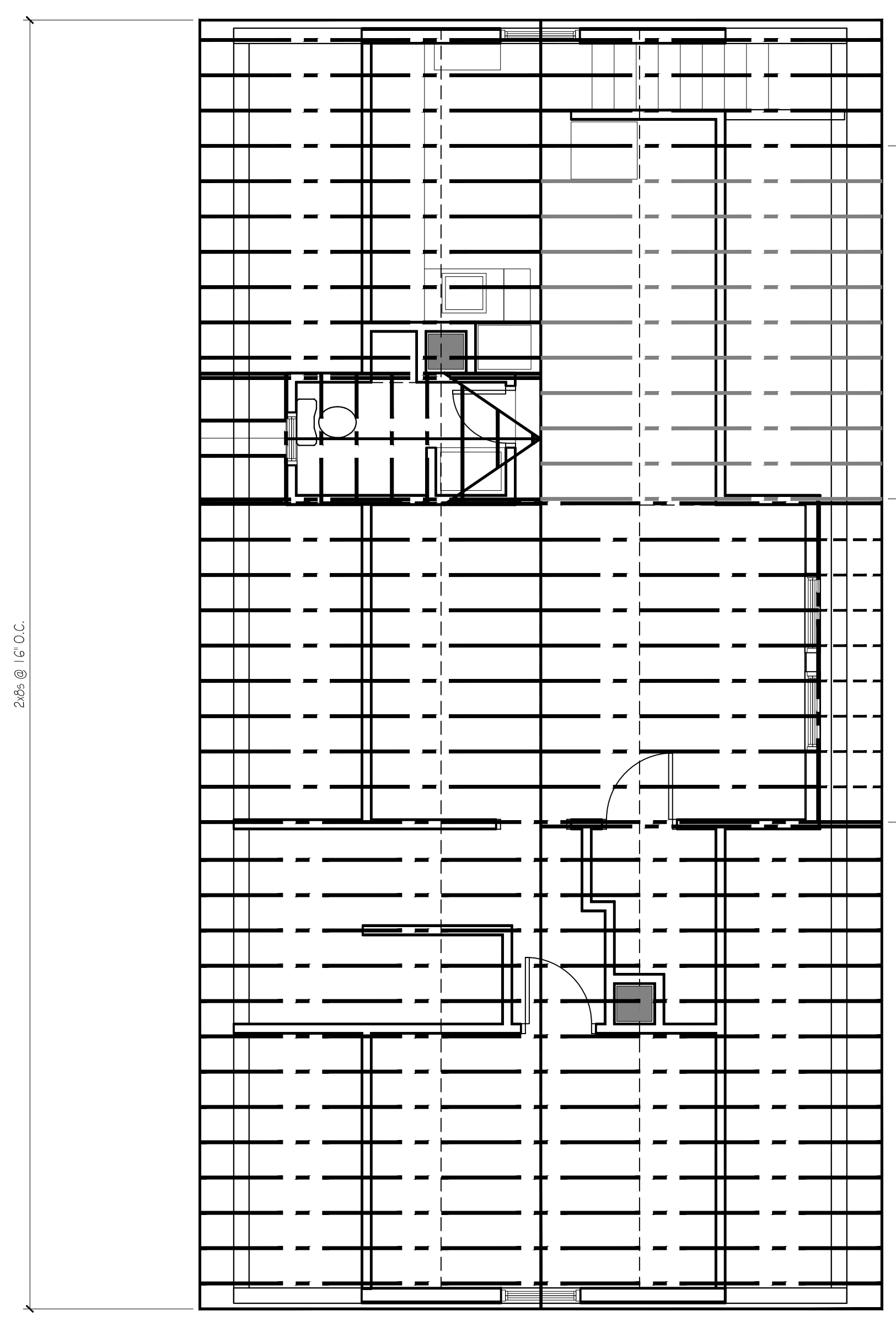
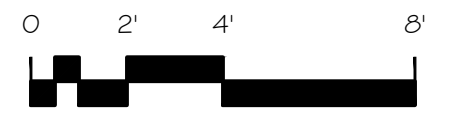


Renovations to Existing Apartment Building 23 Vesper Street

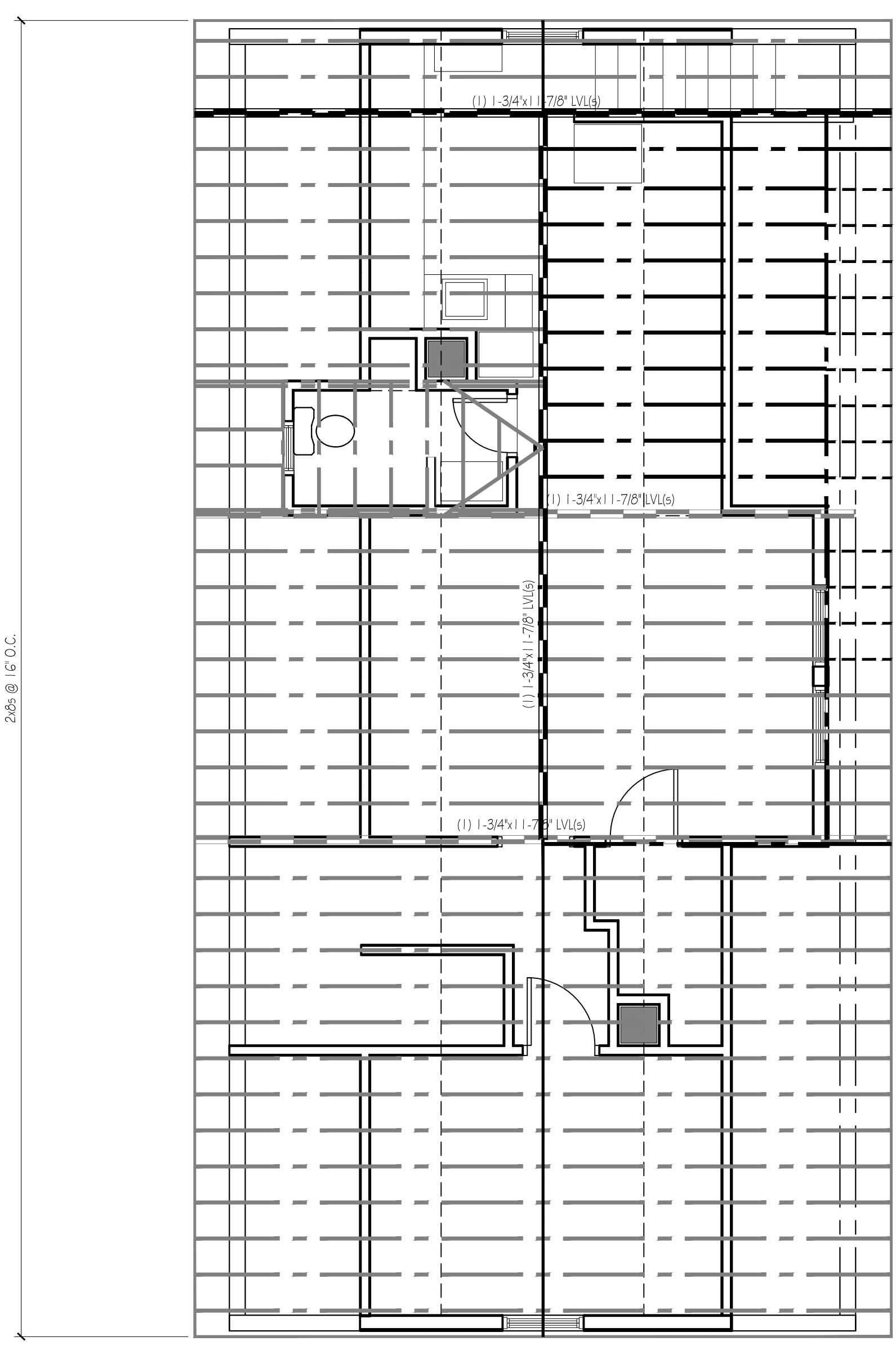


EXISTING FRAMING PLAN
 SCALE: 1/4" = 1'-0"

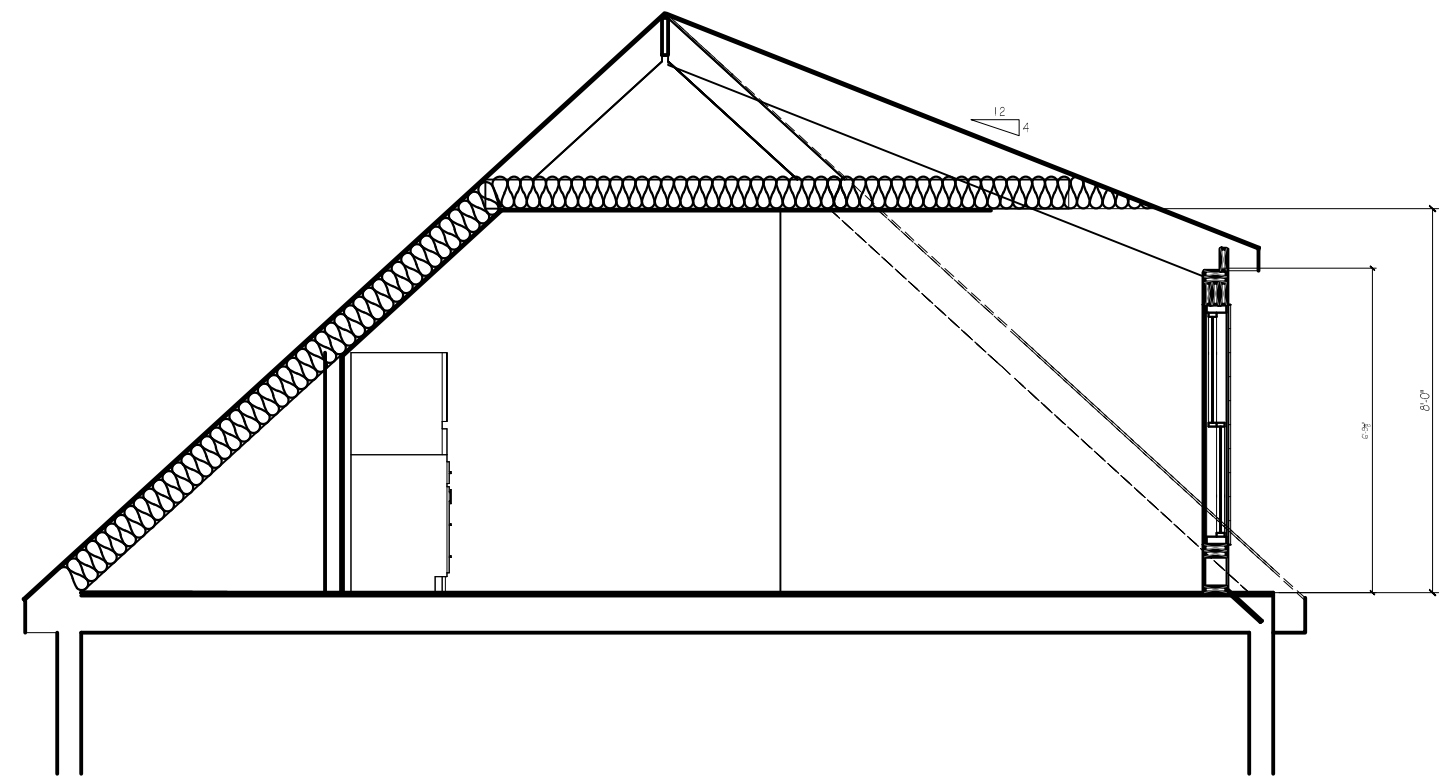


FRAMING DEMOLITION NOTES

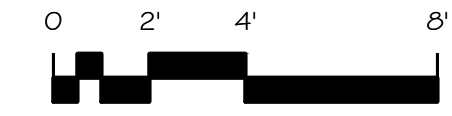
1. Remove lumber framing members as shown. Provide temporary support for any load bearing conditions
2. Masonry flues to remain
3. Provide temporary support for existing vent stack.



REVISED FRAMING PLAN
 SCALE: 1/4" = 1'-0"



REVISION TO ROOF PLAN
 SCALE: 1/4" = 1'-0"



LEGEND

	COLUMN CENTER-LINE OR CENTER STICK
	BRACING
	WALL BELOW FRAMING
	WALL ABOVE FRAMING
	ENGINEERED JOIST OR TRUSS
	SOLID SAWN WOOD JOIST OR RAFTER
	SOLID SAWN OR ENGINEERED RIM JOIST
	BEARING WALL
	SOLID SAWN WOOD JOIST DOUBLED UNDER WALLS RUNNING PARALLEL TO JOISTS
	ENGINEERED OR SOLID SAWN BEAM OR HEADER
	STEEL BEAM
	COLLAR TIE

WOOD FRAMING NOTES:

1. STRUCTURAL LUMBER: SPIB Grading Rules Agency / No. 2 or Better Southern Pine
 Fb = 1500 PSI Fv = 100 PSI
 Fc = 1650 PSI E = 1600000 PSI
2. DESIGN CODE: THIS BUILDING IS DESIGNED TO COMPLY WITH THE 2009 EDITION OF THE INTERNATIONAL BUILDING CODE, IBC 2009.
3. FASTENERS: COMPLY WITH RECOMMENDED FASTENING SCHEDULE OF THE INTERNATIONAL BUILDING CODE IBC 2009 UNLESS SHOWN OTHERWISE ON THE DRAWINGS.
4. SHEATHING: APA RATED 'EXPOSURE 1' PLYWOOD OR COMPOSITE PANEL:

LOCATION	THICKNESS	SPAN RATING	EDGE NAILING	FIELD NAILING
ROOF SHEATHING:	5/8-INCH	40/20	8d AT 6" OC	8d AT 12" OC
WALL SHEATHING:	1/2-INCH	16/0	8d AT 6" OC	8d AT 12" OC
FLOOR SHEATHING:	3/4-INCH	48/24	8d AT 6" OC	8d AT 12" OC
5. SPIKE TOGETHER ALL FRAMING MEMBERS WHICH ARE BUILT-UP USING MULTIPLE 2x LUMBER.
6. PROVIDE PRESSURE TREATED LUMBER FOR ALL LUMBER IN CONTACT WITH MASONRY OR CONCRETE OR EXPOSED TO WEATHER.
7. ROOF SHEATHING: 5/8" APA RATED SHEATHING, EXTERIOR OR STRUCTURAL I OR II RATED SHEATHING, SPAN RATING 40/20. INSTALL SHEETS WITH FACE GRAIN DIRECTION PERPENDICULAR TO SUPPORTING MEMBERS.
8. WALL SHEATHING: 1/2" APA RATED SHEATHING, EXTERIOR OR STRUCTURAL I OR II RATED SHEATHING, SPAN RATING 32/16. INSTALL SHEETS WITH FACE GRAIN DIRECTION PERPENDICULAR TO SUPPORTING MEMBERS.

1. Contractor/owner responsible for securing all necessary permits.
 2. Contractor/owner will Comply with all applicable codes and ordinances.
 3. Contractor/owner to verify all site grades and dimensions.

BY:	JJO
NO.	ISSUED FOR PERMIT
DATE:	02/23/18
CODE:	IRC 2009
TOWN:	Portland
DATE:	08-04-17
SCALE:	As Noted
DRAWN:	JJO
TITLE:	FRAMING PLANS
FILE:	
SHEET:	A1-03