

Form # P 04

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

Please Read
Application And
Notes, if Any,
Attached

BUILDING PERMITS SECTION

PERMIT

PERMIT ISSUED

Permit Number: 100419

MAX 10 2010

This is to certify that Casco Bay Ventures/Casco Bay Ventures
has permission to remove wood floor & pour concrete slab, change door doors to single in carriage house, associated with permit
AT 102 EASTERN PROMENADE 4000104 003 009001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lath or other work is used-in. 2 HOUSING NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
Department Name

Carrie Bonke 5/5/10
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-0419	Issue Date:	CBL: 003 C009001
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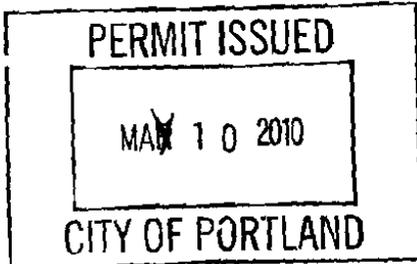
Location of Construction: 102 EASTERN PROMENADE	Owner Name: Casco Bay Ventures	Owner Address: 223 Woodville Stree	Phone: 329-3885
Business Name:	Contractor Name: Casco Bay Ventures	Contractor Address: 223 Woodville Road Falmouth	Phone: 2077977752
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Multi Family	Zone: R-6

Past Use: 7 residential condos with detached carriage house	Proposed Use: 7 single residential condos with detached carriage house, remove wood floor & pour concrete slab, change double doors to single in carriage house, associated with permit #080184	Permit Fee: \$90.00	Cost of Work: \$0.00	CEO District: 1
Proposed Project Description: remove wood floor & pour concrete slab, change double doors to single in carriage house, associated with permit #080184		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied N/A	INSPECTION: Use Group: R-2 Type: SB IBL-2003	
		Signature: <i>JMB</i>	Signature: <i>JMB 5/10</i>	
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)				
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied				
Signature: _____ Date: _____				

Permit Taken By: jmb	Date Applied For: 04/29/2010	Zoning Approval
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>5/4/10</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: _____
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the City of Portland Inspection Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months, if the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue with construction.**

 X **Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling**

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-0419	Date Applied For: 04/29/2010	CBL: 003 C009001
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Location of Construction: 102 EASTERN PROMENADE	Owner Name: Casco Bay Ventures	Owner Address: 223 Woodville Stree	Phone: () 329-3885
Business Name:	Contractor Name: Casco Bay Ventures	Contractor Address: 223 Woodville Road Falmouth	Phone: (207) 797-7752
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Multi Family	

Proposed Use: 7 single residential condos with detached carriage house, remove wood floor & pour concrete slab, change double doors to single in carriage house, associated with permit #080184	Proposed Project Description: remove wood floor & pour concrete slab, change double doors to single in carriage house, associated with permit #080184
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Dept: Zoning	Status: Approved with Conditions	Reviewer: Marge Schmuckal	Approval Date: 05/04/2010
Note:	Ok to Issue: <input checked="" type="checkbox"/>		
<ol style="list-style-type: none"> 1) The carriage house use is for accessory storage only - no living spaces. 2) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals. 3) This property shall remain a seven family condominium dwelling units. Any change of use shall require a separate permit application for review and approval. 4) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work. 			

Dept: Building	Status: Approved with Conditions	Reviewer: Jeanine Bourke	Approval Date: 05/05/2010
Note:	Ok to Issue: <input checked="" type="checkbox"/>		
<ol style="list-style-type: none"> 1) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm HVAC systems, heating appliances, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process. 2) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work. 			

Comments:
5/5/2010-jmb: This permit was required under the conditions of permit #08-0184



CITY OF PORTLAND, MAINE

Department of Building Inspections

Original Receipt

April 29 2010

Received from

Victoria Terrace

Location of Work

107 Eastern Promenade

Cost of Construction

\$ _____

Building Fee:

Permit Fee

\$ _____

Site Fee:

Certificate of Occupancy Fee:

Total:

50.00

Building (1L) _____

Plumbing (15) _____

Electrical (12) _____

Site Plan (12) _____

Other _____

CBL:

003 6009

Check #:

3268

Total Collected \$

50.00

**No work is to be started until permit issued.
Please keep original receipt for your records.**

Taken by:

Ray

WHITE - Applicant's Copy

YELLOW - Office Copy

PINK - Permit Copy



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>garage at 102 Eastern Prom</u>		
Total Square Footage of Proposed Structure/Area <u>600 Sq. ft.</u>		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>003 C 009</u>	Applicant <u>'must be owner, Lessee or Buyer'</u> Name <u>Casco Bay Ventures</u> Address <u>223 Woodville Rd.</u> City, State & Zip <u>Fal - 04105</u>	Telephone: <u>329 3885</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of W Work: \$ <u>2,200.</u> C of O Fee: \$ Total Fee: \$
Current legal use (i.e. single family) <u>Storage garage</u> <input checked="" type="checkbox"/>		
If vacant, what was the previous use? _____		
Proposed Specific use: <u>7 Storage units</u>		
Is property part of a subdivision? <u>NO</u> If yes, please name _____		
Project description: <u>Remove wood Floor AND Pour concrete Floor 4" to 8" Remove @ garage Doors Replace with one 36" Door AND one small Window</u>		
Contractor's name: <u>Casco Bay Ventures</u>		
Address: <u>223 Woodville Rd</u>		
City, State & Zip <u>Fal - 04105</u> - MAIL		Telephone: <u>329 3885</u>
Who should we contact when the permit is ready: <u>Wally</u>		Telephone: <u>329 3885</u>
Mailing address: <u>223 Woodville Rd Fal 04105</u>		

080184
current charges associated w/ # 080184

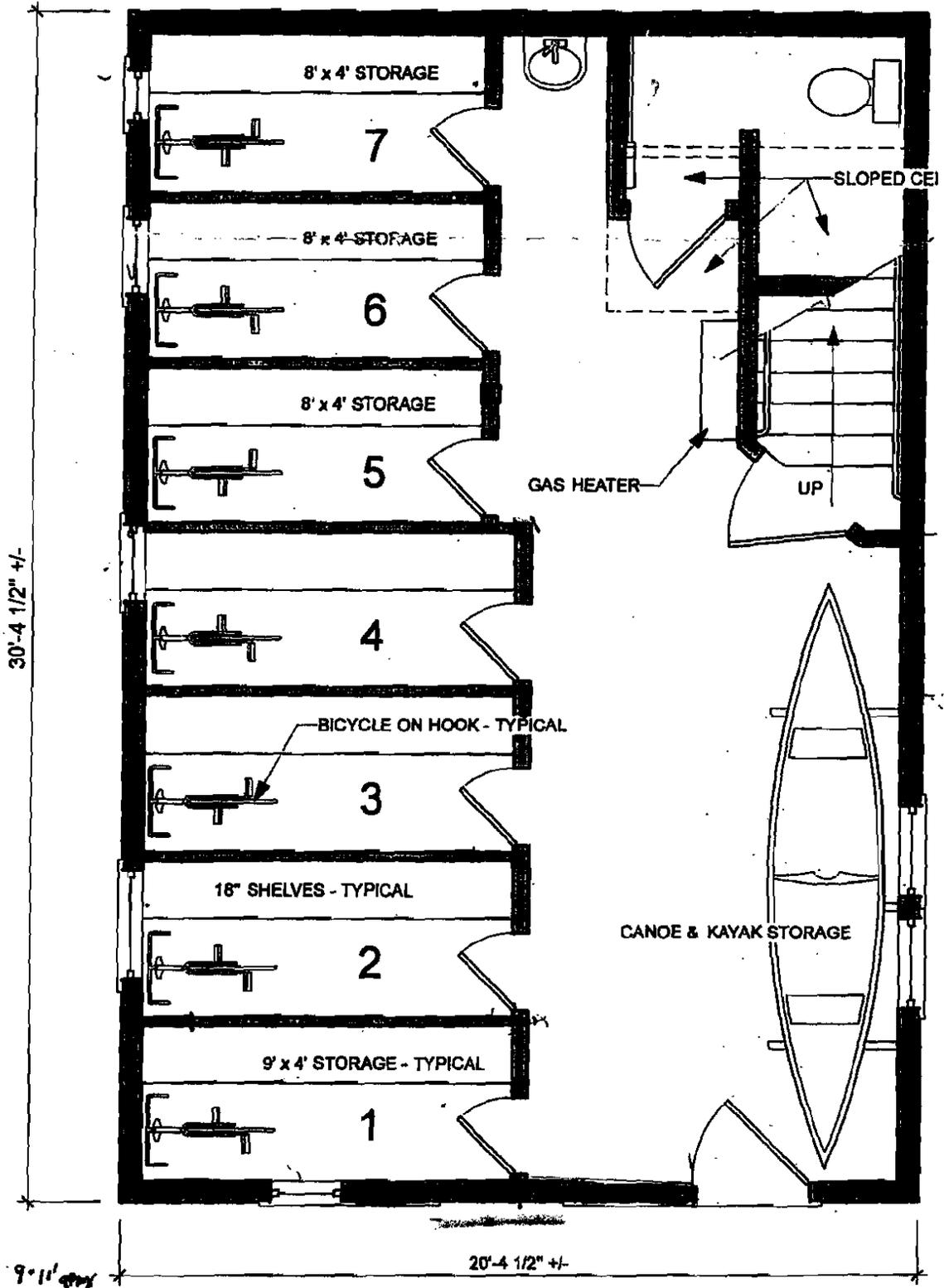
Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature Wally Dejer Date: 4-28-10

This is not a permit; you may not commence ANY work until the permit is issued



Floor-to ceiling 9'11" approx

20'-4 1/2" +/-

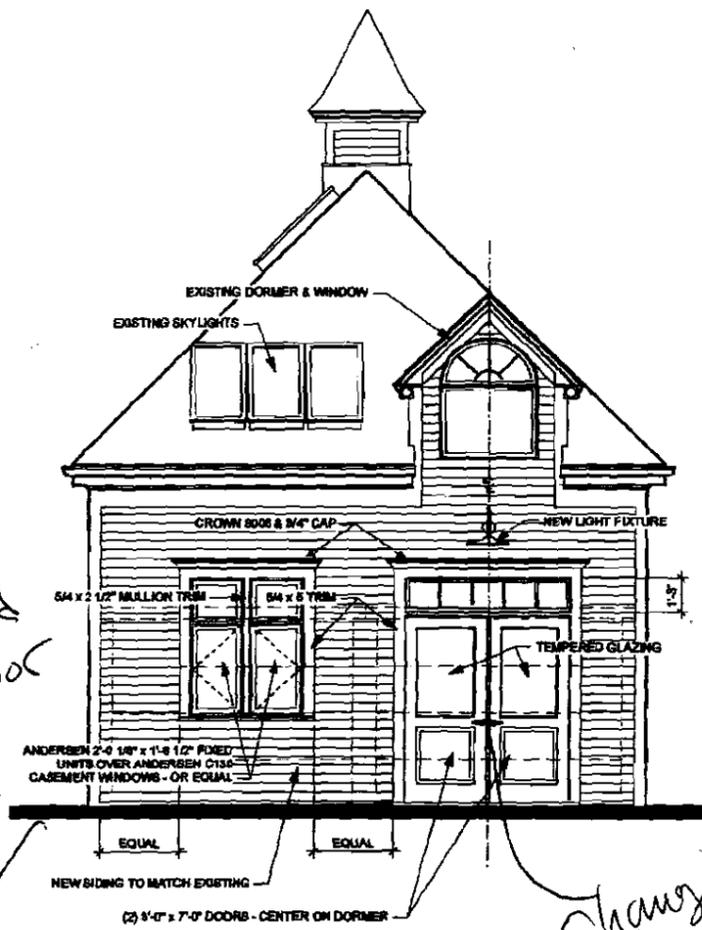
FIRST FLOOR PLAN

Scale: 1/4" = 1'-0"

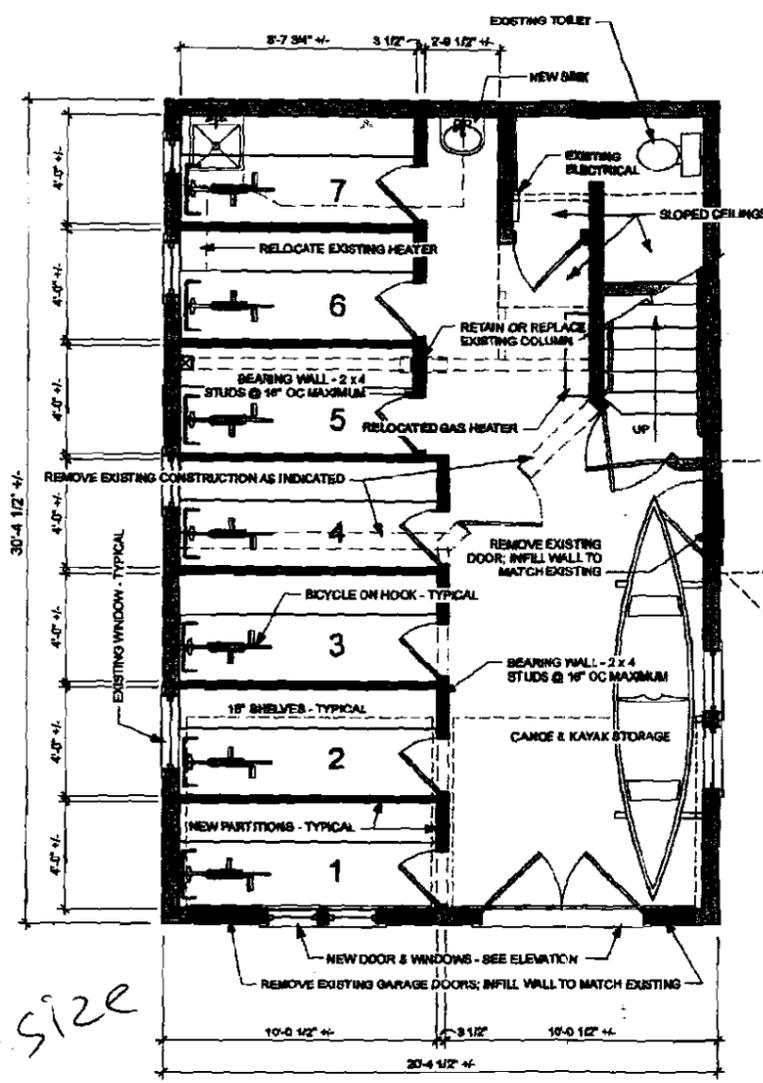
Carriage house

Removed old wood floor

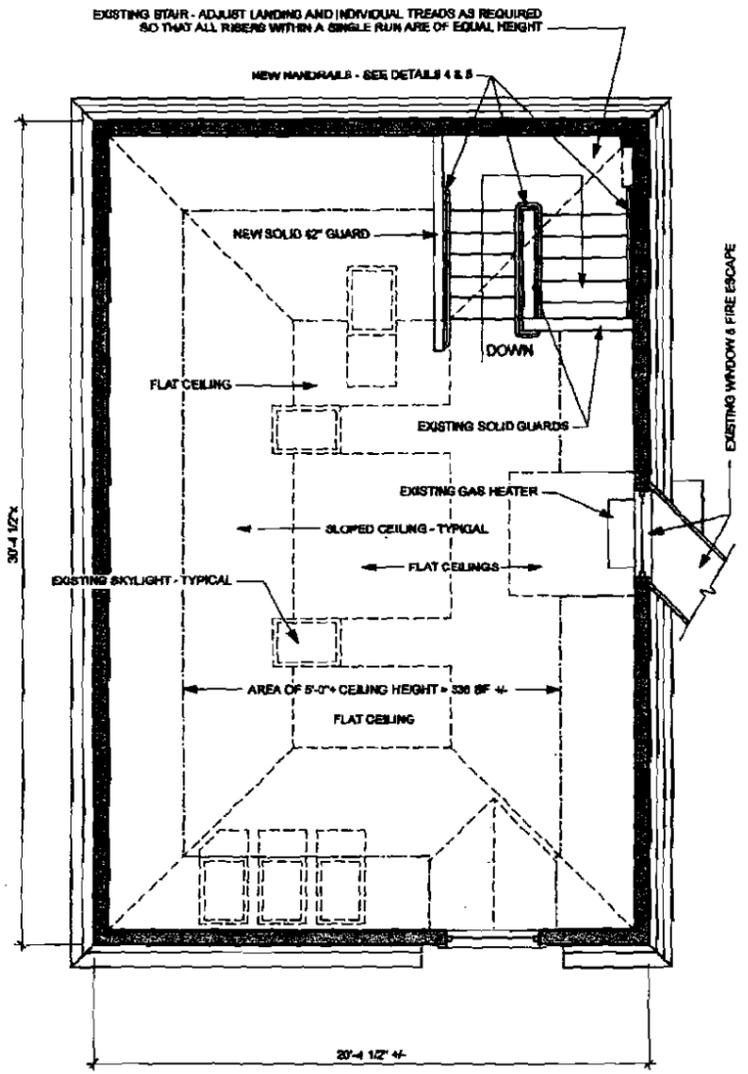
Down concrete floor



1 FRONT (SOUTHEAST) ELEVATION
Scale: 1/4" = 1'-0"



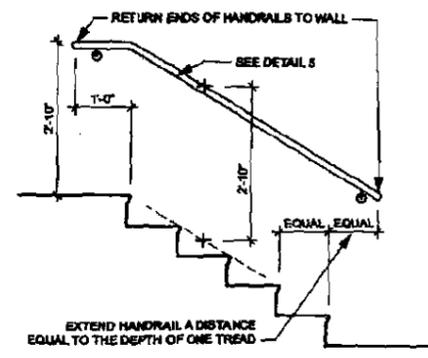
2 FIRST FLOOR PLAN
Scale: 1/4" = 1'-0"



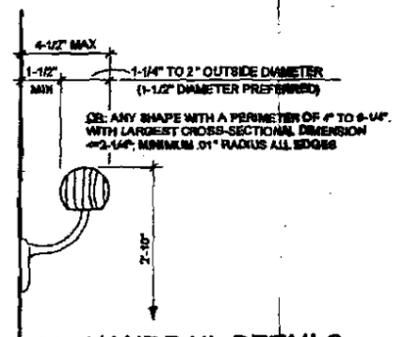
3 SECOND FLOOR PLAN
Scale: 1/4" = 1'-0"

ZONING REQUIREMENTS

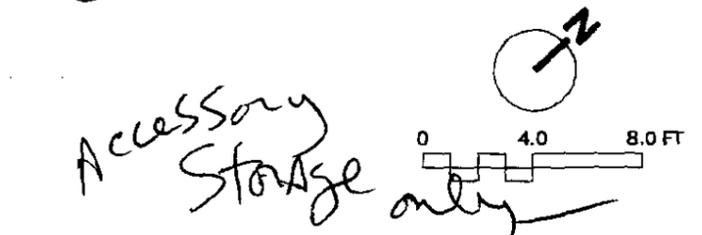
Zone:	R-6 Residential	
Synopsis:	Renovation of an existing detached garage that is accessory to an existing 4-story, 7-unit apartment building.	
Description:	Requirement	Design Space
Minimum Lot Size	4,500 sf	7,164.0 sf
Minimum area per unit	7,500 sf	7,454.8 sf
Minimum Street Frontage	40 ft	102'-5" +/-
Front Yard	10'	No (Existing Building)
Side Yards	10'	No (Existing Building)
Rear Yard	20'	No (Existing Building)
Maximum Lot Coverage	50%	36.3 %
Footprint - Carriage House		618.98 sf
Footprint - Apartment Building		1,938.01 sf
Minimum Lot Width	50'	72' +
Maximum Structure Height	48'	< 45'
Open Space Ratio	20%	21.0 %
Parking	0	7



4 HANDRAIL ELEVATION
Scale: 1/2" = 1'-0"



5 HANDRAIL DETAILS
Scale: 3" = 1'-0"



Accessory Storage only

The Captain's Quarters

CARRIAGE HOUSE RENOVATION
102 EASTERN PROMENADE, PORTLAND, MAINE

Casco Bay Ventures
223 Woodville Road
Falmouth, Maine 04105
(207)797-7752

February 27, 2008 10

1 OF 1

FLOOR PLANS & ELEVATION