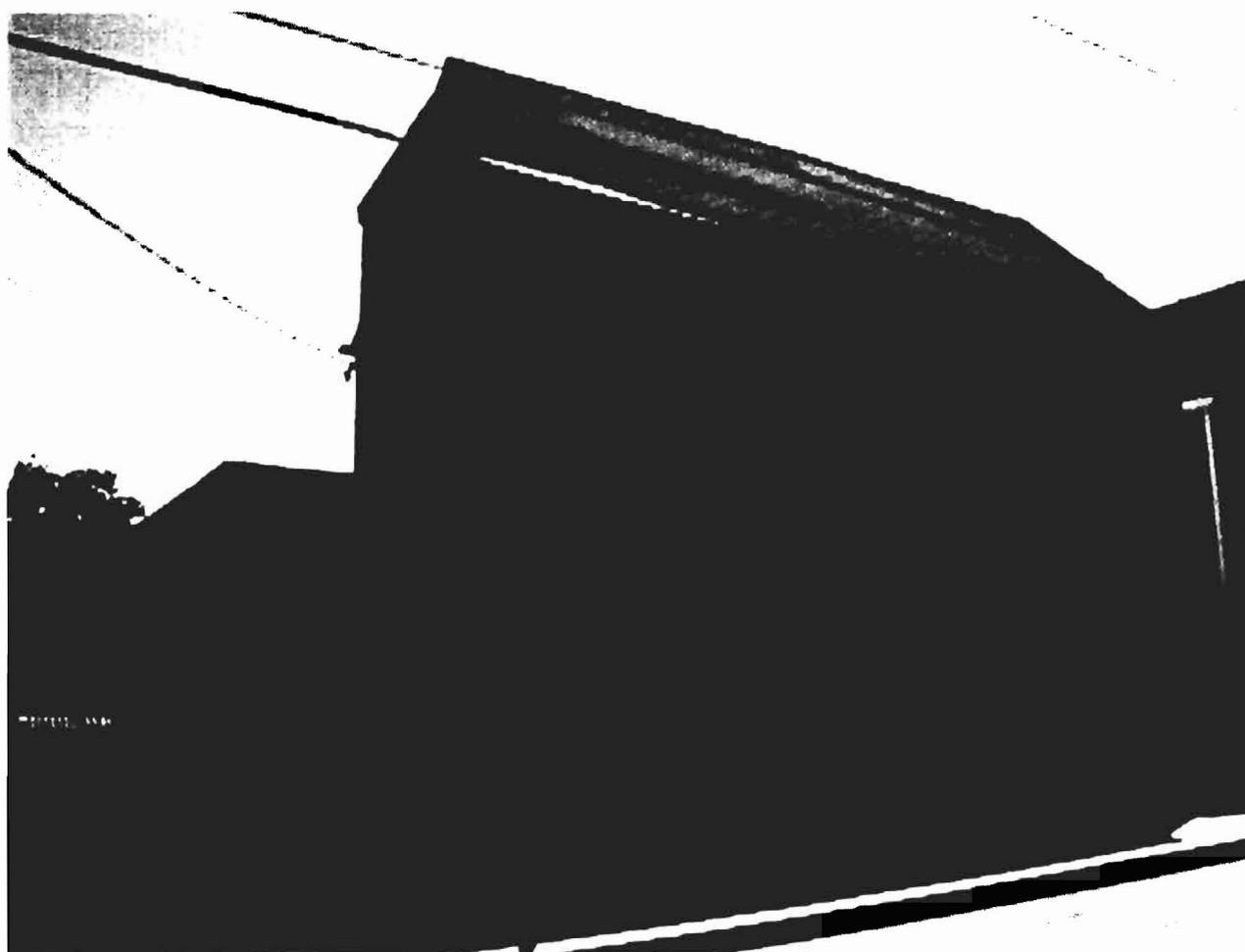
Picture and Sketch

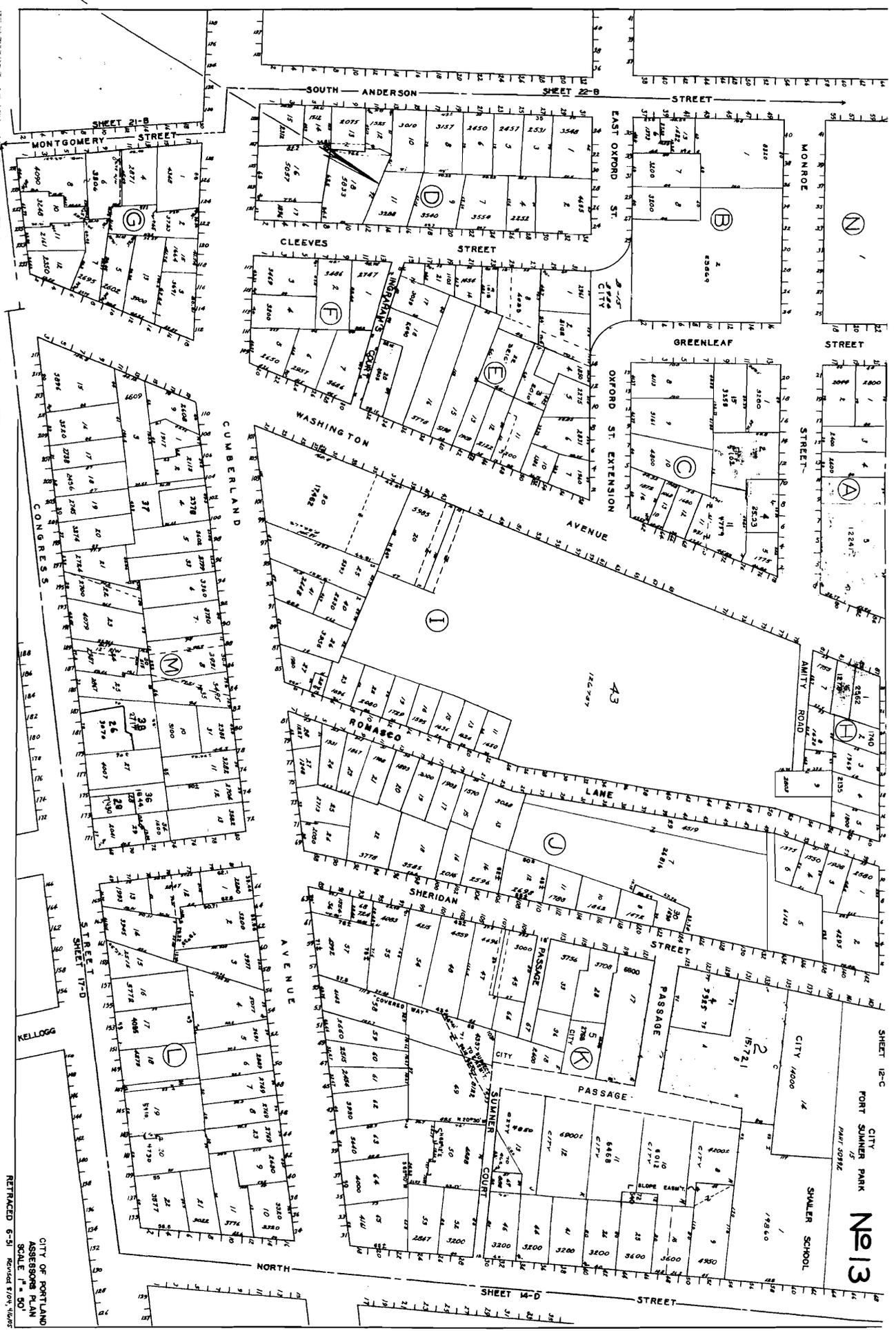
Picture Sketch Tax Map

[Click here to view Tax Roll Information.](#)

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or e-mailed.

New Search!





CITY OF PORTLAND
 ASSESSORS PLAN
 SCALE 1" = 50'
 RETRAINED 6-51 REVISED 8/17/1989

SHEET 12-C
 CITY SUMNER PARK
 PART 0092
 No 13
 SHALER SCHOOL
 CITY 14000
 1/4
 1/860

SHEET 14-D

SOUTH ANDERSON STREET

EAST OXFORD ST

MONTGOMERY STREET

CLEAVES STREET

GREENLEAF STREET

WASHINGTON AVENUE

OXFORD ST EXTENSION

CONGRESS STREET

ROMANCO LANE

SHERIDAN STREET

KELLOGG STREET

NORTH STREET

PASSAGE

From: Marge Schmuckal
To: Barbara Barhydt ; Shukria Wiar
Date: 4/6/2007 12:23:35 PM
Subject: 135 Sheridan Street - #2006-0214

I have just received a permit for 135 Sheridan St - I understand this to be a conditional R-6 zone - I need a copy of that conditional rezoning. I will also need a copy of the stamped approved site plan. And let me know when the permit can be issued.
Marge

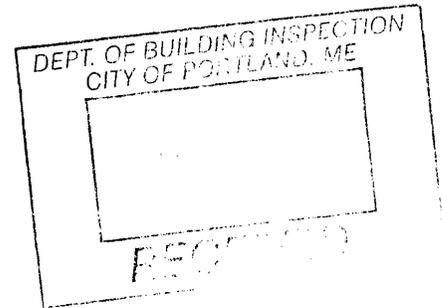
CITY OF PORTLAND, MAINE

PLANNING BOARD

Michael Patterson, Chair
Janice E. Tevanian, Vice Chair
Kevin Beal
Bill Hall
Lee Lowry III
Shalom Odokara
David Silk

January 19, 2007

Greg Shinberg
Shinberg Consulting, LLC
477 Congress Street, 5th Floor
Portland, Maine 04101-3427



RE: 135 Sheridan Street; 21 Unit Condominiums
Application ID Number: 2006-0214
CBL 013 K002001Chart 116, Block E00, Lot 3001

Dear Mr. Shinberg,

On January 9, 2007 the Portland Planning Board considered the subdivision and site plan application for a twenty-one (21) unit residential development at 135 Sheridan Street. On the basis of the application, plans, reports and other information submitted by the applicant, staff comments and recommendations contained in Planning Report #02-07, the subdivision and site plan regulations and other applicable regulations, and the testimony presented at the Planning Board hearing the Planning Board found the following:

1. Subdivision:

The Planning Board voted 7-0 that the plan is in conformance with the subdivision standards of the land use code, subject to the following condition of approval:

- i. Applicant shall provide a capacity to serve letter from the Portland Water District.

2. Waivers:

The Planning Board voted 7-0 to waive the Technical Standard, Section III 2 A (b), which requires a 24 foot wide driveway for two-way ingress and egress, to allow the access to be 20 feet clear width at the building line on Sheridan Street as shown on the site plan Attachment 2i.

The Planning Board voted 7-0 to waive the Technical and Design Standards and Guidelines, Section III (7), which requires parking bays to be 9 feet by 19 feet, to allow interior parking bays shall be 9feet by 17 ft 11 inches and exterior parking bays number 23 to 30 shall be 9ft by 16ft.

The Planning Board voted 7-0 to waive the Technical and Design Standards and Guidelines, Section III (7), which requires a 24-foot aisle width for 90° parking stalls, to allow a 22-foot aisle width.

1. Where submission drawings are available in electronic form, the applicant shall submit any available electronic Autocad files (*.dwg), release 14 or greater, with seven (7) sets of the final plans.
2. A performance guarantee covering the site improvements as well as an inspection fee payment of 2.0% of the guarantee amount and 7 final sets of plans must be submitted to and approved by the Planning Division and Public Works prior to the release of the building permit. If you need to make any modifications to the approved site plan, you must submit a revised site plan for staff review and approval.
3. The site plan approval will be deemed to have expired unless work in the development has commenced within one (1) year of the approval or within a time period agreed upon in writing by the City and the applicant. Requests to extend approvals must be received before the expiration date.
4. A defect guarantee, consisting of 10% of the performance guarantee, must be posted before the performance guarantee will be released.
5. Prior to construction, a pre-construction meeting shall be held at the project site with the contractor, development review coordinator, Public Work's representative and owner to review the construction schedule and critical aspects of the site work. At that time, the site/building contractor shall provide three (3) copies of a detailed construction schedule to the attending City representatives. It shall be the contractor's responsibility to arrange a mutually agreeable time for the pre-construction meeting.
6. If work will occur within the public right-of-way such as utilities, curb, sidewalk and driveway construction, a street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)

The Development Review Coordinator must be notified five (5) working days prior to date required for final site inspection. The Development Review Coordinator can be reached at the Planning Division at 874-8632. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

If there are any questions, please contact Shukria Wiar at 756-8083 or by email at shukriaw@portlandmaine.gov.

Sincerely,



Michael Patterson, Chair
Portland Planning Board

From: Barbara Barhydt
To: Schmuckal, Marge; Wiar, Shukria
Date: 4/6/2007 12:37:09 PM
Subject: Re: 135 Sheridan Street - #2006-0214

Hi:

I just got off the phone with Greg and they may want to make some revisions to the site plan. He is going to be brining something in, but did not say when he plans to have the material ready. They are thinking of changing some of the utility connections and revising the parking plan. I will let you know when I hear from him.

Barbara

>>> Marge Schmuckal 04/06 12:23 PM >>>

I have just received a permit for 135 Sheridan St - I understand this to be a conditional R-6 zone - I need a copy of that conditional rezoning. I will also need a copy of the stamped approved site plan. And let me know when the permit can be issued.

Marge

From: Marge Schmuckal
To: Shukria Wiar
Date: 6/21/2007 10:54:05 AM
Subject: Fwd: RE: Sheridan Street, LLC

Thank you. That is helpful
Marge

>>> Shukria Wiar 6/21/2007 10:49:32 AM >>>

No we are holding anything up...I have told him about a month ago that I need his revised final plans and he acted like he did not know what I was talking about. But he said that he will get something to me and have not heard from him ad of yet. He is looking for a building permit and a pre-construction meeting but he cannot get that until his conditions of approval are met and we get a final plan, and also get his performance guarantee in place.

I wanted to share this with you in case he comes and presses you.

Thanks.

Shukria

>>> Marge Schmuckal 06/21 10:37 AM >>>

Thank you, I got the copy of the contract. I just didn't want Greg to start yelling at me because we were holding something up.
Marge

>>> Shukria Wiar 6/21/2007 9:27:41 AM >>>

Hello Marge,

I will get you a copy of the agreement but we still do not have final plans for the project. I am waiting on that submittal.

Shukria

>>> Marge Schmuckal 06/21 9:18 AM >>>

Can I get a copy of the contract and a copy of the stamped approved site plan so I can do my zoning thing on it to pass it on to fire & building for reviews?
Thanks,
Marge

>>> Barbara Barhydt 6/21/2007 8:13:04 AM >>>

Penny forwarded this to Jeanie but I know she is on vacation. I did not know who was the correct person to receive this.

Barbara

>>> Penny Littell 06/20 5:48 PM >>>

feel free to share this with the Inspections department. I have cc'd Barbarab Barhydt and Jeanie Bourke on this email.

>>> "Gary D. Vogel" <gvogel@lambertcoffin.com> 6/20/2007 5:37:39 PM >>>

Thanks Penny for addressing this while you were on vacation. Greatly appreciated. I promise I will not bug you further until you return!

We will likely share this email with the inspections department so that they are aware that these are not requirements that are needed before a preconstruction meeting can be held or before the building permits are issued.

Gary D. Vogel
Lambert Coffin
477 Congress Street
P.O. Box 15215
Portland, Maine 04112-5215
(207) 874-4000 p (207) 874-4040 f
gvoegel@lambertcoffin.com
www.lambertcoffin.com

-----Original Message-----

From: Penny Littell [<mailto:PL@portlandmaine.gov>]
Sent: Wednesday, June 20, 2007 4:22 PM
To: Gary D. Vogel
Subject: Re: Sheridan Street, LLC

Greg: Please consider this email confirmation that the Condo Docs and the access license in favor of the City need not be submitted to me until a Certificate of Occupancy is sought. Upon my return from vacation we can discuss the terms of the license. Good luck with your closing.

>>> "Gary D. Vogel" <gvoegel@lambertcoffin.com> 6/20/2007 2:11:49 PM
>>>

Penny: Last week, in addition to contacting you about the language in the conditional rezoning order, I wrote to ask you to confirm in writing, our prior discussion that the requirement of Corp. Counsel review of the Condo documents was a condition for Certificate of Occupancy issuance and not a condition for issuance of the building permit. I also asked for a form of License agreement to satisfy the license agreement condition in the Planning Board Approval.

We are trying to close on Friday and get the building permits and I need to address these conditions of approval with the bank.

Can you please confirm that the conditions for Corporation Counsel review and approval of the Condo Documents, and for the grant of a license to the City to access city land to the rear of the parcel are both conditions that can be satisfied for Certificate of Occupancy approval, and not for building permit issuance?

If you could do so at this time, that would be very helpful and we can then deal with these issues when you return without delaying our closing.

Gary D. Vogel

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gvoegel@lambertcoffin.com
www.lambertcoffin.com <<http://www.lambertcoffin.com/>>

From: Marge Schmuckal
To: Ann Machado; Barbara Barhydt; Lannie Dobson
Date: 6/21/2007 9:19:14 AM
Subject: Fwd: RE: Sheridan Street, LLC

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SHERIDAN STREET, LLC
477 Congress Street, 5th Floor
Portland, Maine 04101-3427
207 523 3410 Office
207 773 8597 Fax

12/27/06

December 20, 2006

Mr. Alexander Jaegerman
Planning Division Director, City of Portland
and City of Portland Planning Board Members
389 Congress Street
Portland, Maine 04101

**RE: Sheridan Heights Condominiums
135 Sheridan Street, Portland, Maine**

Dear Mr. Jaegerman and Board Members:

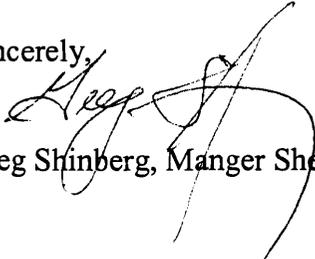
We are pleased to present the Sheridan Heights project for your review for the Planning Board Meeting and Public Hearing scheduled for January 9, 2007.

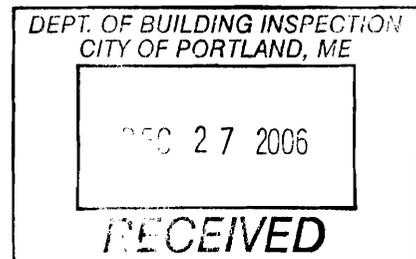
We have met several times with the City Staff and neighbors to respond to concerns and ideas that have improved the project since starting the design and approval process in the Spring of 2005.

No significant changes have been made to the project since the last Planning Board Workshop held on November 28, 2006.

Enclosed are materials requested by the Staff and members of the Planning Board at that Workshop and the Neighborhood Meeting Certification with attachments.

Sincerely,


Greg Shinberg, Manger Sheridan Street, LLC



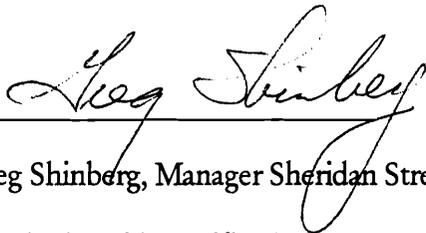
SHERIDAN STREET, LLC
477 Congress Street, 5th Floor
Portland, Maine 04101-3427
207 523 3410 Office
207 773 8597 Fax

Neighborhood Meeting Certification

I, Greg Shinberg, Manager for Sheridan Street, LLC hereby certify that a neighborhood meeting was held on December 07, 2006 at the Cummings Community Center, 2nd floor, 134 Congress Street, Portland, Maine at 6:30 to 8 PM.

I also hereby certify that on November 29, 2006 invitations were mailed to all addresses on the mailing list provided by the Planning Division, including property owners within 500 feet of the proposed development and the residents on the "interested parties" list.

Signed



Greg Shinberg, Manager Sheridan Street, LLC



Date

Attached to this certification are:

1. Copy of the invitation sent
2. Sign-in sheet
3. Meeting minutes

SHERIDAN STREET, LLC

477 Congress Street, 5th Floor

Portland, Maine 04101-3427

207 523 3410 Office

207 773 8597 Fax

November 29, 2006

Dear Neighbor:

Please join us for a neighborhood meeting to discuss our plans for a 21 Unit Condominium Project located at 135 Sheridan Street, in Portland, Maine.

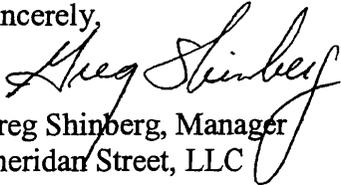
Meeting Location: Cummings Community Center, 2nd Floor, 134 Congress Street, Portland, Maine

Meeting Date: Thursday, December 7th, 2006

Meeting Time: 6:30 to 8 PM

If you have any questions, please call Greg Shinberg at 207 523 3410

Sincerely,



Greg Shinberg, Manager
Sheridan Street, LLC

Note:

Under Section 14-32 (C) of the City of Code Ordinances, an applicant for a major development, subdivision of over five lots/units, or zone change is required to hold a neighborhood meeting at least seven days prior to the Planning Board public hearing on the proposal.

~~DECEMBER~~ 7, 2006

SHERIDAN HEIGHTS
NEIGHBORHOOD MEETING

NAME

ADDRESS

Pamela Jack

26 North Street

DEVON FLATTE

26 NORTH STREET

James Goss

125 Sheridan

SHERIDAN STREET, LLC
477 Congress Street, 5th Floor
Portland, Maine 04101-3427
207 523 3410 Office
207 773 8597 Fax

To: Alex Jaegerman, Shukria Wiar and Portland Planning Board Members
From: Greg Shinberg, Manager Sheridan Street, LLC
Date: December 20, 2006
RE: Minutes from the Neighborhood Meeting held on December 07, 2006 for the Sheridan Heights project located 135 Sheridan Street

The following is a record of the Neighborhood Meeting held from 6:30 to 8 PM at the Cummings Community Center on December 07, 2006.

Present on behalf of Sheridan Street, LLC:

Greg Shinberg, Manager, Sheridan Street, LLC (GS)
Richard Lo, Architect TFH Architects (RL)

The following neighbors were present:

Pamela Jack 26 North Street, Portland ME (PJ)
Devon Platte 26 North Street, Portland ME (DP)
Jane Glass 125 Sheridan Street, Portland ME (JG)

The meeting started at 6:45 PM to allow for some late arrivals.

GS introduced Richard Lo from TFH Architects then presented the a review of the project to the neighbors.

GS explained that the penthouse units were removed and that the building is now shorter than the last height that was 44 feet tall. GS explained that it is the intent of Sheridan Street LLC to continue to work with the neighbors to build a project that is welcome in the neighborhood.

GS presented to the neighbors an approximate schedule for the next steps – the Public Hearing scheduled for January 9, 2007.

RL presented a review of the site plan and architectural plans and elevations.

GS noted that he has met with JG to discuss plans for landscaping and fencing that Sheridan Street will provide to JG at no cost.

JG acknowledged that this was true.

RL stated that the building is now shorter than the new 8 unit condominium located next door to 121 Sheridan Street.

RL explained how the 45' height limit for structure is calculated.

RL reviewed the rooftop plan – mechanical equipment, elevator override, etc.

GS noted that the building will now have less square feet built (no penthouse units – no rooftop decks etc).

JG expressed a concern with how the project will be built without affecting her property. JG asked if there will be a construction fence.

GS stated that temporary erosion control, fencing and other methods and practices will be in place to assure safety and protect the neighboring properties.

RL reviewed the proposed exterior materials for the building.

RL noted that building will “read” as two structures – one close to the road and one that sets behind the JG property.

GS noted that a condominium association will be created that it will likely hire a professional property management company to address such items as plowing, maintenance of the landscaping, trash removal etc.

RL presented a colored elevation for discussion.

GS noted that the colors are a starting point and asked for input from the neighbors.

JG liked the gray and blue colors.

JG wanted to “flip” the colors – darker colors where the lighter colors are shown etc.

JG thought that a darker color for the back part is preferred.

PJ stated that she thought the building looked nice and that she is glad that the height has been lowered.

DP agreed with PJ.

DP likes the colors presented.

GS stated that the intent is to utilize the characteristics of the neighborhood in the design and color selections – noting the triple deckers on the street etc.

PJ asked when the anticipated start of construction is.

GS stated that with based upon approval on January 9, 2007, construction is scheduled to commence in March, 2007 and completion is anticipated in 10 to 12 months.

GS discussed the plans for the exterior lighting.

Meeting adjourned at 8:05.



Central Maine Power

December 21, 2006

Mr. Greg Shinberg
477 Congress Street
Fifth Floor
Portland, Maine 04101

RE: Sheridan Heights, Portland

Dear Mr. Shinberg,

This letter is to advise you Central Maine Power has sufficient three phase electrical capacity in the area to serve the subject project.

Once the project is accepted by the City of Portland, the owner will need to call our Customer Service Center at 1-800-565-3181 to sign up for a New Account and a Work Request Order so we may start a cost estimate.

To complete the cost estimate I will need the information of what voltage is required, the size of the main disconnect and the kilowatt loads required for the new facility. This information should be provided to me from the electrician or electrical engineering firm.

If you have any questions please feel free to call me at 828-2882.

Sincerely,

Paul DuPerre
Technical Advisor

An equal opportunity employer

162 Canco Road | Portland, Maine 04103

tel (800) 750-4000

www.cmpco.com

An Energy East Company



12/20/2006

Sheridan Street LLC
Greg Shinberg
477 Congress Street Floor 5
Portland, ME 04101

Re: 135 Sheridan Street Portland ME

Dear Mr. Greg Shinberg,

According to our records it appears that natural gas is available for the location above.

In order to confirm availability we request that you provide us with a utility plot plan along with length of service from the street to the project location.

Thank you for your interest in using natural gas for your energy needs.

Sincerely,



Katie Hills Grove
New Business Representative



October 26, 2006

Mr. Greg Shinberg
135 Sheridan Street
Portland, ME 04103

Dear Mr. Shinberg,

It was a pleasure speaking with you today. As per your request, this letter confirms that we take all Portland commercial trash to Regional Waste Systems. We look forward to working with you on your upcoming project.

We at Waste Management are here to help you with your business by providing the best possible service. Please let us know if we can be of further assistance to you.

Yours truly,

A handwritten signature in black ink, appearing to read 'Rebecca J. Halla'. The signature is written in a cursive, flowing style.

Rebecca J Halla
Outside Sales Representative
Waste Management
O: 207-797-2406 x119
C: 603-235-8100
rhalla@wm.com

LOCATION	# OF UNITS	LOT SIZE (Square Feet)	EXCEEDS R6 DENSITY
57 Romasco Lane	1	1928	X
55 Romasco Lane	1	1550	X
134 Sheridan Lane	2	6153	
51 Romasco Lane	1	1375	X
122 Sheridan St	Parking Lot	26,816	
120 Sheridan St	2	1472	X
116 Sheridan St	1	1862	X
112 Sheridan St	2	1783	X
110 Sheridan St	1	2693	X
106 Sheridan St	3	2598	X
19 Romasco Lane	1	1570	X
100 Sheridan St	2	2015	X
19 Romasco Lane	Vacant Lot	1903	X
15 Romasco Lane	Vacant Lot	2000	X
13 Romasco Lane	3	1893	X
11 Romasco Lane	1	1938	X
92 Sheridan St	1	3778	X
9 Romasco Lane	2	1867	X
5 Romasco Lane	Vacant Lot	1931	X
73 Cumberland Ave	2	2713	X
88 Sheridan St	2	2050	X
75 Cumberland Ave	1	1348	X
79 Cumberland Ave	2	1227	X
22 Romasco Lane	1	1630	X
20 Romasco Lane	Vacant Lot	1624	X
16 Romasco Lane	Vacant Lot	1636	X
12 Romasco Lane	2	1729	X
43 Washington Ave	Commercial	5985	
10 Romasco Lane	2	2080	X
6 Romasco Lane	2	1096	X
97 Cumberland Ave	1	5393	
87 Cumberland Ave	3	3955	X
85 Cumberland Ave	3	1985	X
4 Romasco Lane	1	475	X
30 Washington St	Commercial	17462	
93 Cumberland Ave	2	2230	X
93 Cumberland Ave	3	2448	X
43 Cumberland Ave	3	3980	X
39 Cumberland Ave	4	5640	
35 Cumberland Ave	3	4000	X
18 North St	3	4161	X
1 Sumner Court	6	4888	X

LOCATION	# OF UNITS	LOT SIZE (Square Feet)	EXCEEDS R6 DENSITY
57 Romasco Lane	1	1928	X
55 Romasco Lane	1	1550	X
134 Sheridan Lane	2	6153	
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116 Sheridan St	1	1862	X
112 Sheridan St	2	1783	X
110 Sheridan St	1	2693	X
106 Sheridan St	3	2598	X
19 Romasco Lane	1	1570	X
100 Sheridan St	2	2015	X
19 Romasco Lane	Vacant Lot	1903	X
15 Romasco Lane	Vacant Lot	2000	X
13 Romasco Lane	3	1893	X
11 Romasco Lane	1	1938	X
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79 Cumberland Ave	2	1227	X
22 Romasco Lane	1	1630	X
20 Romasco Lane	Vacant Lot	1624	X
16 Romasco Lane	Vacant Lot	1636	X
12 Romasco Lane	2	1729	X
43 Washington Ave	Commercial	5985	
10 Romasco Lane	2	2080	X
6 Romasco Lane	2	1096	X
97 Cumberland Ave	1	5393	
87 Cumberland Ave	3	3955	X
85 Cumberland Ave	3	1985	X
4 Romasco Lane	1	475	X
30 Washington St	Commercial	17462	
93 Cumberland Ave	2	2230	X
93 Cumberland Ave	3	2448	X
43 Cumberland Ave	3	3980	X
39 Cumberland Ave	4	5640	
35 Cumberland Ave	3	4000	X
18 North St	3	4161	X
1 Sumner Court	6	4888	X

LOCATION	# OF UNITS	LOT SIZE (Square Feet)	EXCEEDS R6 DENSITY
80 North St	9	8599	X
84 North St	9	13200	
86 – 90 North St	4	14281	
96 North St	2	7882	
100 North St	1	8235	
104 North St	Vacant Lot	3539	X
106 North St	2	2954	X
110 North St	2	3520	X
72 Walnut St	Vacant Lot	3577	X
Portland Water District	Commercial	10921	
94 Walnut St	1	11242	
156 Sheridan St	Commercial	9856	
152 Sheridan St	Commercial	11930	
146 Sheridan St	Vacant Lot	463	X
7 Marion St	1	2030	X
17 Marion St	1	2656	X
19 Marion St	2	2263	X
58 North St	17	19860	
125 Sheridan St	1	5325	
54 North St	4	4950	X
48 North St	4	3600	X
44 North St	3	3600	X
42 North St	2	3200	X
38 North St	2	3200	X
34 North St	2	3200	X
32 North St	3	3200	X
109 Sheridan St	3	3000	X
106 Sheridan St	3	4496	X
103 Sheridan St	3	4859	
99 Sheridan St	2	4215	X
95 Sheridan St	1	4083	X
91 Sheridan St	1	724	X
89 Sheridan St	2	1554	X
57 Cumberland Ave	5	4992	X
53 Cumberland Ave	Vacant Lot	4143	X
Sumner Court	Vacant Lot	8122	
49 Cumberland Ave	2	2660	X
47 Cumberland Ave	1	2515	X
45 Cumberland Ave	1	2454	X
59 Washington Ave	Commercial	126,757	
10 Marion St	1	2580	X
142 Sheridan St	2	4295	X



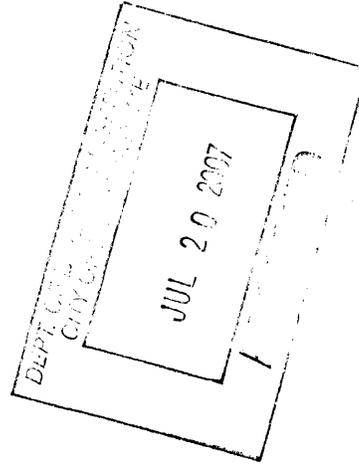
PORTLAND MAINE

Planning Division
Jean Fraser, Planner

7.17.07

Re: 910 Riverside Street
Site Plan Review for
Universal Waste Bldg
(part of SP Appl. # 2005-0246-
Cond # 3 related).

I confirm that the Site Plan
condition relating to this
building (review + approval of
proposed building + its lighting)
have been met. The attached
revisions should be referenced in your
An e-mail and UI entry
also confirm. Jean Fraser



RECEIVED

JUL 17 2007

City of Portland
Planning Division

846 Main St., Suite 3
Westbrook, Maine 04092
Telephone 207-591-7000
Facsimile 207-591-7329
info@stgermain.com

July 12, 2007

Ms. Jean Fraser
Planner
Planning Division
4th floor City Hall
389 Congress Street
Portland, ME 04101

RE: City of Portland, Maine
Supplemental Submission, Site Plan Application
Riverside Transfer Station
Portland, Maine
St.Germain File No.: 2844.1



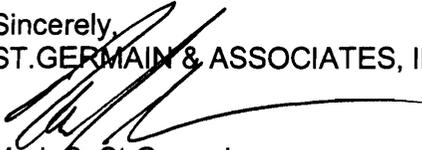
Dear Ms. Fraser:

St.Germain & Associates, Inc., on behalf of City of Portland Department of Public Works, is pleased to provide the following supplemental submission. The purpose of this submission is to indicate that the lighting installed on the universal waste building at the Riverside Transfer Station will be cut-off lighting in accordance with the city of Portland's Technical Standards and Guidelines Section XV: Site Lighting Standards.

The elevations submitted with the General Building Permit application (in May 2007) showed lighting fixtures that were not labeled as cut-off fixtures. Please let this letter and attached documentation serve as an update of that application. No other changes to the elevations are implied by the attached drawings.

Should you have any questions during the review of the enclosed materials, please contact Troy Moon at (207) 874-8467 or me at (207) 591-7000.

Sincerely,
ST.GERMAIN & ASSOCIATES, INC.


Mark S. St. Germain
Project Manager

enclosures

cc: Jeannie Bourke, City of Portland
Troy Moon, City of Portland
Jim Hiltner, CPRC Corp.

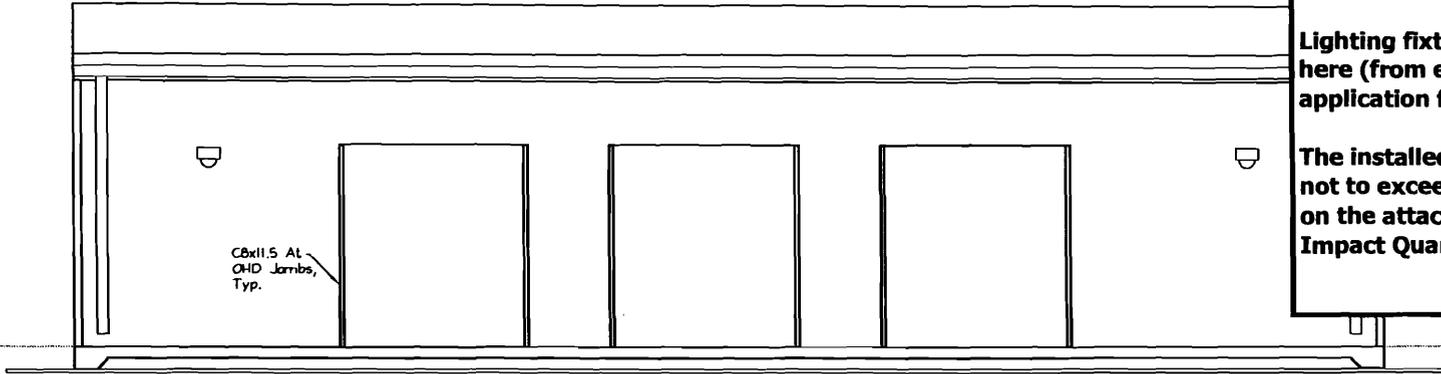
**CITY OF PORTLAND
APPROVED SITE PLAN
Subject to Dept. Conditions
Date of Approval: 02-07-06**

#2005-0246 with Cond 3 met
based on this
amendment as approved
7.17.07 M.

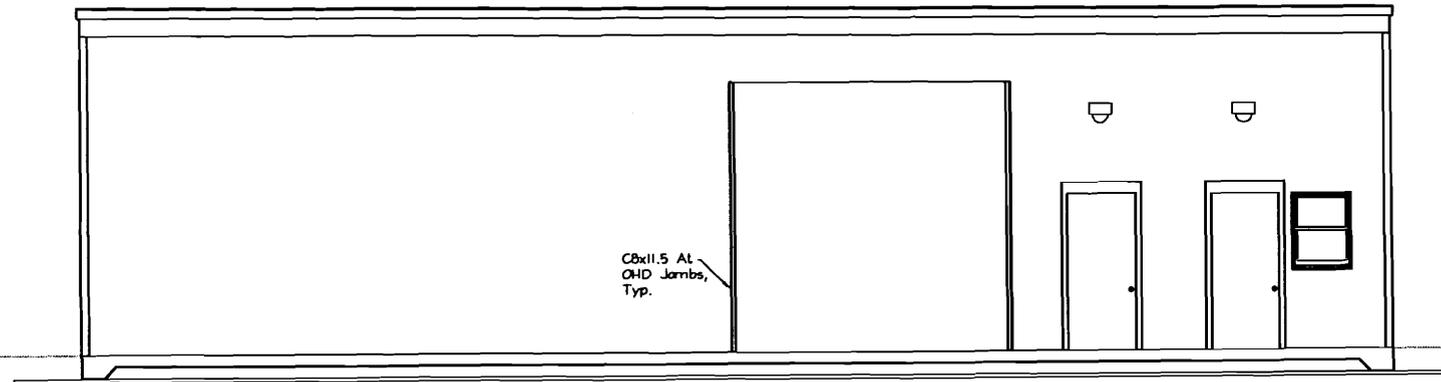
**Supplemental Submission
July 12, 2007**

Lighting fixtures will differ from those shown here (from elevations submitted with the application for building permit in May 2007).

The installed fixtures will be cut-off fixtures, not to exceed 250 watts such as those shown on the attached specification for Lumark IP Impact Quarter Sphere fixtures.



SOLID WASTE BUILDING NORTH ELEVATION
Scale: 1/4" = 1'-0"



SOLID WASTE BUILDING SOUTH ELEVATION
Scale: 1/4" = 1'-0"

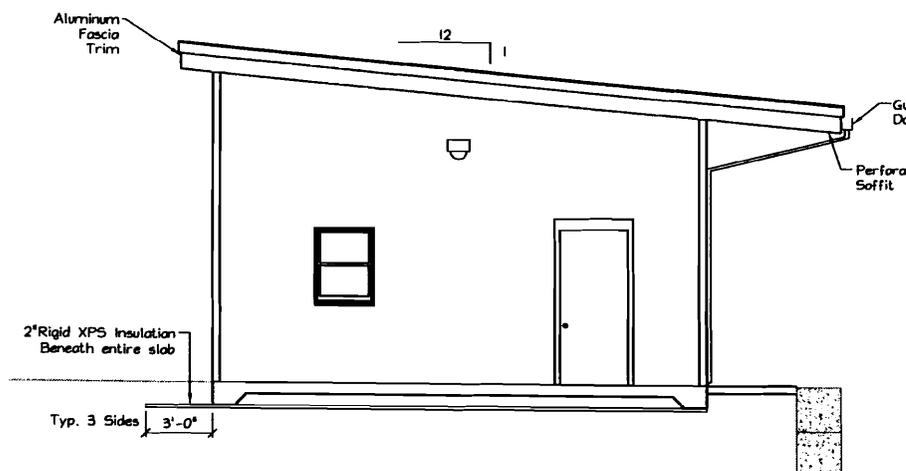
MacLeod Structural Engineers, P.A. 404 Main Street Gorham, Maine 04038 phone: (207) 839-0980 fax: (207) 839-0982 Copyright © 2006 MacLeod Structural Engineers, P.A. Reproduction of This Document Without The Written Consent of MacLeod Structural Engineers, P.A. is Prohibited.	UNIVERSAL WASTE BUILDING SOLID WASTE TRANSFER	PORTLAND SHEET TITLE:	NORTH - SOUTH ELEVATIONS THIS DRAWING IS ISSUED: <input checked="" type="checkbox"/> Submitted For Permit	DATE: 3/14/2007 SCALE: AS NOTED	PROJ: DWG:
					

**CITY OF PORTLAND
APPROVED SITE PLAN**

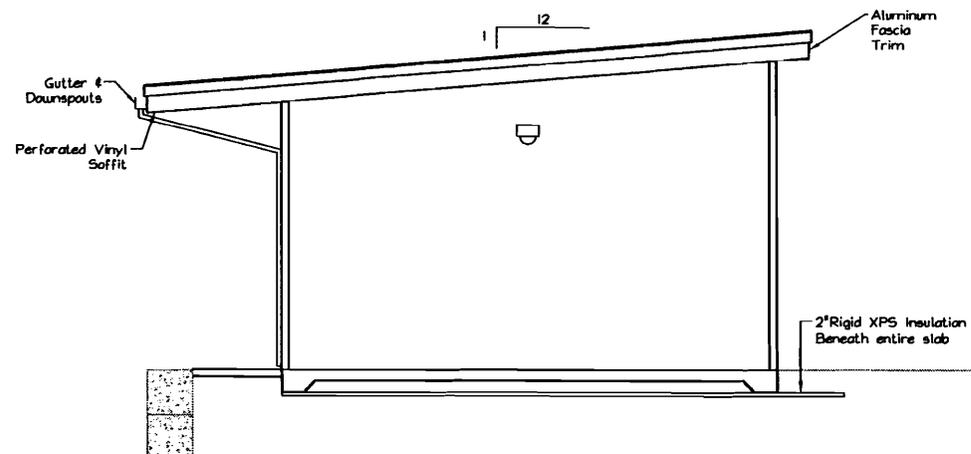
Subject to Dept. Conditions

Date of Approval: 02-07-06 # 2005-0246

with cond. # 3 being met based on this amendment which was approved 7.17.07



SOLID WASTE BUILDING EAST ELEVATION
SCALE: 1/4" = 1'-0"



SOLID WASTE BUILDING WEST ELEVATION
SCALE: 1/4" = 1'-0"

**Supplemental Submission
July 12, 2007**

Lighting fixtures will differ from those shown here (from elevations submitted with the application for building permit in May 2007).

The installed fixtures will be cut-off fixtures, not to exceed 250 watts such as those shown on the attached specification for Lumark IP Impact Quarter Sphere fixtures.

UNIVERSAL WASTE BUILDING SOLID WASTE TRANSFER PORTLAND	
SHEET TITLE: EAST - WEST ELEVATIONS THIS DRAWING IS ISSUED: <input checked="" type="checkbox"/> Submitted For Permit	DATE: 3/14/2007 SCALE: AS NOTED
DRAWN BY: BWM/RAW CHECKED BY: BWM	PROJ. NO.: DWG. NO.:
MacLeod Structural Engineers, P.A. 404 Main Street Gorham, Maine 04038 phone: (207) 839-0980 fax: (207) 839-0982	
Copyright © 2006 MacLeod Structural Engineers, P.A. Reproduction of This Document Without The Written Consent of MacLeod Structural Engineers, P.A. is Prohibited.	

**CITY OF PORTLAND
APPROVED SITE PLAN**

Subject to Dept. Conditions
 Date of Approval: 02-07-06 #2005-0246
 with Cord # 3 bung net based
 on this amendment which was approved
 7.17.07

TYPE:

CATALOG #:

LUMARK®

DESCRIPTION

The **IMPACT** Quarter Sphere cutoff wall luminaire has a traditional style of spherical form with geometrical symmetry and balance that gives a blended form to complement site design. U.L. listed and CSA Certified for wet locations in down mounting applications and damp location in up mounted applications.

APPLICATION

The **IMPACT's** rugged die-cast construction, full cutoff classified optics is perfect for light restricted zones surrounding schools, office complexes, apartments, and recreational facilities providing facade and security lighting needs.

SPECIFICATION FEATURES

A...Housing

The housing is a two-piece design of die-cast aluminum for precise control of tolerances and repeatability.

B...Mounting

Gasketed and zinc plated rigid steel mounting attachment fits directly to 4" J-Box or wall with "Hook-N-Lock" mechanism for quick installation. Secured with two (2) captive corrosion resistant black oxide coated allen head set screws concealed but accessible from bottom.

C...Optical Modules

All optical modules utilizes high performance 95% reflective sheet. Strong Type II optical module is standard.

D...Ballast

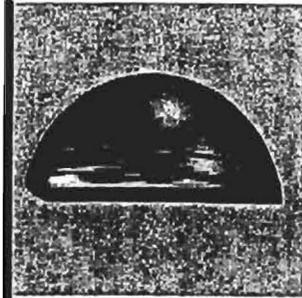
HID luminaires supplied with high power factor ballast with Class H insulation. Minimum starting temperatures are -40°C (-40°F) for HPS and -30°C (-20°F) for MH. Compact Fluorescent luminaires feature program start, high efficient multi-voltage 50/60Hz ballast with -18°C (0°F) minimum starting.

E...Door

Die-cast door mounted with, 1/8" heat- and impact-resistant clear tempered glass lens, with internal plated steel clips and sealed with EPDM gasketing. Hinged door secured in place via two (2) captive fasteners.

F...Finish

Durable polyester powder coat finish. Standard color is bronze. Optional white, black and silver colors available. Other finish colors available. Consult your Cooper Lighting Representative concerning special color requirements.



IP IMPACT QUARTER SPHERE

50-175W
High Pressure Sodium
Metal Halide

26-52W
Compact Fluorescent

WALL MOUNT
LUMINAIRE

IMPACT™

Cutoff Wall Luminaires

TECHNICAL DATA

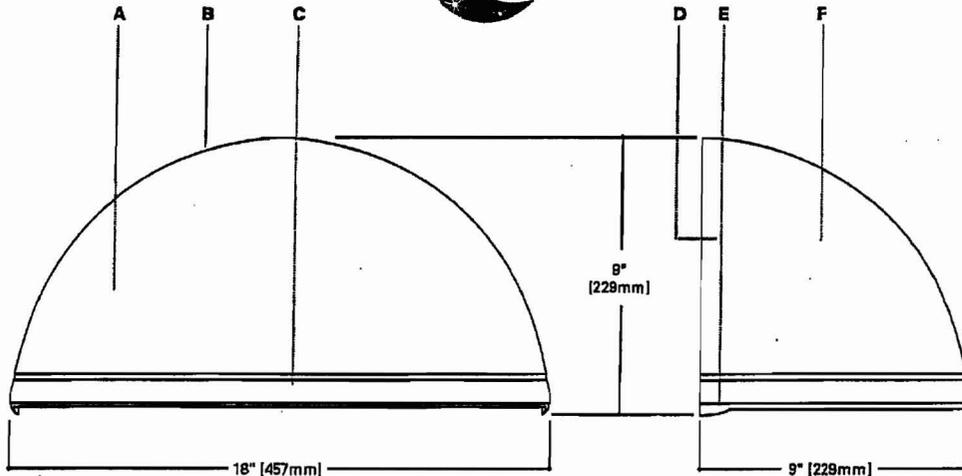
25°C Maximum Ambient Temperature
External Supply Wiring 90°C Minimum
Down Mounted—Wet Location
Up Mounted—Damp Location

IES FILES

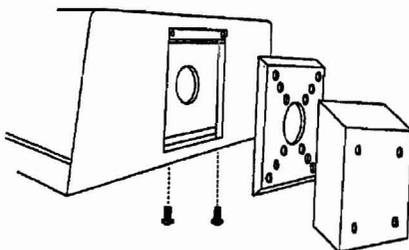
Metal Halide
175W (MHI_17)
High Pressure Sodium
150W (HPI_15)
Compact Fluorescent
26W (PLP26)
32W (PLP32)
42W (PLP42)
52W (PLP52)

ENERGY DATA

High Reactance Ballast Input Watts
60W HPS HPF (66 Watts)
60W MH HPF (72 Watts)
70W HPS HPF (81 Watts)
70W MH HPF (90 Watts)
100W HPS HPF (130 Watts)
100W MH HPF (128 Watts)
150W HPS HPF (180 Watts)
150W MH HPF (185 Watts)
CWA Ballast Input Watts
175W MH HPF (210 Watts)
Electronic Ballast Input Watts
26W PL HPF (29 Watts)
32W PL HPF (36 Watts)
42W PL HPF (46 Watts)
52W PL HPF (66 Watts)



HOOK-N-LOCK MOUNTING (Mounting attachment included. J-Box not included.)



COOPER LIGHTING

**CITY OF PORTLAND
APPROVED SITE PLAN**
Subject to Dept. Conditions
Date of Approval: 02-07-06

#2005-0246 with cond # 3
being met based on this
amendment which was
removed 7.17.07

ADH021845



February 7, 2006

Troy Moon
City of Portland
Department of Public Works
55 Portland Street
Portland ME 04101

RE: Riverside Transfer Station, 910 Riverside Street, Portland

CBL: 357A1; 358A1; 359A1; 360A1; 361A2; 362A1; 363A1; 364A1; 365A1; 366A1; 367A1

Dear Mr. Moon,

On February 7, 2006 the Portland Planning Authority approved updates and improvements to increase the operational efficiency of the existing Transfer Station located on Riverside Street, comprising the creation of a new residential drop-off area with separate access, a new exit onto Riverside Street for commercial traffic, a new perimeter access road and fire access lanes and a new fire training area for the City of Portland Fire Department, as shown on the approved plans with the following conditions:

- A. That the applicant will plant at least 20 white pines (or other species as recommended by the City of Portland Arborist) along the inside of the perimeter fence along Riverside Street, between the existing driveway (gated off) at the southwest of the site and the adjacent property (outside the fence) and to fill in gaps in the row of pines along Riverside Street on the outside of the perimeter fence, the exact locations to be assessed and agreed with the City of Portland Arborist. Such planting to take place before November 1, 2006.
- B. That the relocated trail will be constructed around the perimeter of the new fence, connecting to both ends of the existing trail, with the applicant undertaking any clearance required and constructing the trail with erosion control mix to provide a stable walking surface. Such works to be completed by November 1, 2006.
- C. That the details of the proposed new Universal Waste and Residential Gate House buildings, including lighting, be submitted for approval prior to issuance of a building permit for the structure(s).

The approval is based on the submitted site plan. If you need to make any modifications to the approved site plan, you must submit a revised site plan for staff review and approval.

Please note the following provisions and requirements for all site plan approvals:

1. Where submission drawings are available in electronic form, the applicant shall submit any available electronic Autocad files (*.dwg), release 14 or greater, with seven (7) sets of the final plans.
2. A performance guarantee covering the site improvements as well as an inspection fee payment of 2.0% of the guarantee amount and 7 final sets of plans must be submitted to and approved by the Planning Division and Public Works prior to the release of the building permit. If you need to make any modifications to the approved site plan, you must submit a revised site plan for staff review and approval.
3. The site plan approval will be deemed to have expired unless work in the development has commenced within one (1) year of the approval or within a time period agreed upon in writing by the City and the applicant. Requests to extend approvals must be received before the expiration date.
4. A defect guarantee, consisting of 10% of the performance guarantee, must be posted before the performance guarantee will be released.
5. Prior to construction, a pre-construction meeting shall be held at the project site with the contractor, development review coordinator, Public Work's representative and owner to review the construction schedule and critical aspects of the site work. At that time, the site/building contractor shall provide three (3) copies of a detailed construction schedule to the attending City representatives. It shall be the contractor's responsibility to arrange a mutually agreeable time for the pre-construction meeting.
6. If work will occur within the public right-of-way such as utilities, curb, sidewalk and driveway construction, a street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)

The Development Review Coordinator must be notified five (5) working days prior to date required for final site inspection. The Development Review Coordinator can be reached at the Planning Division at 874-8632. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

If there are any questions, please contact Jean Fraser, Planner, at 874-8728 or jf@portlandmaine.gov.

Sincerely,

Alexander Jaegerman
Planning Division Director

cc: Lee D. Urban, Planning and Development Department Director
Alexander Jaegerman, Planning Division Director
Sarah Hopkins, Development Review Services Manager
Jean Fraser, Planner
Jay Reynolds, Development Review Coordinator

Marge Schmuckal, Zoning Administrator Inspections
Michael Bobinsky, Public Works Director
Traffic Division
Eric Labelle, City Engineer
Bill Scott, Public Works
Jeff Tarling, City Arborist
Penny Littell, Associate Corporation Counsel
Fire Prevention
Assessor's Office
Approval Letter File

cc. Andrew D. Johnston, PE, CEng, CEnv, MCIWEM
Senior Civil Engineer
St. Germain & Associates Inc.
846 Main Street, Suite 3
Westbrook, Maine 04092

Taste of Lace CD1

Autumn Leaves
Girl from Epanima
In My Life
Love Me Tender
Since I fell for You
Bewitched
Don't Get Around Much Anymore
It Had To Be You
Bring Back That Lovin Feelin
Misty
I want you Just The Way You Are
Someone to Watch Over Me
Lay Down Sally
Rainy Night In Georgia
Birds and The Bees
Feeling All Right
I'm In The Mood For Love
Stop What's That Sound

SHERIDAN STREET, LLC
477 Congress Street, 5th Floor
Portland, Maine 04101-3427
207 523 3410 Office
207 773 8597 Fax

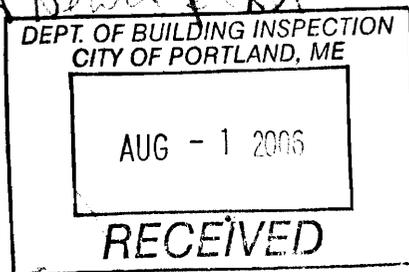
Scott
JFH Arch.
775-6141

BK-002

July 24, 2006

Mr. Alexander Jaegerman
Planning Division Director, City of Portland
and City of Portland Planning Board Members
389 Congress Street
Portland, Maine 04101

9/6/06 After site plan
AP - sh. ...
she WSA Newer plan



RE: Sheridan Heights Condominiums
135 Sheridan Street, Portland, Maine

Dear Mr. Jaegerman and Board Members:

We are pleased to present the Sheridan Heights project for your review and advisory vote to the City Council for the Conditional Zone. Since the last Planning Board meeting, we have worked with City Staff and listened to concerns of the neighbors to improve the plans and concept for the project.

The units vary in size and shape and projected sales prices. The building will create increased opportunities for compact in-city living for owners representing a variety of income levels and household types.

Sheridan Heights will provide much needed housing on the Portland peninsula in an urban area that is within walking distance of downtown, places of worship, places of work, stores, public transportation, schools, and other community facilities.

Careful consideration has been given to designing a building that is attractive, functional and energy efficient that utilizes authentic materials and one that compliments the existing single and multi-family residences as well as the larger structures close by.

We have attached a list of properties nearby compiled from information available at the City Assessors office that includes the location, number of units, lot size and whether that property meets the R-6 Density. Also we have included an aerial map showing the location and relative footprint of Sheridan Heights and the surrounding properties.

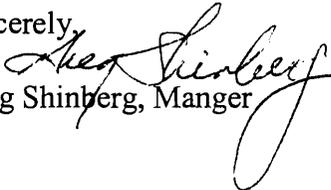
But for the R-6 Infill part of the Zoning Ordinance, over 90 % of the properties listed would not meet the requirements of the R-6 Zone.

Some of the key items to note are as follows:

1. The total number of units between the two parcels will be a maximum of 22; 21 units located at 135 Sheridan Street and the house located at 121 Sheridan Street will remain a single family residence;
2. 121 Sheridan Street will remain a single family house with three surface parking spaces;
3. Any future alterations to 121 Sheridan Street will meet the criteria of the current R-6 Zone;
4. 135 Sheridan Street will have 17 covered (inside the building) and 12 surface parking spaces for a total of 29 spaces for the 21 residences (a ratio of 1.38 parking spaces per unit);
5. 135 Sheridan Street will be a maximum of 45 feet tall as defined in the Zoning Ordinance;
6. A future easement across the land located at 135 Sheridan Street for a walking path will be granted to the City and Portland Trails for pedestrian access to the existing trails on North Street;
7. The payment of a monetary contribution to the City of Portland in the amount of \$23,000 (Twenty Three Thousand Dollars) to be allocated as follows: \$5,000 (Five Thousand Dollars) toward the implementation of the improvements at the Washington Avenue / Walnut Street intersection; \$18,000 (Eighteen Thousand Dollars) to be placed in an established Parks and Recreation fund to contribute to the cost of providing improvements such as trails, community gardens, park improvement, etc in the vicinity of the development;
8. The sales price of two of the twenty one units will not exceed a total cost of \$200,000 (Two Hundred Thousand Dollars).
9. The installation of a one inch water line with shut off valves to the two adjacent City owned parcels for the future community gardens that may be located next door; One parcel abuts the north property line on Sheridan Street; the other parcel abuts the south property line – this parcel also abuts the rear property line of the new eight unit condominium located at 117 Sheridan Street;

We look forward to working together to assure that Sheridan Heights will be a welcome addition to the community

Sincerely,


Greg Shinberg, Manger

From: Marge Schmuckal
To: Shukria Wiar
Date: 9/6/2006 10:02:58 AM
Subject: Re: Sheridan Heights

I think we already know that they are not meeting the R-6 zone requirements. That's why it is a conditional contract zone. I previously gave Alex a list of zoning requirements that were not being met. He needed it for the workshop. That information should be with the workshop "stuff". If you need it again, I can get that for you.

I am not available before 2:00 today. Do you want to set up another time for tomorrow?
Marge

>>> Shukria Wiar 9/6/2006 9:00:08 AM >>>
Good Morning.

Could we meet today to go over the Sheridan Heights project. Alex and I met yesterday regarding this application and he asked me to meet with you to finalize and see if they are meeting zoning requirements. I am available anytime before 2:00 PM.

Thank you.

Shukria

Greg Shimberg
Sheridan Street, LLC

Applicant: 119-121 Sheridan St
Address: 131-135 Sheridan St

Date: 8/3/06

C-B-L: 13-K-2:17

CHECK-LIST AGAINST ZONING ORDINANCE

Date - New Development

Zone Location - R-6

Didn't use scaled drawing

Contract zone request
Alex wanted me to review

Interior or corner lot -

Proposed Use/Work - to add 21 new dwelling units on a property that has a single family dwelling 22 D.U. total.

Sewage Disposal - City

Lot Street Frontage - 40' min - 58.70' = 59.91'

not meet ← Front Yard - 10' min or average - 5' shown - NO AVERAGE PROVIDED

not meet ← Rear Yard - 20' min - 16' 5" shown

not meet ← Side Yard - 12' min - ~~5' 6" shown~~ 3' shown on both sides
Showing 4 stairs
Projections - please note deck overhangs are over property line not shown on plot plan

Width of Lot - 50' min - 58.78' shown

Height - 45' MAX

45' MAX GIVEN (44' 6") DRAWINGS

Lot Area - 4500 sq ft

24,567.1 sq ft given

(NOT A SMALL LOT SUBDIVISION)

Lot Coverage/Impervious Surface - 46% MAX = 9,826.8 sq ft

not meet ← Area per Family - 1,000 sq ft for 1st 3 DU = 3,000
1,200 sq ft for each other DU = 22,800
25,800 sq ft

not meet ← Off-street Parking - 2 for each DU plus 1 for every 6 DU

Loading Bays - N/A

Site Plan - not yet

Shoreland Zoning/Stream Protection - N/A

Flood Plains - Panel 1A - Zone C

Size of D.U. ? - NO min required

MAX coverage
21 DU.
for the single family res
29 + 3 = 32 total pkg shown
existing DU = 1 pkg space
21 New x 2 = 42 pkg spaces
21 ÷ 6 = 3.5 = 4 pkg sp.
47 pkg sp req.

Statement of Structural Special Inspections

ADF

Project: *Sheridan Heights*
Location: *135 Sheridan Street; Portland Maine*
Owner: *Sheridan St. LLC*
Structural Design Professional in Responsible Charge: *David A. Price, PE*

This *Statement of Structural Special Inspections* is submitted as a condition for permit issuance in accordance with the Special Inspection and Structural Testing requirements of the Building Code. It includes a schedule of Structural Special Inspection services applicable to this project as well as the name of the Structural Special Inspection Coordinator and the identity of other approved agencies to be retained for conducting these inspections and tests. This *Statement of Structural Special Inspections* encompass the following disciplines:

- Structural
- Mechanical/Electrical/Plumbing
- Architectural
- Other: _____

The Structural Special Inspection Coordinator shall keep records of inspections and shall furnish inspection reports to the Building Official and the Registered Design Professional in Responsible Charge. Discovered discrepancies shall be brought to the immediate attention of the Contractor for correction. If such discrepancies are not corrected, the discrepancies shall be brought to the attention of the Building Official and the Registered Structural Design Professional in Responsible Charge. The Special Inspection program does not relieve the Contractor of his or her responsibilities.

Interim reports shall be submitted to the Building Official and the Registered Structural Design Professional in Responsible Charge.

A *Final Report of Structural Special Inspections* documenting completion of required inspections, testing and correction of discrepancies noted in the inspections shall be submitted prior to issuance of a Certificate of Use and Occupancy.

Job site safety and means and methods of construction are solely the responsibility of the Contractor.

Interim Report Frequency: *As requested by building official* or per attached schedule.

Prepared by:
David A. Price, PE

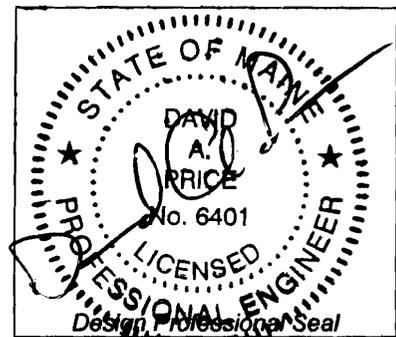
(type or print name)

D. A. Price

Signature

July 19, 2007

Date



Owner's Authorization:

[Signature]

Signature

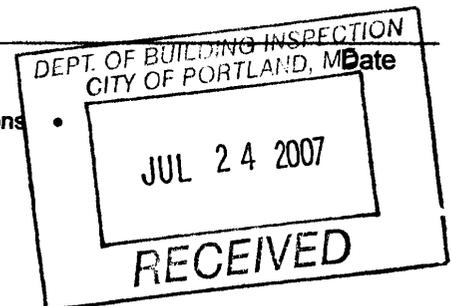
7/23/07

Date

Building Official's Acceptance:

Signature

• Statement of Structural Special Inspections •



BK2

Schedule of Structural Inspection and Testing Agencies

This Statement of Special Inspections / Quality Assurance Plan includes the following building systems:

- Soils and Foundations
- Cast-in-Place Concrete
- Precast Concrete
- Masonry
- Structural Steel
- Cold-Formed Steel Framing
- Spray Fire Resistant Material
- Wood Construction
- Exterior Insulation and Finish System
- Mechanical & Electrical Systems
- Architectural Systems
- Special Cases

Special Inspection Agencies	Firm	Address, Telephone, e-mail
1. Structural Special Inspector	<i>Price Structural Engineers, Inc.</i>	<i>75 Farms Edge Road North Yarmouth, ME 04097 Tel : (207) 846-0099</i>
2. Inspection / Testing	<i>S.W. Cole Engineering</i>	<i>286 Portland Road Gray, ME 04039 Tel : (207) 657.2866</i>
3. Inspection / Testing	<i>Quality Assurance Labs Inc.</i>	<i>80 Pleasant Ave. South Portland, ME 04106 Tel : (207) 799-8911</i>

Note: The inspectors and testing agencies shall be engaged by the Owner or the Owner's Agent, and not by the Contractor or Subcontractor whose work is to be inspected or tested. Any conflict of interest must be disclosed to the Building Official, prior to commencing work.

Quality Assurance Plan

Quality Assurance for Seismic Resistance

Seismic Design Category *C*
 Quality Assurance Plan Required (Y/N) *No*

Description of seismic force resisting system and designated seismic systems:

Structure is braced using light frame shear walls at wood framed areas and masonry / concrete shear walls at the parking garage area. Shear walls occur in each orthogonal direction and are located as indicated on Structural Framing Drawings S4.0 to S4.3. Loads are distributed to shear walls by the floor sheathing diaphragms at wood framed areas and by the composite slab at the garage area.

Inspections and tests for the seismic resisting components are as indicated within the attached schedule and summarized as follows:

- 1. Test compaction of foundation backfill adjacent to shearwalls.*
- 2. Visually inspect reinforcement and test concrete at concrete shear walls.*
- 3. Visually Inspect reinforcement and test masonry at masonry shear walls.*
- 4. Visually inspect shear studs, structural steel member sizes and bolting at garage floor system.*
- 5. Visually inspect floor sheathing fastener spacing and sheathing edge support at wood framed floor sheathing diaphragms.*
- 6. Visually inspect shear wall fastener spacing and sheathing edge support at wood framed shear walls.*
- 7. Visually inspect hold- down anchors at wood framed shear walls.*

Quality Assurance for Wind Requirements

Basic Wind Speed (3 second gust) *100 mph*
 Wind Exposure Category *C*
 Quality Assurance Plan Required (Y/N) *No*

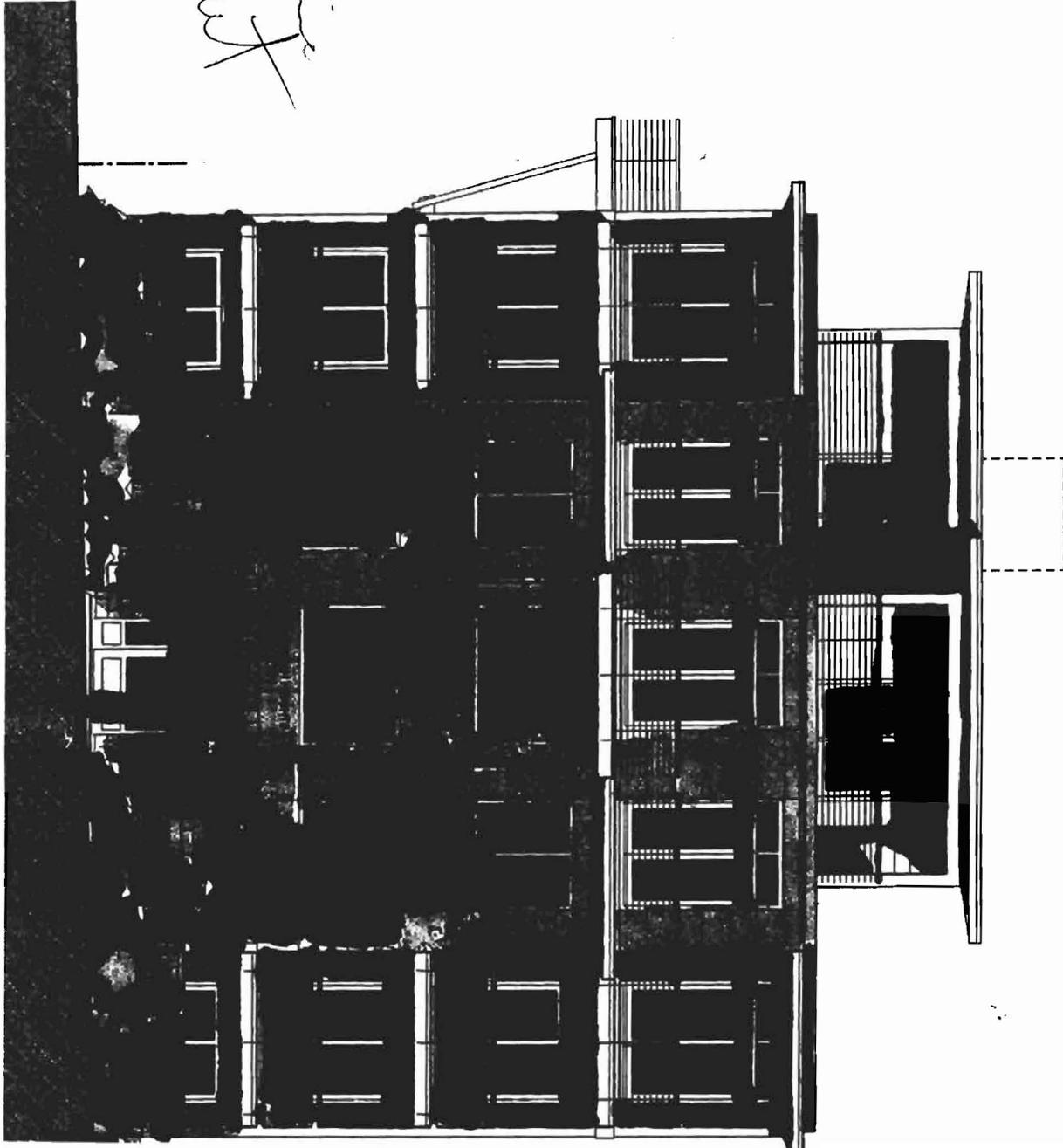
Description of wind force resisting system and designated wind resisting components:

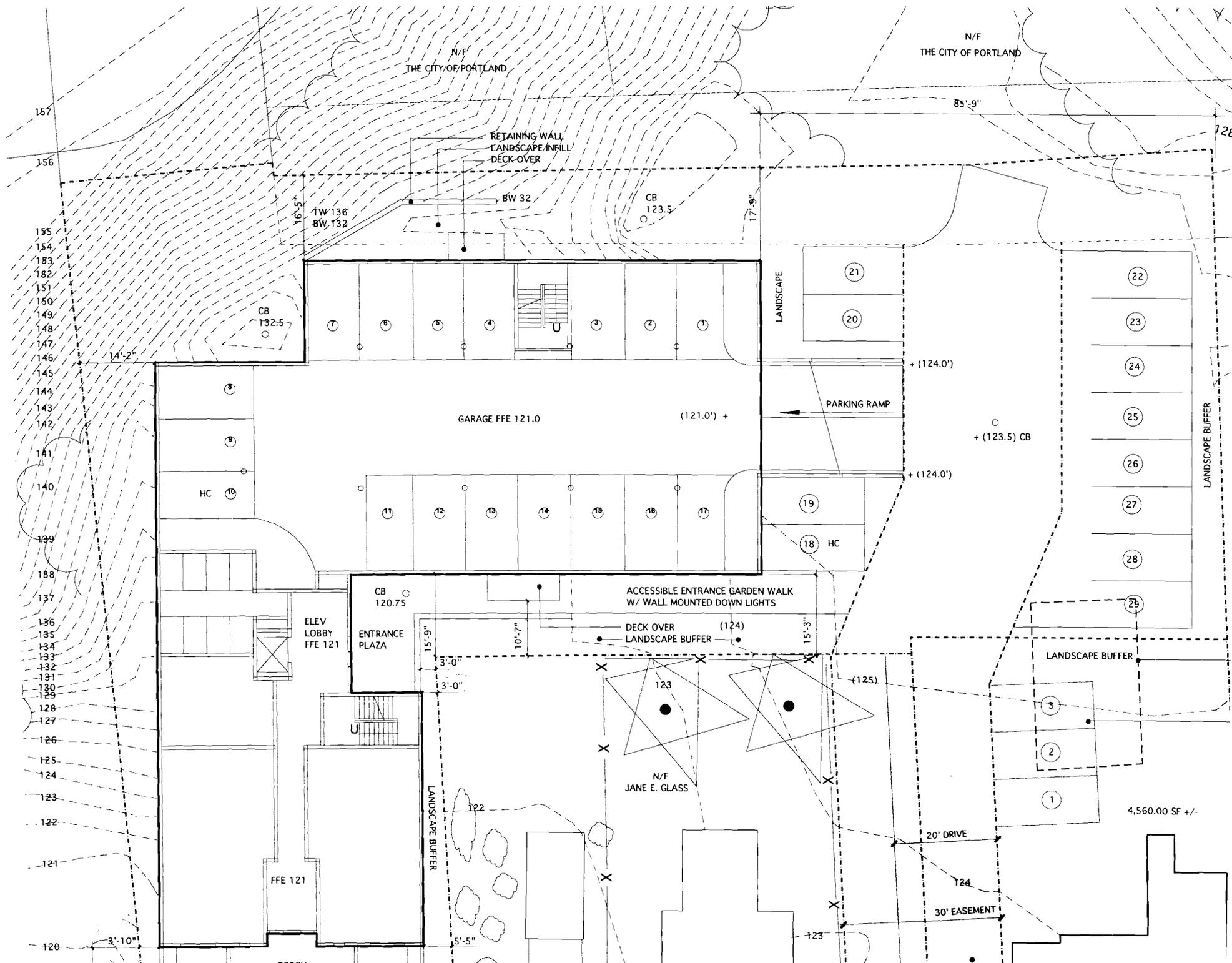
Structure is braced using light frame shear walls at wood framed areas and masonry / concrete shear walls at the parking garage area. Shear walls occur in each orthogonal direction and are located as indicated on Structural Framing Drawings S4.0 to S4.3. Loads are distributed to shear walls by the floor sheathing diaphragms at wood framed areas and by the composite slab at the garage area.

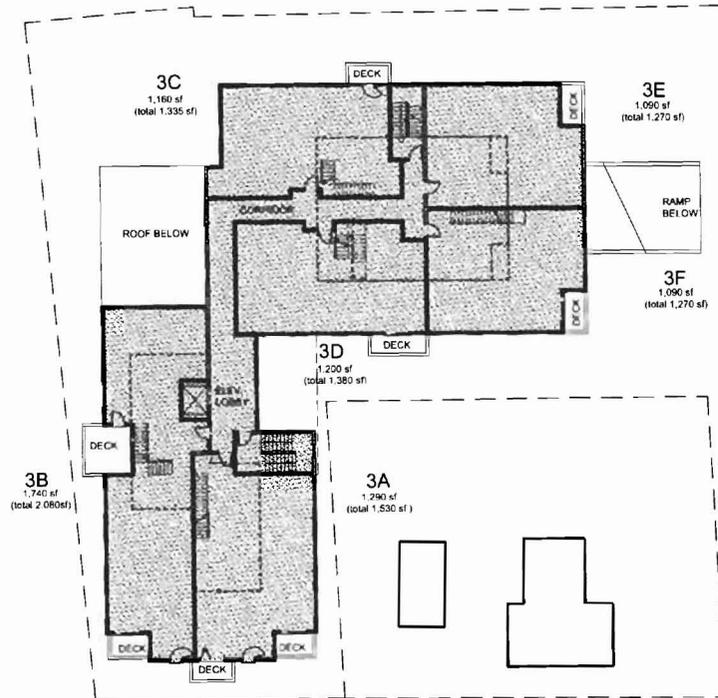
Inspections and tests for the wind resisting components are as indicated within the attached schedule and summarized as follows:

- 1. Test compaction of foundation backfill adjacent to shearwalls.*
- 2. Visually inspect reinforcement and test concrete at concrete shear walls.*
- 3. Visually Inspect reinforcement and test masonry at masonry shear walls.*
- 4. Visually inspect shear studs, structural steel member sizes and bolting at garage floor system.*
- 5. Visually inspect floor sheathing fastener spacing and sheathing edge support at wood framed floor sheathing diaphragms.*
- 6. Visually inspect shear wall fastener spacing and sheathing edge support at wood framed shear walls.*
- 7. Visually inspect hold- down anchors at wood framed shear walls.*

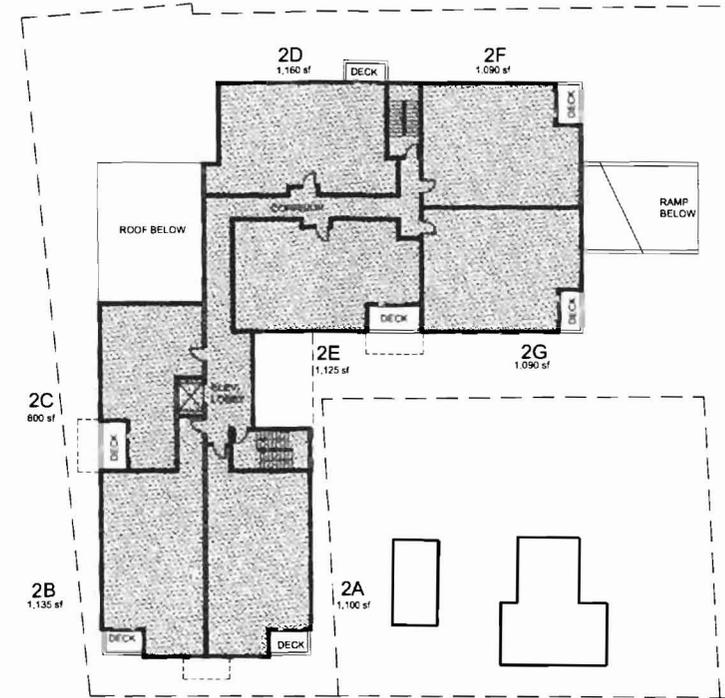
NO -
The property list
is glass



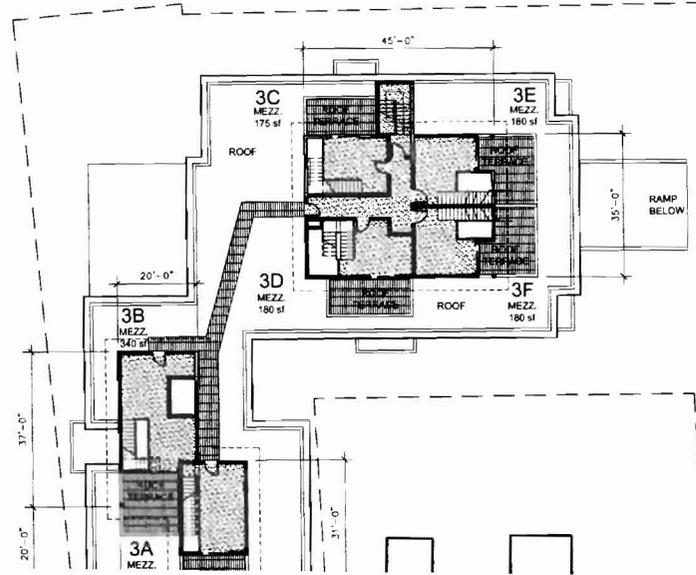




3RD. FLOOR (6 UNITS)

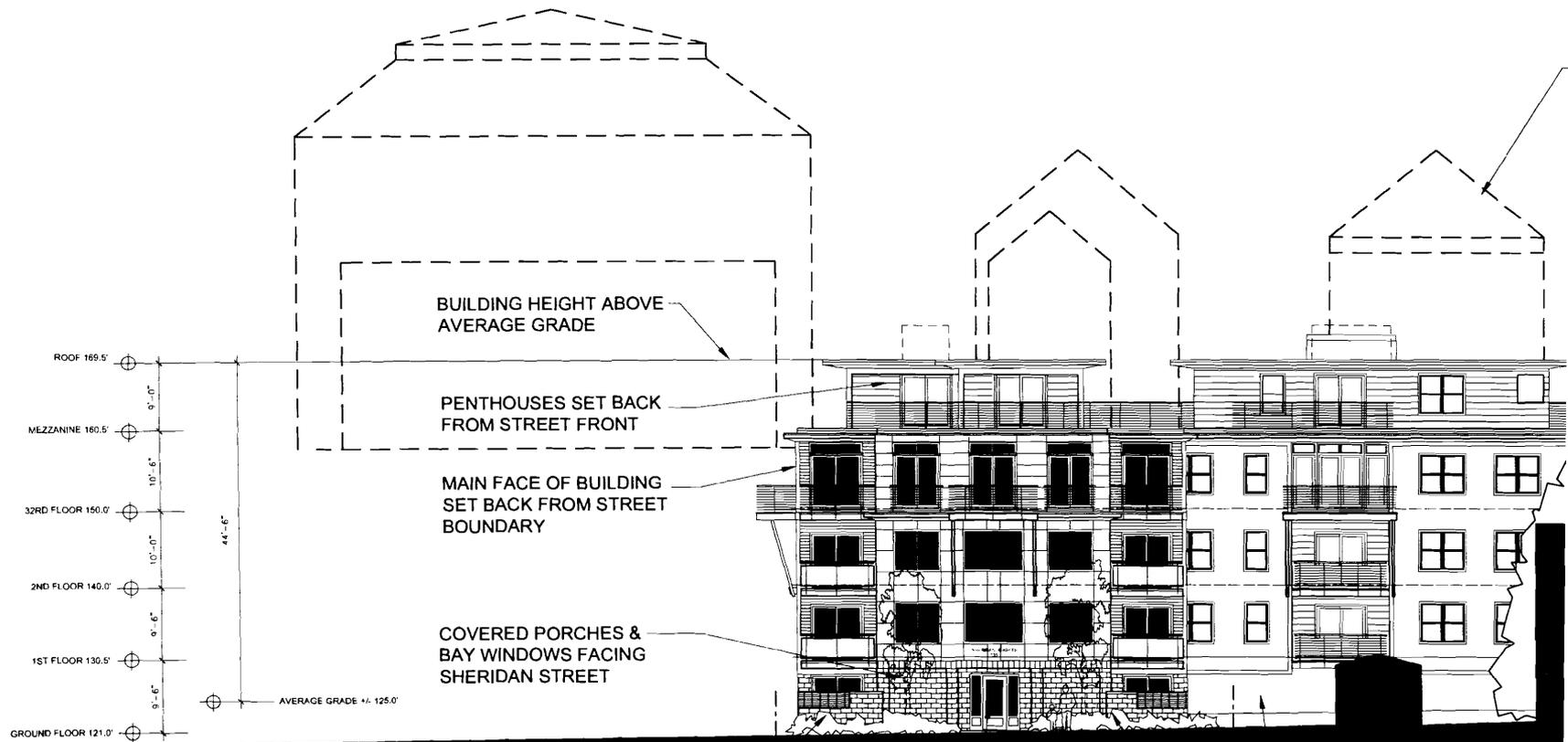


2ND FLOOR (7 UNITS)



**SHERIDAN HEIGHTS
SCHEDULE OF AREAS & UNIT TYPES**

FLOOR AREAS	GROUND	1ST FLOOR	2ND FLOOR	3RD FLOOR	MEZZANINE	TOTAL
RESIDENTIAL UNITS	-	-	-	-	1,295	- SF
CIRCULATION & MECHANICAL	-	-	-	-	-	- SF
EXTERIOR DECK/TERRACE	excl.	excl.	excl.	excl.	excl.	excl. SF
BASEMENT CARPARK	excl.	na.	na.	na.	na.	excl. SF
BASEMENT STORAGE	-	na.	na.	na.	na.	excl. SF
TOTAL FLOOR AREA	3,290	8,690	8,690	8,770	1,295	30,735 SF GROSS
UNIT TYPE						
NUMBER OF 1 BEDROOM UNITS	2	1	1	-	-	4
NUMBER OF 2 BEDROOM UNITS	-	5	6	-	-	11
NUMBER OF 3 BEDROOM UNITS	-	-	-	6	-	6



ROOF 169.5'
 MEZZANINE 160.5'
 32RD FLOOR 150.0'
 2ND FLOOR 140.0'
 1ST FLOOR 130.5'
 GROUND FLOOR 121.0'

9'-0"
 10'-0"
 10'-0"
 9'-6"
 9'-6"
 44'-6"

AVERAGE GRADE +/- 125.0'

BUILDING HEIGHT ABOVE AVERAGE GRADE

PENTHOUSES SET BACK FROM STREET FRONT

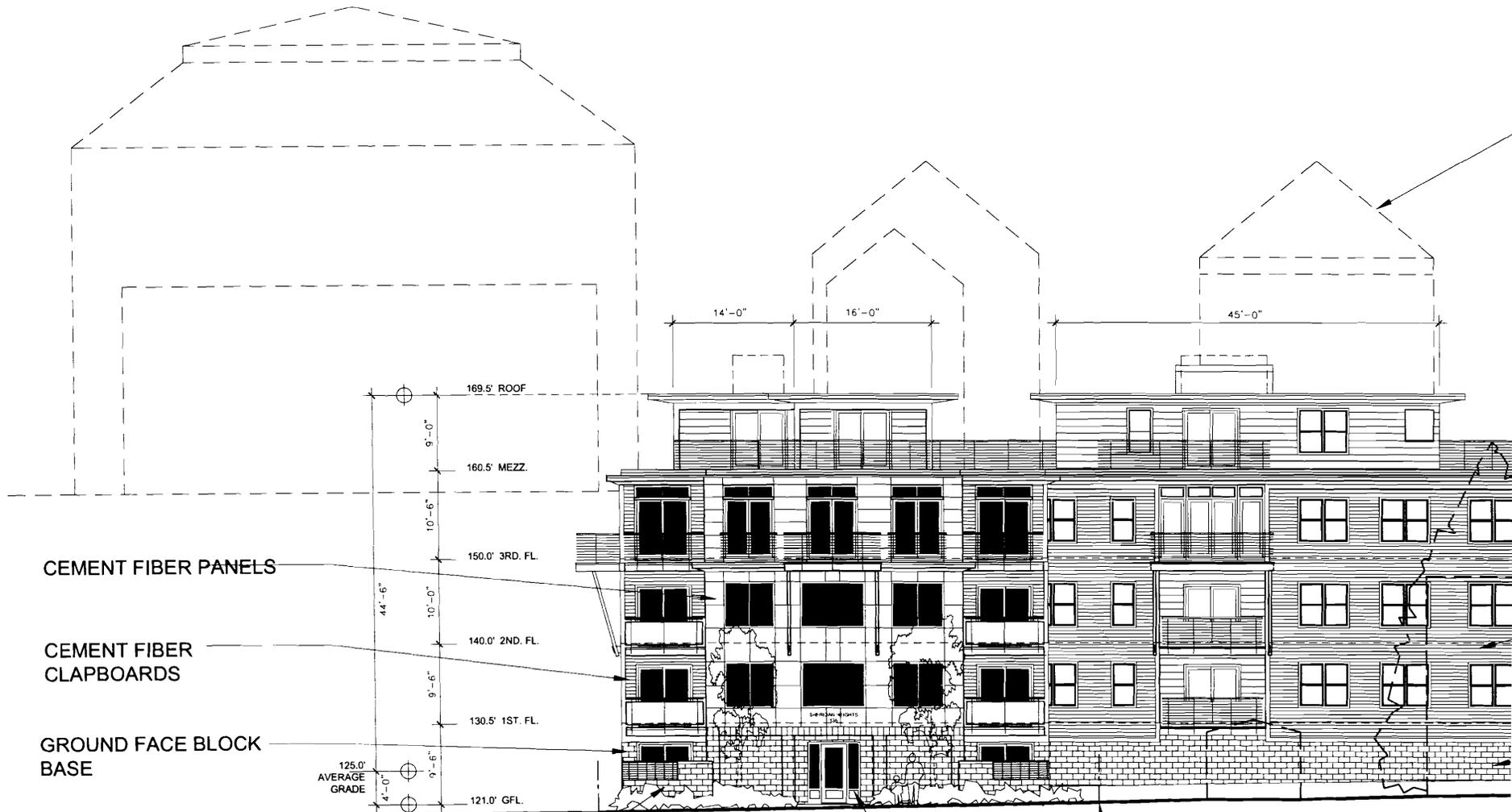
MAIN FACE OF BUILDING SET BACK FROM STREET BOUNDARY

COVERED PORCHES & BAY WINDOWS FACING SHERIDAN STREET

LOW WOOD & BLOCK FENCE TO SCREEN 1ST FLOOR TERRACES

PRIMARY ENTRANCE OFF SHERIDAN STREET

EAST WING BEYOND SHERIDAN ST. WING



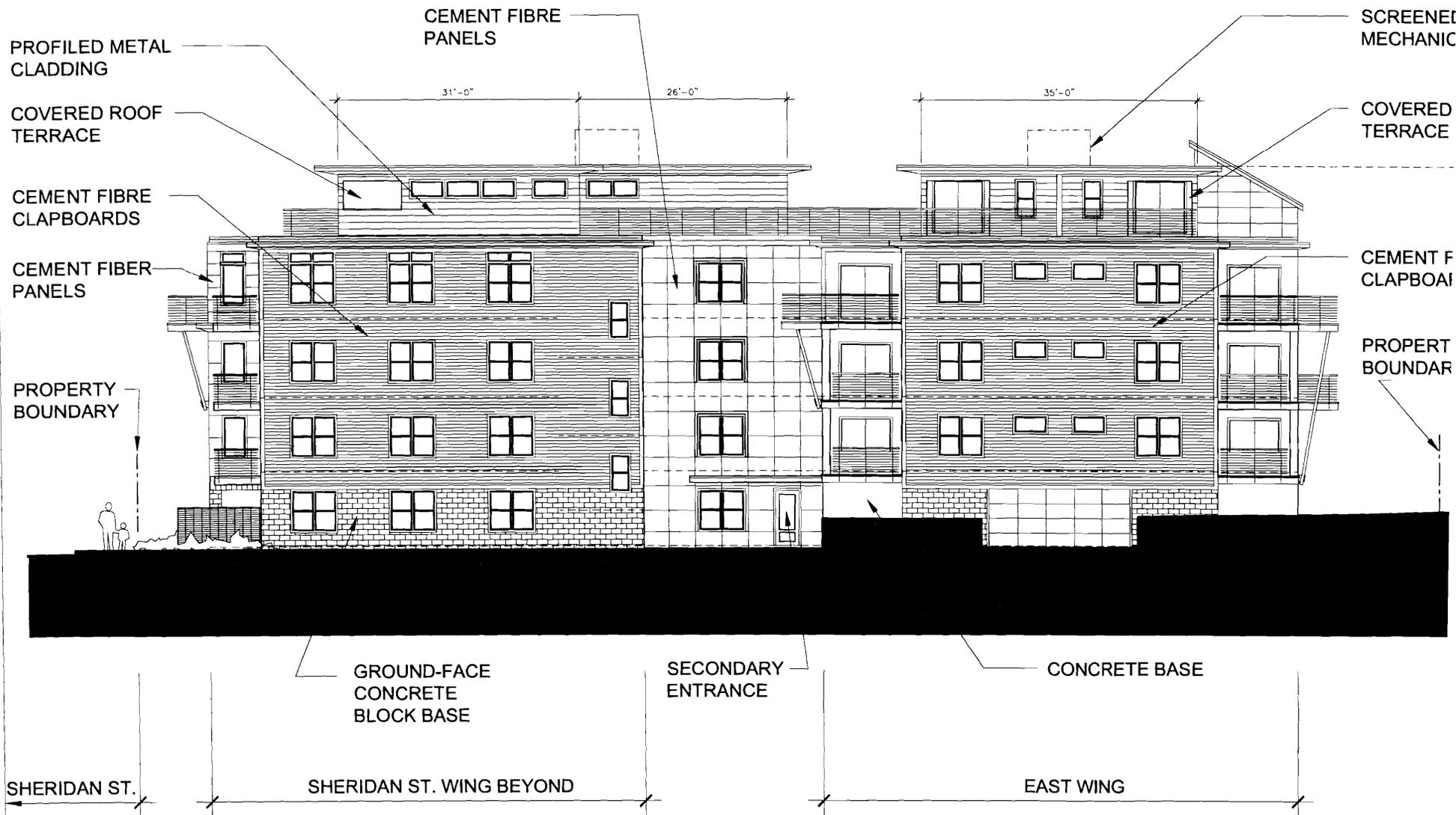
1ST. FLOOR TERRACES
SCREENED WITH
SLATTED WOOD &
GROUND FACE BLOCK
FENCE

LANDSCAPED ENTRANCE
& RECESSED PORCH OFF
SHERIDAN STREET

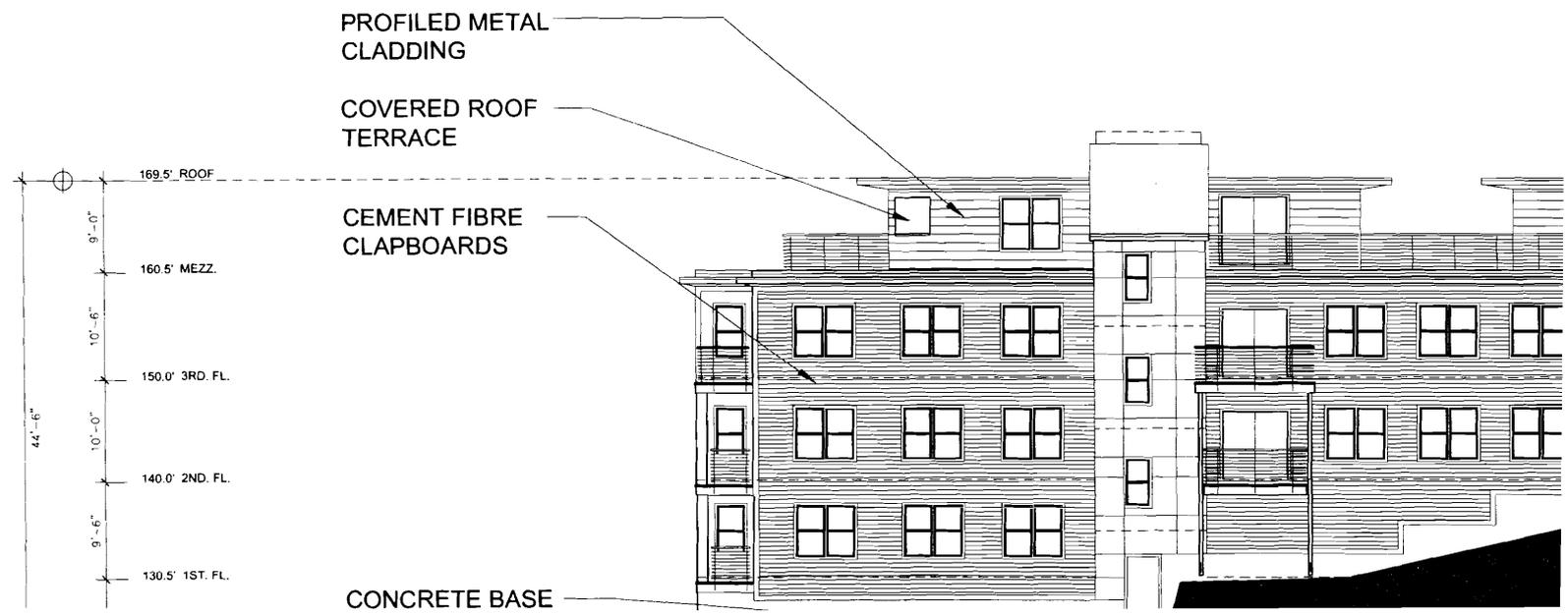
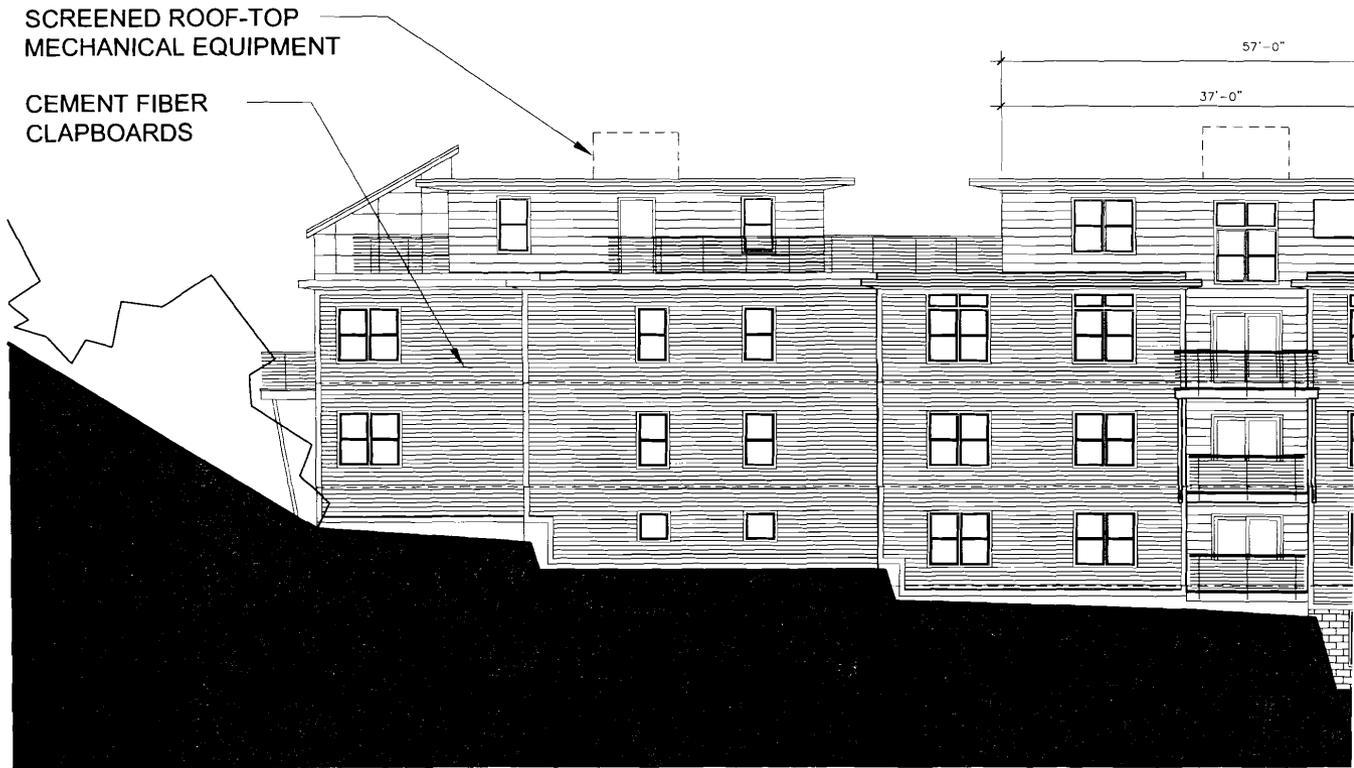
PROPERTY BOUNDARIES

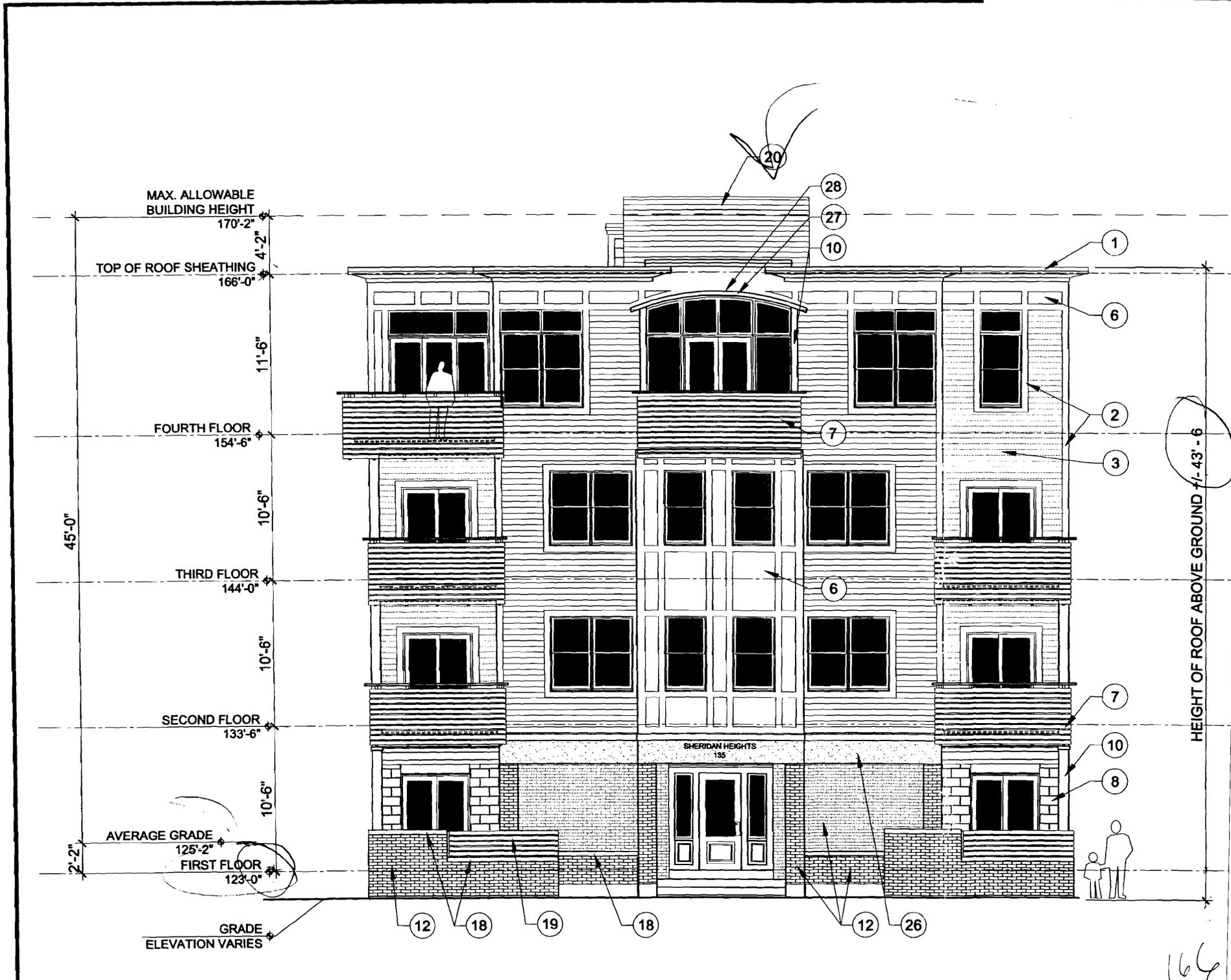
SHERIDAN ST. WING

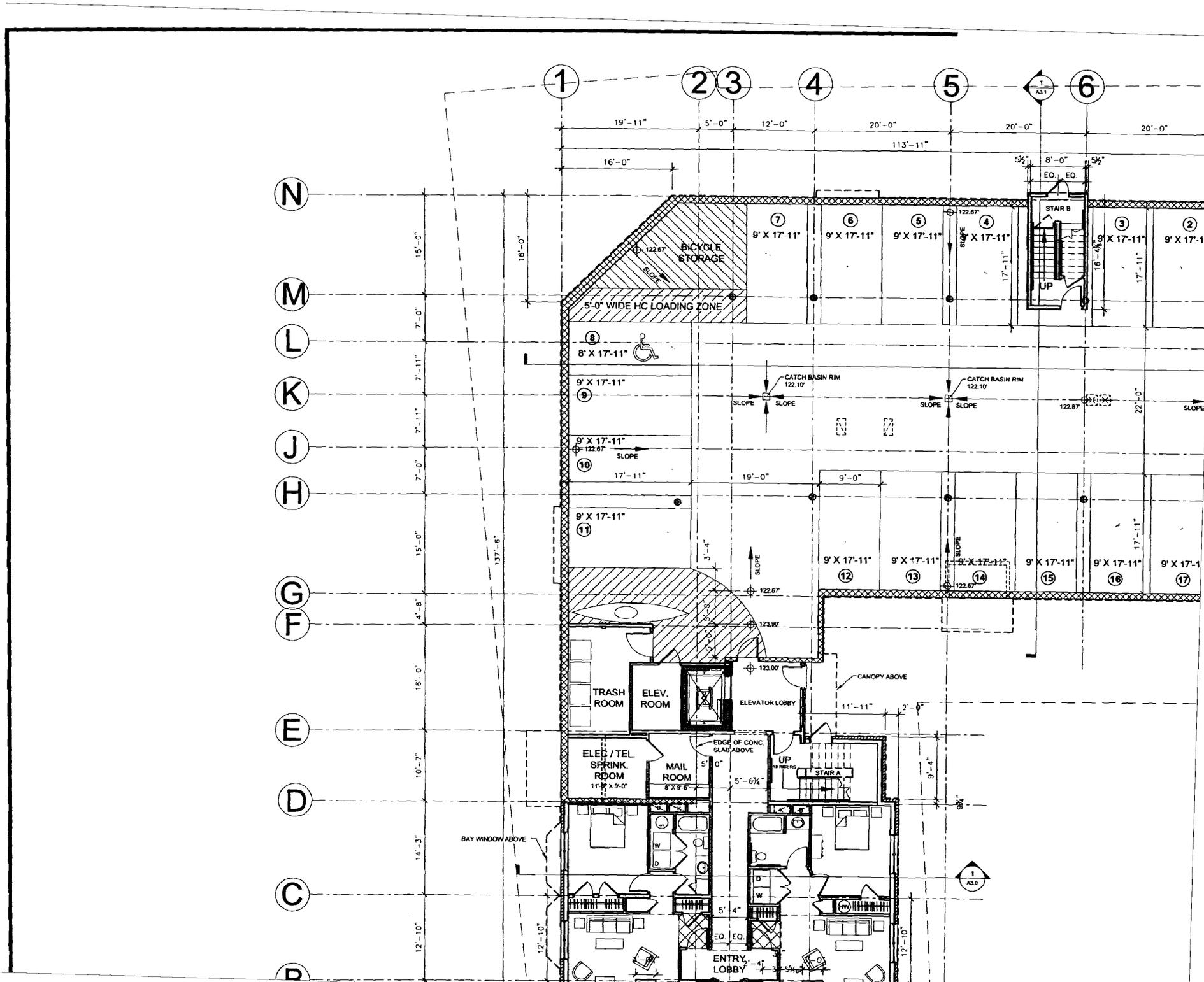
EAST WING BEYOND

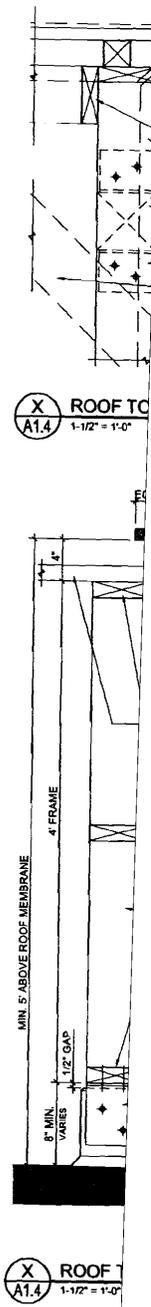
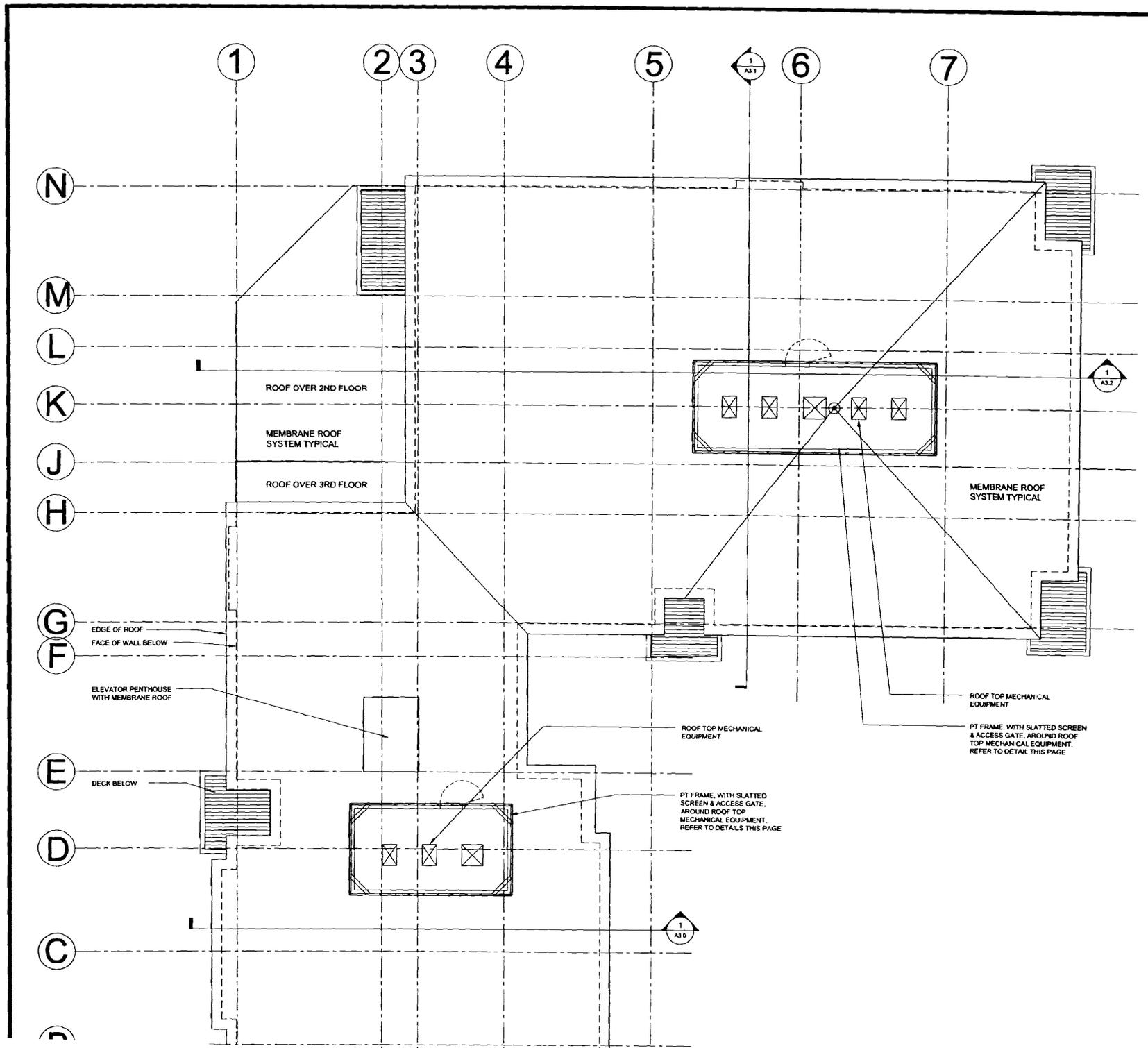


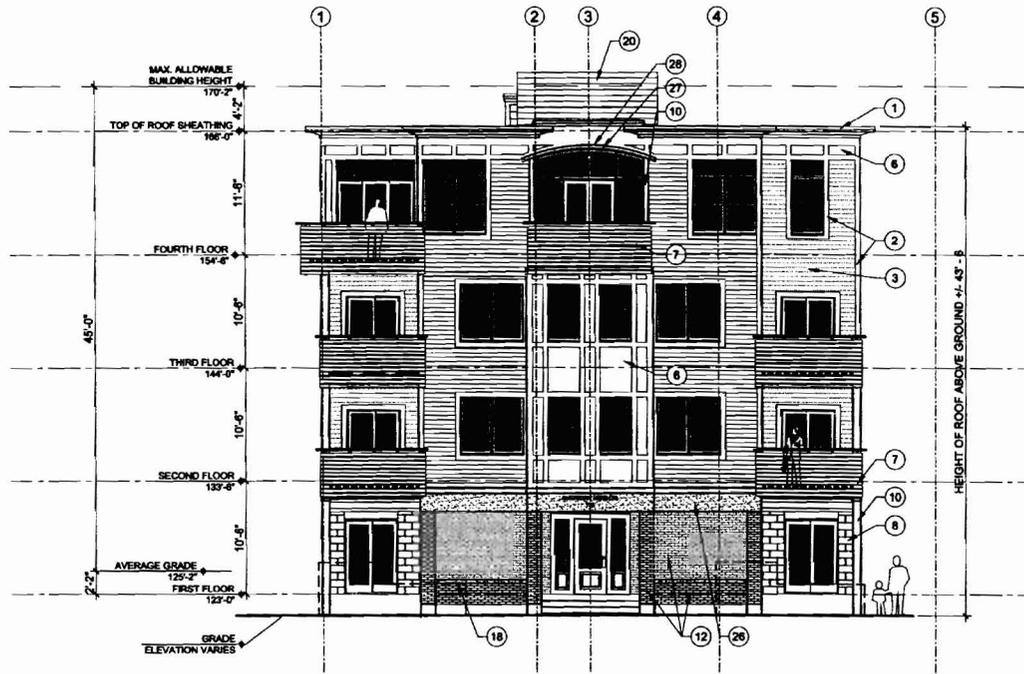
NORTH



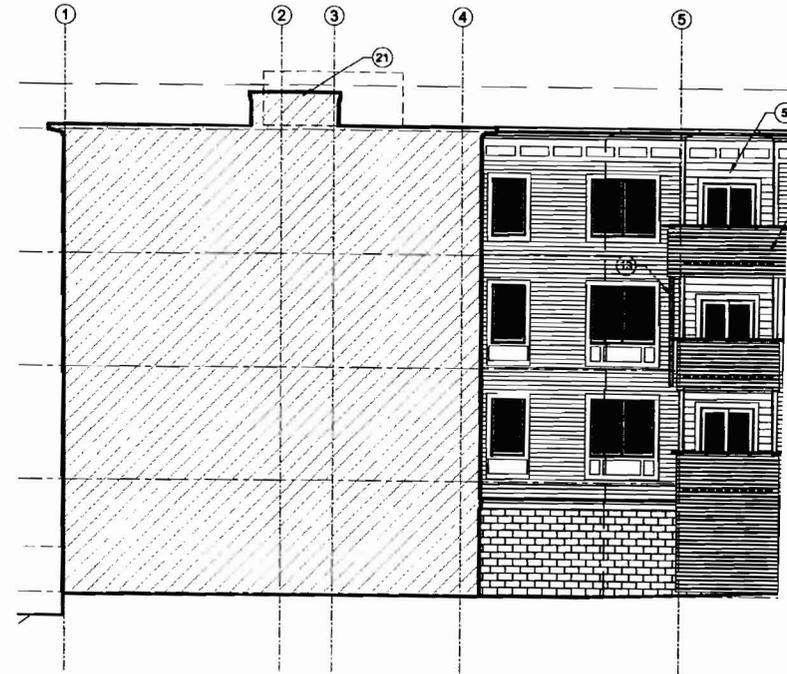




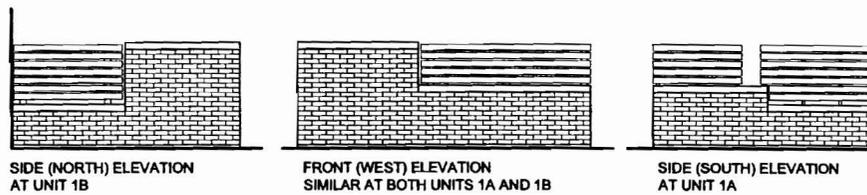




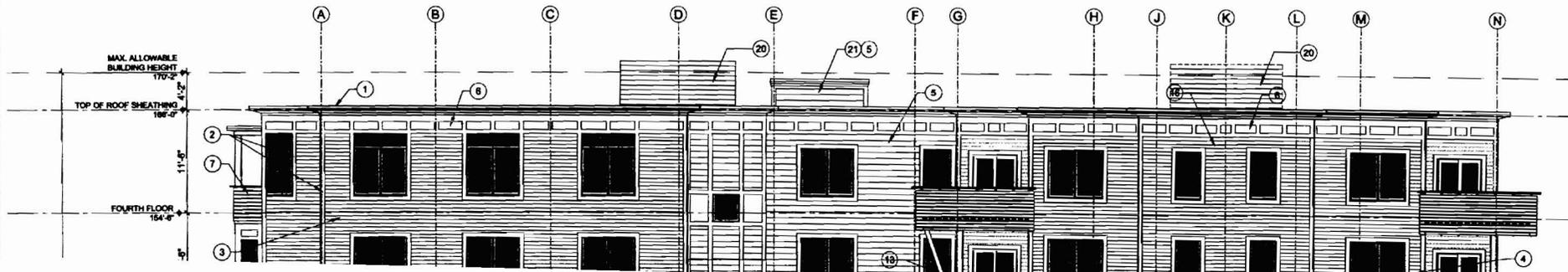
1 WEST (SHERIDAN STREET) ELEVATION
A2.0 1/8" = 1'-0"

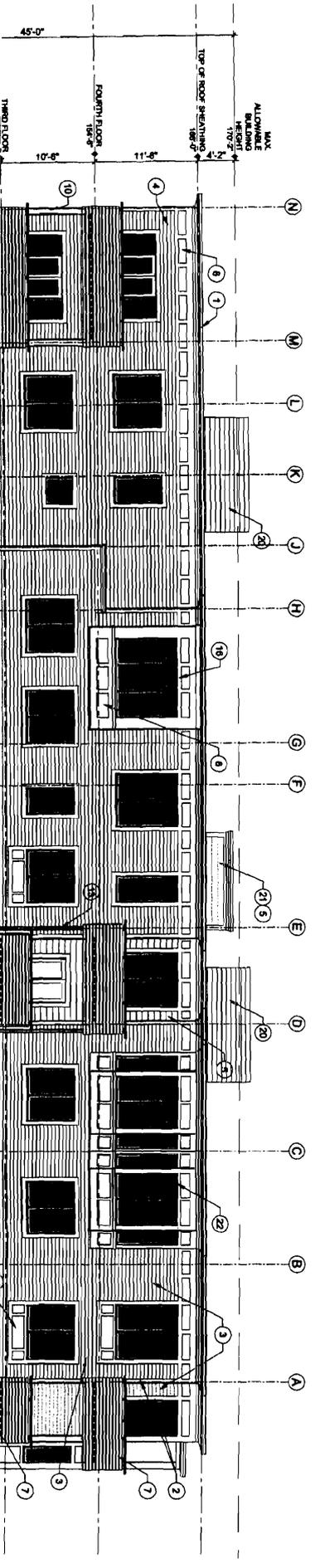
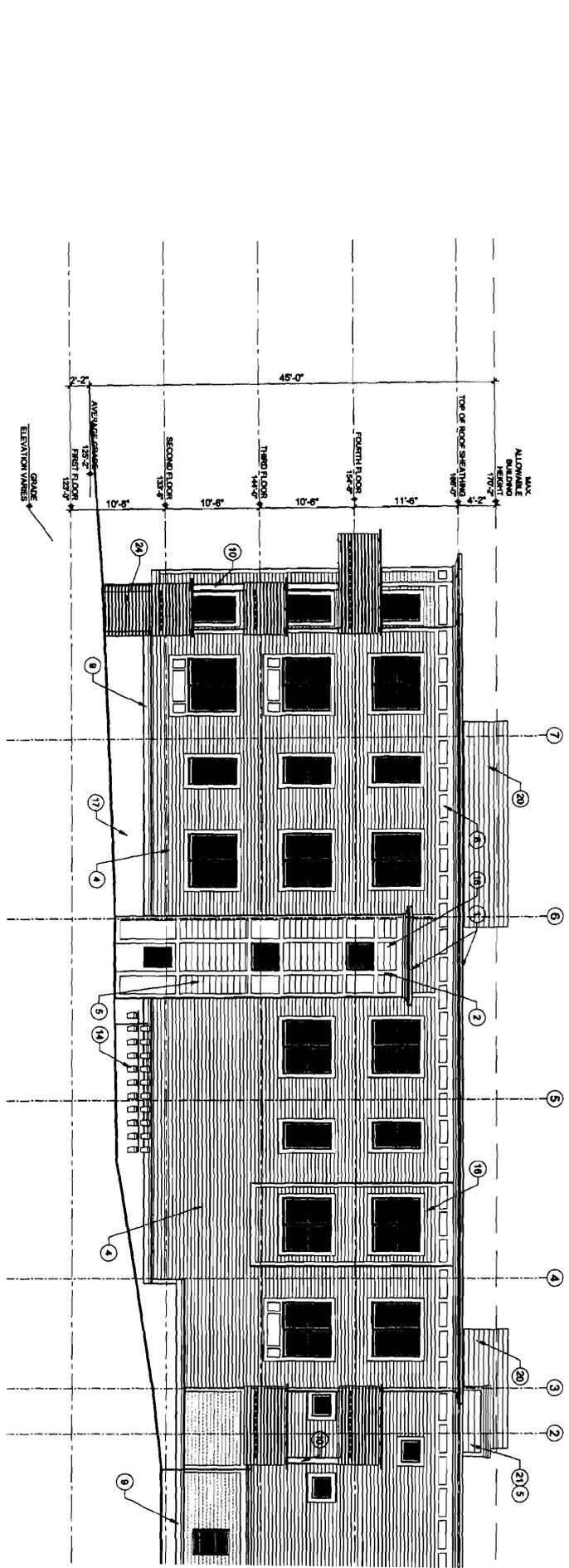


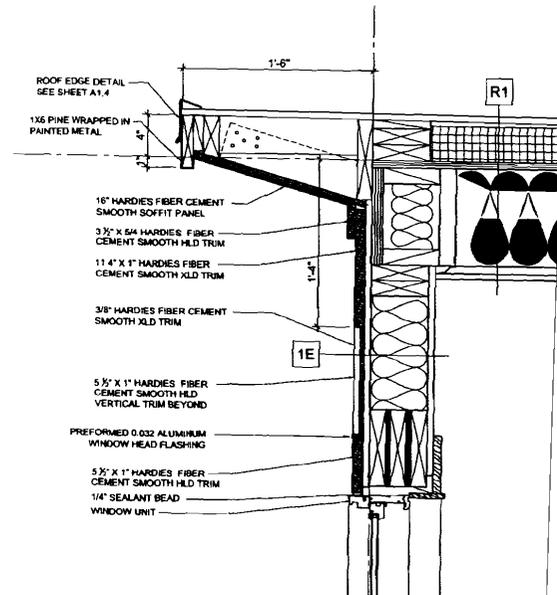
3 WEST
A2.0 1/8" = 1'-0"



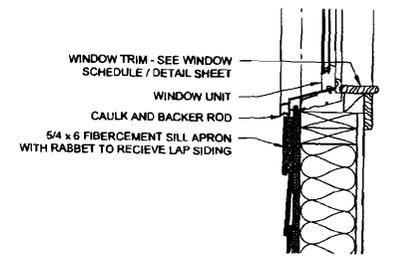
2 ENLARGED BRICK PATIEN WALL ELEVATIONS
A2.0 1/4" = 1'-0"



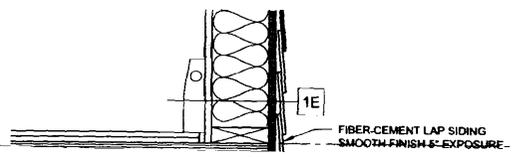
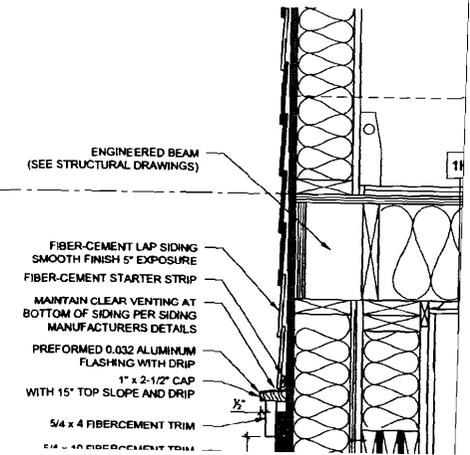


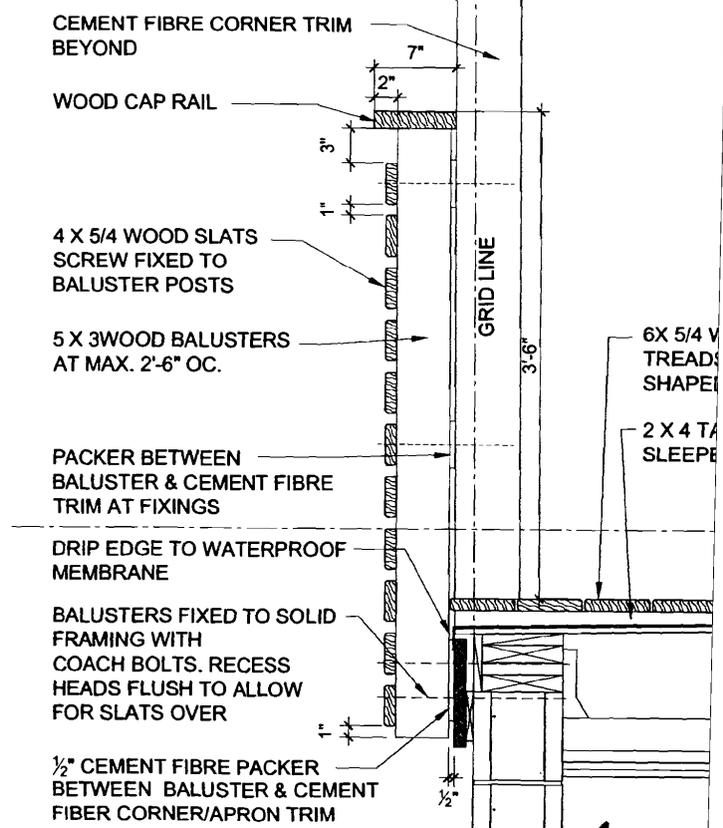
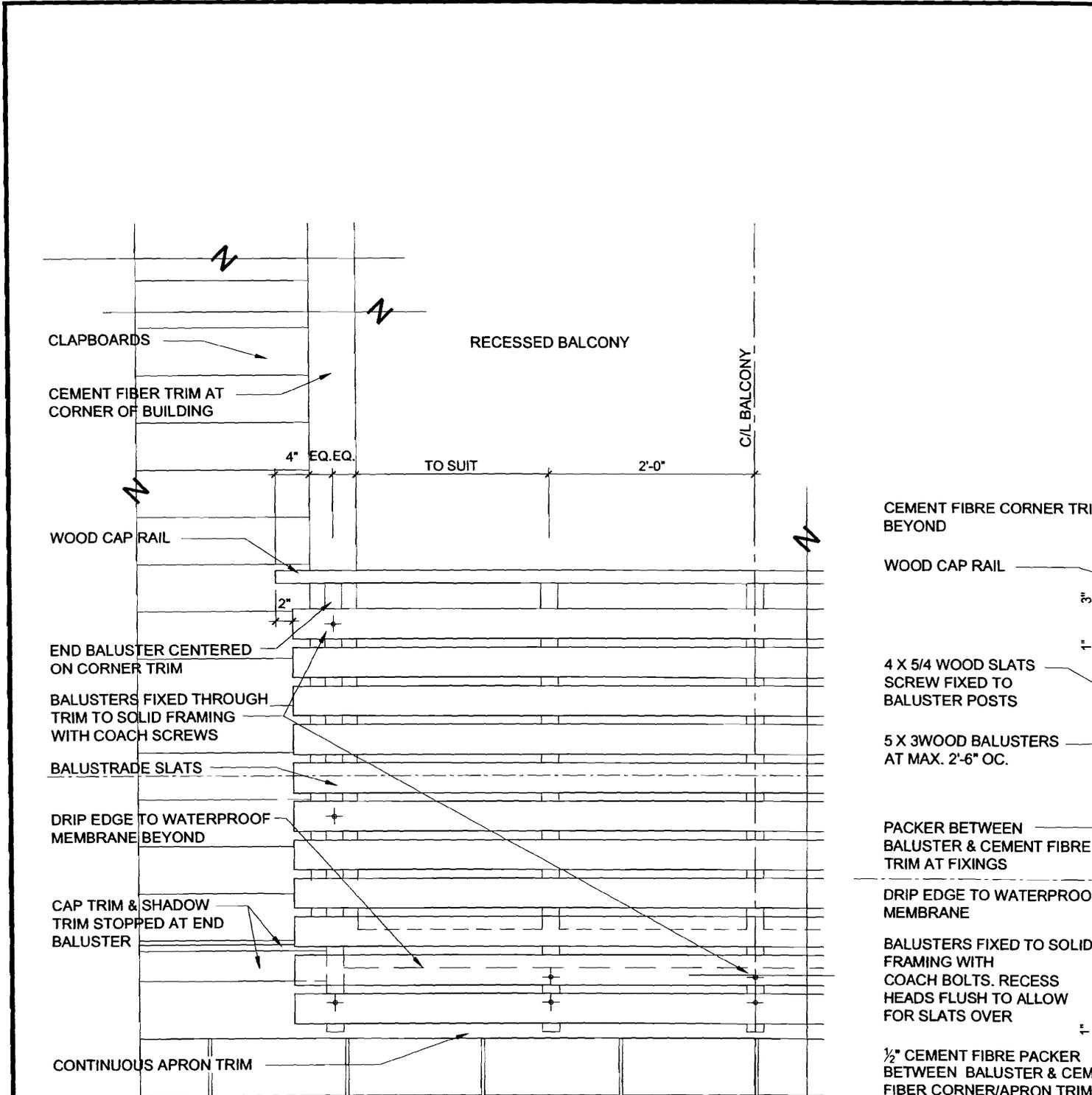


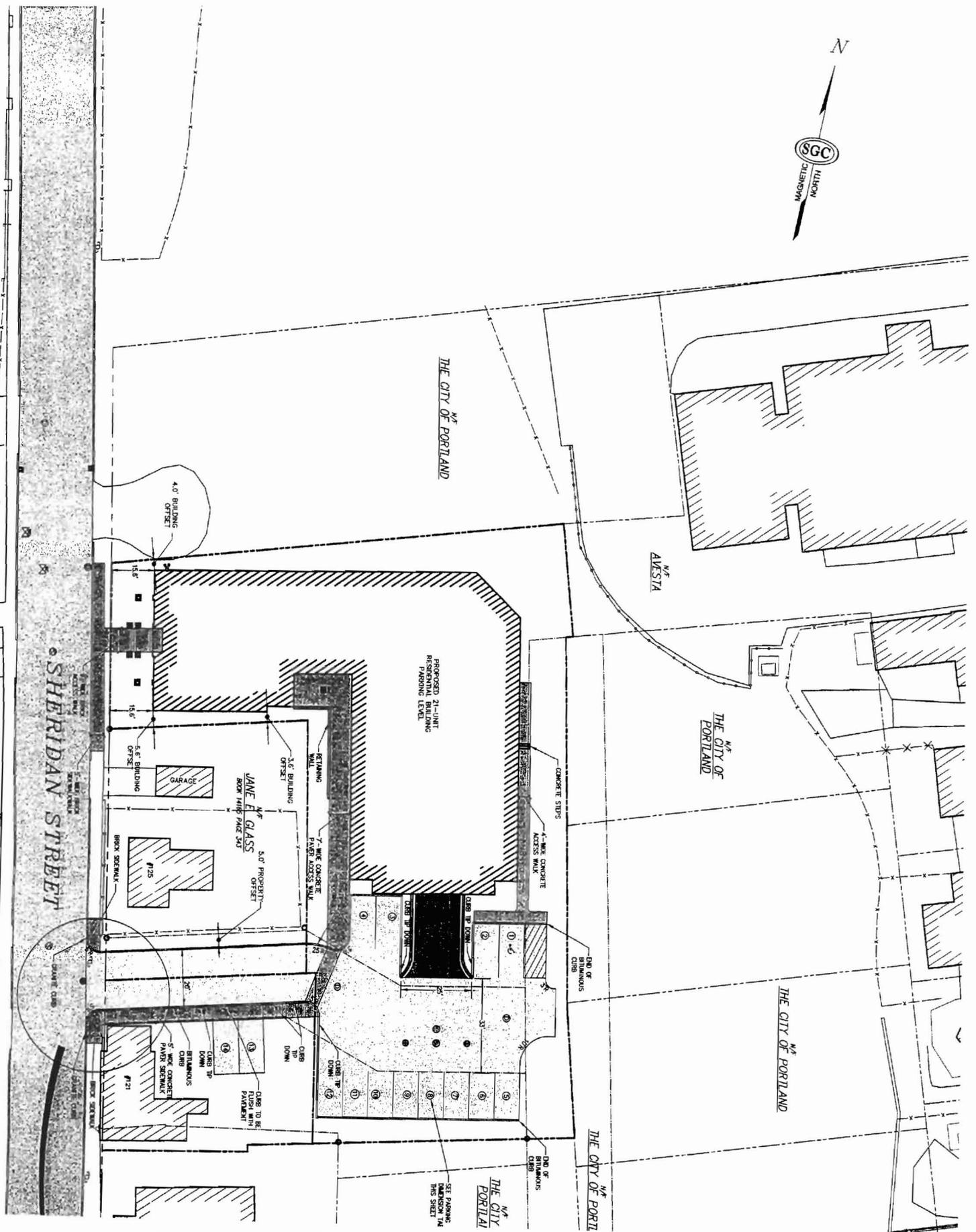
4 DETAIL AT LOWER ROOF EAVE
A5.0 1-1/2" = 1'-0"



3 DETAIL AT SECOND FLOOR
A5.0 1-1/2" = 1'-0"







THE CITY OF PORTLAND

AVESTA

THE CITY OF PORTLAND

THE CITY OF PORTLAND

THE CITY OF PORTLAND

SHERIDAN STREET

PROPOSED 24-UNIT
RESIDENTIAL BUILDING
PARKING LEVEL

JANE E. GLASS
BOOK THIS PAGE 343

GARAGE

#125

#121

SEE PARKING
DIMENSION IN
THIS SHEET

THE CITY
OF PORTLAND

END OF
BRIMMONS
CURB

END OF
BRIMMONS
CURB

END OF
BRIMMONS
CURB

7" WIDE CONCRETE
PAVER ACCESS WALK

1" WIDE CONCRETE
ACCESS WALK

CONCRETE STEPS

STANDING
WALL

3.6' BUILDING
OFFSET

5.6' BUILDING
OFFSET

4.0' BUILDING
OFFSET

15.6'

15.6'

20'

20'

20'

20'

20'

20'

20'

20'

20'

20'

20'

20'

20'

20'

20'

20'

20'

GENERAL EROSION CONTROL NOTES:

1. ALL EROSION & SEDIMENT CONTROL MEASURES SHALL BE INSTALLED & MAINTAINED IN ACCORDANCE WITH THE MAINE EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES BY THE CUMBERLAND COUNTY SOIL AND WATER CONSERVATION DISTRICT AND THE MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION DATED MARCH, 2003 (AS REVISED).
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONDUCTING STORM WATER MANAGEMENT PRACTICES IN ACCORDANCE WITH LOCAL REGULATIONS AND GOVERNING AUTHORITIES AND SHALL BE RESPONSIBLE FOR ANY FINES RESULTING FROM EROSION CONTROL VIOLATIONS.
3. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF CONSTRUCTION AND SHALL BE MAINTAINED UNTIL FINAL SURFACING AND LANDSCAPING ARE ESTABLISHED.
4. THE CONTRACTOR SHALL PROVIDE PROPER EROSION CONTROL AND DRAINAGE MEASURES IN ALL AREAS OF WORK, AND CONFINE SOIL SEDIMENT TO WITHIN THE LIMITS OF EXCAVATION AND GRADING. PRIOR TO BEGINNING EXCAVATION WORK, SIX (6) HAYBALE FENCE SHALL BE INSTALLED AT THE DOWNGRADIENT PERIMETER OF THE ACTUAL LIMITS OF GRUBBING AND/OR GRADING, AND AS SHOWN ON THE DRAWINGS. EROSION CONTROL MEASURES SHOWN ON THE DRAWINGS ARE A MINIMUM. CONTRACTOR SHALL TAKE ALL OTHER NECESSARY MEASURES TO CONTROL EROSION. EROSION CONTROL FENCE SHALL ALSO BE INSTALLED AT THE DOWNGRADIENT PERIMETER OF THE TOPSOIL STOCKPILES. ALL DISTURBED EARTH SURFACES SHALL BE STABILIZED IN THE SHORTEST PRACTICAL TIME, AND TEMPORARY EROSION CONTROL DEVICES SHALL BE EMPLOYED UNTIL SUCH TIME AS APPROPRIATE SOIL STABILIZATION HAS BEEN ACHIEVED. TEMPORARY STORAGE OF EXCAVATED MATERIAL SHALL BE STABILIZED IN A MANNER THAT WILL MINIMIZE EROSION. ALL INSTALLED EROSION CONTROL FACILITIES SHALL BE REMOVED AT THE END OF THE PROJECT.
5. CATCH BASIN AND STORM DRAIN PROTECTION MEASURES SHALL BE INSTALLED PRIOR TO CONSTRUCTION TO PROTECT EXISTING SYSTEMS FROM RECEIVING RUNOFF FROM UNSTABILIZED SURFACES.
6. THE CONTRACTOR SHALL INSPECT THE EROSION AND SEDIMENTATION CONTROL DEVICES AFTER EACH RAINSTORM AND DURING MAJOR STORM EVENTS. REPAIRS SHALL BE MADE AS NECESSARY. ACCUMULATED SEDIMENT TRAPPED BY EROSION AND SEDIMENTATION CONTROL DEVICES SHALL BE REMOVED AS NECESSARY.
7. DURING CONSTRUCTION, TEMPORARY OUTLETS OF THE DRAINAGE SYSTEMS SHALL BE PROTECTED BY SEDIMENT BASINS.
8. TEMPORARY EROSION AND SEDIMENTATION CONTROL DEVICES SHALL BE REMOVED AND THOSE AND ADJACENT AREAS RESTORED UPON COMPLETION OF THE WORK OR WHEN SO ORDERED BY THE ENGINEER.
9. PERMANENT SEED MIX SHALL BE USED BETWEEN 05/15 AND 9/30. USE TEMPORARY SEED MIX SHALL BE USED BETWEEN 10/1 AND 5/14.
10. SEEDING SHALL BE INSTALLED ON EXPOSED AREAS OF THE SITE WHERE GRADING ACTIVITIES WILL CEASE FOR A PERIOD OF MORE THAN 21 DAYS. SEEDING SHALL BE INSTALLED BY THE LATEST DATE AFTER THE LAST DISTURBANCE. TEMPORARY SEEDING SHALL BE INSTALLED ON SUCH AREAS AS GRADED SLOPES, STOCKPILE AREAS, ETC.

TEMPORARY SEED MIX SHALL MEET THE FOLLOWING CRITERIA:

SEED	% WEIGHT	% GERMINATION
WINTER RYE	80 MINIMUM	85 MIN
RED FESCUE (CREeping)	4 MIN	80 MIN
PERENNIAL RYE GRASS	3 MIN	80 MIN
RED CLOVER	3 MIN	90 MIN
OTHER CROP GRASS	0.5 MAX	
NOXIOUS WEED SEED	0.5 MAX	
INERT MATTER	1.0 MAX	

11. PERMANENT SEED MIX SHALL MEET THE FOLLOWING CRITERIA (MOOT SPEC 171.03-B):

RED FESCUE	50%
SHEDD FESCUE	25%
RED TOP	5%
WHITE CLOVER	10%
ANNUL RYE	10%

12. THE METHOD OF STRIPPING VEGETATION SHALL BE SUCH AS TO MINIMIZE EROSION. FILLS SHALL BE PLACED AND COMPACTED IN SUCH A MANNER THAT SOIL SLIDING AND EROSION IS MINIMIZED. GRADING SHALL BE DONE IN SUCH A MANNER AS NOT TO DIVERT WATER ON TO ADJOINING PROPERTY.
13. TEMPORARY MULCHING IS TO BE APPLIED TO ALL DISTURBED AREAS LEFT INACTIVE AND UNSTABILIZED FOR A PERIOD GREATER THAN 7 DAYS.

GENERAL CONSTRUCTION NOTES:

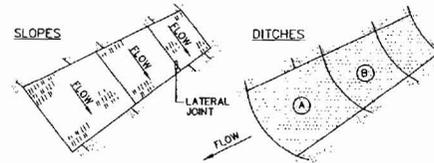
- 1) THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING "DIG-SAFE" AND LOCAL UTILITY COMPANIES AT LEAST 3 BUSINESS DAYS, BUT NOT MORE THAN 30 CALENDAR DAYS, PRIOR TO THE COMMENCEMENT OF ANY EXCAVATION, OR AS OTHERWISE REQUIRED BY MAINE STATE LAW.
- 2) THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL MEANS, METHODS AND TECHNIQUES EMPLOYED TO PERFORM THE WORK SHOWN ON THESE PLANS.
- 3) ALL WORK SHALL COMPLY WITH ALL LOCAL, STATE AND FEDERAL SAFETY REGULATIONS.
- 4) CONTRACTOR SHALL VERIFY LOCATIONS AND DEPTHS OF ALL UTILITIES WITH THE RESPECTIVE COMPANY PRIOR TO THE START OF CONSTRUCTION. IF ANY DISCREPANCIES OR CONFLICTS ARE FOUND, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND OWNER PRIOR TO PROCEEDING.
- 5) ALL UTILITY FACILITIES SHALL BE ADJUSTED BY THE RESPECTIVE UTILITIES UNLESS OTHERWISE NOTED. UTILITY POLE RELOCATION SHALL BE COORDINATED WITH CMP.
- 6) THE CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS FOR THE WORK SHOWN ON THESE PLANS PRIOR TO CONSTRUCTION.
- 7) NO BLASTING WILL BE ALLOWED WITHIN 500 FT. OF ANY UTILITY WITHOUT THE NOTIFICATION AND APPROVAL OF CMP OR THE APPROPRIATE UTILITY COMPANY. NO LEDGE BLASTING WILL BE PERMITTED WITHIN A UTILITY COMPANY EASEMENT UNTIL WRITTEN APPROVAL FROM THE UTILITY IS GIVEN.
- 8) PAVEMENT CUTS SHALL BE SAW CUT TO RESULT IN CLEAN EDGES. A TACK COAT SHALL BE APPLIED ALONG THE CUT EDGES AND NEW PAVEMENT BUTTED TO IT, UNLESS OTHERWISE DIRECTED BY THE ENGINEER.
- 9) THE CONTRACTOR SHALL BE RESPONSIBLE TO RECLAIM OR PROPERLY DISPOSE OF REMOVED BITUMINOUS MATERIALS.
- 10) INLETS AND OUTLETS OF ALL CULVERTS SHALL BE RIPRAPPED UNLESS OTHERWISE NOTED ON THE PLANS OR DIRECTED BY THE ENGINEER.
- 11) ROADWAY MATERIALS AS REFERENCED FROM "STATE OF MAINE, DEPARTMENT OF TRANSPORTATION, STANDARD SPECIFICATIONS, DECEMBER 2002" CHAPTER 401.05 MATERIALS, EXCEPT AS OTHERWISE NOTED.
- 12) CONTRACTORS COMPLETING WORK ON MTA PROPERTY MUST OBTAIN ALL APPROPRIATE LICENSES AND WORK PERMITS PRIOR TO COMMENCING WORK.

GENERAL SITE GRADING NOTES:

- 1) ALL NEW DRIVE AND PARKING AREA SURFACES SHALL PITCH 1/4 INCH PER FOOT MINIMUM UNLESS OTHERWISE NOTED.
- 2) ALL AREAS THAT ARE EXCAVATED, FILLED, OR OTHERWISE DISTURBED BY THE CONTRACTOR SHALL BE LOADED, GRADED, LIMED, FERTILIZED, SEEDED AND MULCHED, UNLESS OTHERWISE NOTED. THE TOP 4 INCHES OF SOIL SHALL BE TOPSOIL.
- 3) ALL ELEVATIONS REFER TO MVD 29. THE CONTRACTOR WILL BE PROVIDED WITH AN ON-SITE TEMPORARY BENCHMARK PRIOR TO CONSTRUCTION.
- 4) CONTRACTOR SHALL CONTROL DUST ON THE CONSTRUCTION SITE TO A REASONABLE LIMIT, TO THE SATISFACTION OF THE TOWN AND ENGINEER.
- 5) CONTRACTOR SHALL NOT TRACK OR SPILL EARTH, DEBRIS, OR OTHER CONSTRUCTION MATERIAL ON PUBLIC OR PRIVATE STREETS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE IMMEDIATE ASSOCIATED CLEAN UP.
- 6) CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL DEBRIS AND EXCESS EXCAVATED MATERIAL FROM WITHIN THE CONSTRUCTION LIMIT OF WORK, TO A SUITABLE OFF SITE LOCATION PROVIDED BY THE CONTRACTOR, IN COMPLIANCE WITH STATE AND LOCAL REGULATIONS.
- 7) CONTRACTOR SHALL REMOVE AND REPLACE, OR REPAIR ALL PAVEMENT AND OTHER ITEMS DAMAGED BY HIS CONSTRUCTION ACTIVITIES TO AT LEAST THEIR ORIGINAL CONDITION, TO THE SATISFACTION OF THE TOWN AND ENGINEER.
- 8) WHERE EXISTING PAVEMENT IS REMOVED AND REPLACED, MATCH EXISTING GRADES TO THE EXTENT POSSIBLE. COORDINATE FINE GRADING WITH THE ENGINEER.

GENERAL SITE LAYOUT NOTES:

- 1) THE OWNER SHALL PROVIDE SURVEYING BENCHMARK LOCATION AND ELEVATION THAT CORRESPONDS TO THE DESIGN ELEVATIONS AND EXISTING SITE ELEVATIONS. CONTRACTOR SHALL UTILIZE BENCHMARK ELEVATIONS FOR LAYOUT OF THE WORK.
- 2) THE LIMITS OF ON-SITE WORK SHALL BE AS SHOWN ON DRAWINGS. THE LOCATION OF ON-SITE STORAGE AREAS SHALL BE REVIEWED/COORDINATED WITH, AND ACCEPTABLE TO THE OWNER AND ENGINEER. THE CONTRACTOR SHALL LIMIT HIS ACTIVITIES TO THESE AREAS.

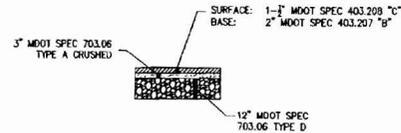


NOTES:

1. BURY THE TOP END OF THE MESH MATERIAL IN A 6" TRENCH AND BACKFILL AND TAMP TRENCHING SECURE END WITH STAPLES AT 6" SPACINGS, 4" DOWN FROM EXPOSED END.
2. FLOW DIRECTION JOINTS TO HAVE UPPER END OF LOWER STRIP BURIED WITH UPPER LAYERS OVERLAPPED 4" AND STAPLED, OVERLAP B OVER A.
3. LATERAL JOINTS TO HAVE 4" OVERLAP OF STRIPS, STAPLE 18" ON CENTER.
4. STAPLE OUTSIDE LATERAL EDGE 2" ON CENTER.
5. WIRE STAPLES TO BE MIN. OF # 11 WIRE 6" LONG AND 1-1/2" WIDE.
6. USE NORTH AMERICAN GREEN DS 150 OR APPROVED EQUAL.

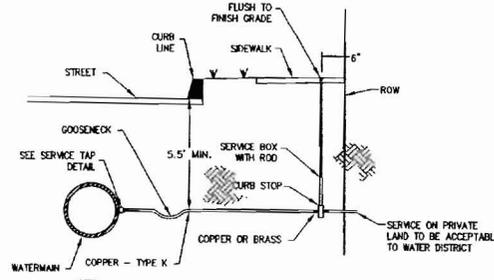
EROSION CONTROL BLANKET DETAIL

NOT TO SCALE



TYPICAL PARKING LOT CROSS SECTION

NOT TO SCALE

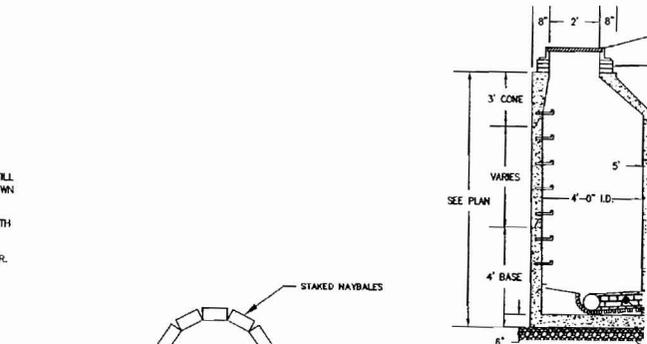
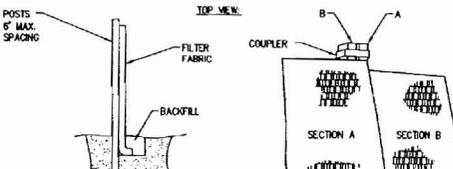


NOTES:

1. ALL CURB STOPS AND CORPORATION STOPS SHALL CONFORM TO ANNA C-ROD.
2. THE CURB STOP AND CORPORATION STOP MANUFACTURER SHALL BE A.Y. REGIONAL CAMBRIDGE BRASS, FORD METER BOX CO., OR WUELLER CO.
3. SERVICE CONNECTIONS (DIRECT TAPS AND SERVICE CLAMPS) WILL BE INSTALLED SO THAT THE OUTLET IS AT AN ANGLE OF NOT MORE THAN 45° ABOVE THE HORIZONTAL.
3. ALWAYS PUT A BEND OR "GOOSENECK" IN THE SERVICE LINE PRIOR TO CONNECTING TO PROVIDE FLEXIBILITY AND "GIVE" TO COUNTERACT THE EFFECTS OF A LOAD DUE TO SETTLEMENT OR EXPANSION AND/OR CONTRACTION.

TYPICAL WATER SERVICE CONNECTION

NOT TO SCALE

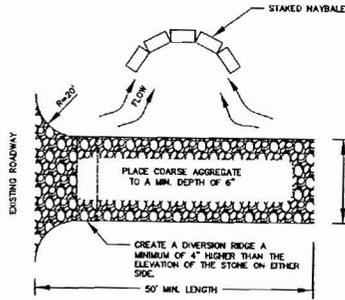


NOTES:

1. CONCRETE 4000 PSI AFTER 28 D
2. REINFORCING #4-20 LOADING 4#
3. EACH CASTING TO HAVE LIFTING MORTAR.
4. MANHOLE STEPS TO BE ALUMINUM
5. APPLY TWO COATS OF BITUMAST

PRECAST CONCRETE MANHOLE DETAIL

NOT TO SCALE



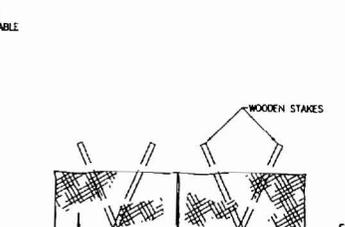
TEMPORARY CONSTRUCTION ENTRANCE DETAIL

NOT TO SCALE

- 1) COARSE AGGREGATE SHALL BE 2" TO 3" STONE.
- 2) PLACE COARSE AGGREGATE ON GEOTEXTILE FABRIC.
- 3) THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR, AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
- 4) WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
- 5) WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

TEMPORARY CONSTRUCTION ENTRANCE DETAIL

NOT TO SCALE



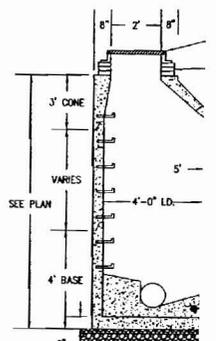
HAYBALE FENCE DETAIL

NOT TO SCALE

1. LAY HAYBALES FLAT ON EXISTING GROUND AND MINIMIZE GAPS BETWEEN BALES.
2. PLACE HAYBALES PARALLEL TO EXISTING GRADE CONTOURS TO PREVENT CONCENTRATED FLOW. DO NOT USE HAYBALE FENCE IN AREAS OF CONCENTRATED FLOW.
3. DRIVE WOODEN STAKES INTO EXISTING GROUND A MINIMUM OF 18 INCHES.
4. HAYBALES ARE TO BE SPREAD AS MULCH AT THE COMPLETION OF CONSTRUCTION ACTIVITIES, DO NOT RE-USE HAYBALES.

HAYBALE FENCE DETAIL

NOT TO SCALE

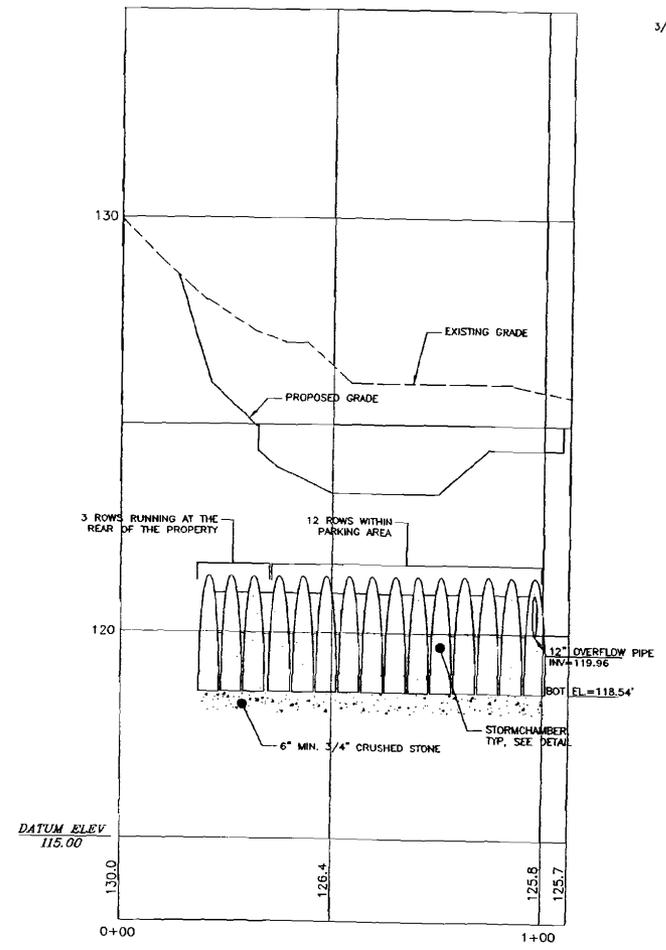
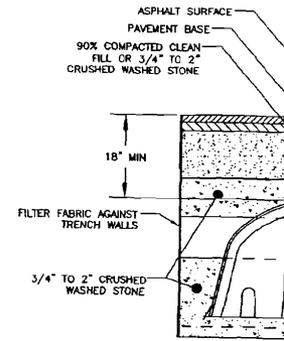
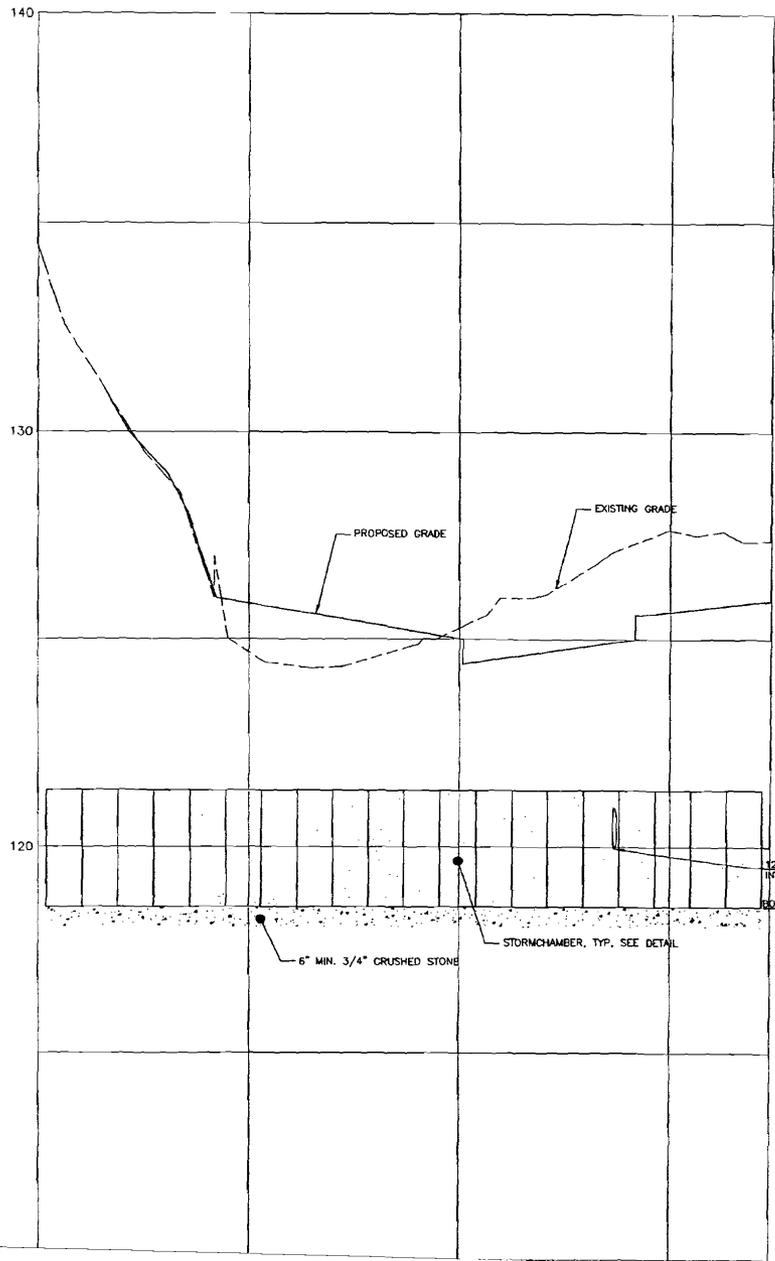


NOTES:

1. CONCRETE 4000 PSI AFTER 28
2. REINFORCING #4-20 LOADING 4#
3. EACH CASTING TO HAVE LIFTING MORTAR.
4. MANHOLE STEPS TO BE ALUMINUM
5. APPLY TWO COATS OF BITUMAST

PRECAST CONCRETE MANHOLE DETAIL

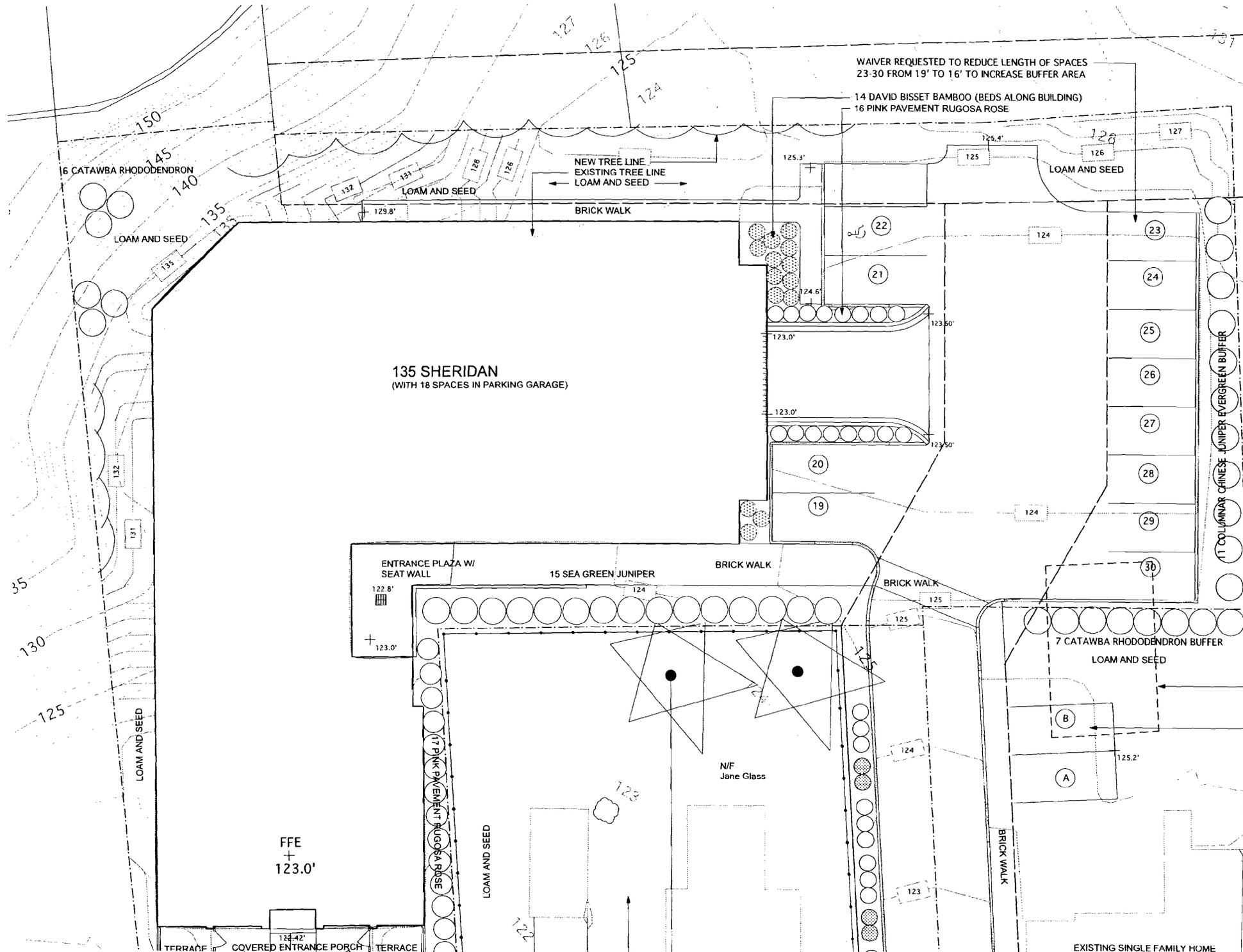
NOT TO SCALE



- CAST IRON FRAME WITH 3'X3' REINFORC CONCRETE F
- 10" PVC SCH 40
- 3/4" TO 2" CRUSHED WASHED STONE
- LIGHTWEIGHT STABILIZATION ME ALL STC

PARKING AREA STORM TANKS PROFILE

SCALE: HOR 1"=20'



WAIVER REQUESTED TO REDUCE LENGTH OF SPACES
23-30 FROM 19' TO 16' TO INCREASE BUFFER AREA

14 DAVID BISSET BAMBOO (BEDS ALONG BUILDING)
16 PINK PAVEMENT RUGOSA ROSE

6 CATAWBA RHODODENDRON

LOAM AND SEED

135 SHERIDAN
(WITH 18 SPACES IN PARKING GARAGE)

ENTRANCE PLAZA W/
SEAT WALL

15 SEA GREEN JUNIPER

BRICK WALK

BRICK WALK

7 CATAWBA RHODODENDRON BUFFER

LOAM AND SEED

11 COLUMNAR CHINESE JUNIPER EVERGREEN BUFFER

N/F
Jane Glass

FFE
+
123.0'

TERRACE COVERED ENTRANCE PORCH TERRACE

EXISTING SINGLE FAMILY HOME
121 CUECHMAN