

GENERAL NOTES

1: DRAWING NOTES:

DRAWING NOTES, UNLESS THEY INDICATE OTHERWISE, REFER TO NEW CONSTRUCTION

2: CODE COMPLIANCE:

ALL WORK SHALL CONFORM TO THE LATEST EDITION OF STATE, LOCAL AND OTHER CODES WHICH APPLY TO THIS PROJECT OR HAVE JURISDICTION

3: COORDINATION

IT IS THE RESPONSIBILITY OF THE BUILDER TO COORDINATE ALL DISCIPLINES AND TRADES SO THAT ALL BUILDING SYSTEMS AND COMPONENTS CAN BE ASSEMBLED WITHOUT CONFLICTS. IN THE EVENT THAT MECHANICAL CONSTRUCTION DOCUMENTS DEFINE CONDITIONS WHICH PROHIBIT, OR MAY PROHIBIT, SUCH ASSEMBLY, THE BUILDER SHALL BRING TO THE ARCHITECT'S ATTENTION SUCH CONDITION FOR RESOLUTION OR CLARIFICATION

4: DISCREPANCIES & CLARIFICATIONS:

THIS PROJECT INVOLVES THE RENOVATION OF AN EXISTING BUILDING. DIMENSIONS SHOWN ON THE DRAWINGS ARE BELIEVED TO BE ACCURATE, BUT CANNOT BE GUARANTEED. MEASURE AND VERIFY DIMENSIONS IN FIELD PRIOR TO FABRICATION AND/OR CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE BUILDER TO BRING TO THE ARCHITECT'S ATTENTION ANY DISCREPANCIES OR

5: LAYOUT:

UNLESS INDICATED OTHERWISE, FLOOR PLAN DIMENSIONS ARE TO FINISH FACE OF EXISTING CONSTRUCTION AND ARE TO FACE OF FRAMING OF NEW CONSTRUCTION. DOORS AND WINDOWS ARE DIMENSIONED TO CENTER LINES OR ROUGH OPENINGS.

6: CENTERING:

UNLESS INDICATED OTHERWISE, CENTER BUILDING ELEMENTS WITHIN OR BETWEEN BUILDING ELEMENTS WHEN CONDITIONS OR THE DRAWINGS INDICATE OR IMPLY THAT SUCH IS MEANT, WHETHER OR NOT DIMENSIONS ARE INCLUDED

7: SYMMETRY:

WHERE CONDITIONS OR THE DRAWINGS INDICATE OR IMPLY THAT SYMMETRY IS INTENDED, INFORMATION PROVIDED AT ONE SIDE APPLIES EQUALLY TO BOTH SIDES, UNLESS CONDITIONS CLEARLY PRECLUDE SUCH APPLICATION

8: DRAWING SCALES

WORK FROM THE GIVEN DIMENSIONS ONLY. SCALE IS INDICATED ON THE DRAWINGS FOR CONVENIENCE ONLY. IT IS NOT INTENDED THAT INFORMATION BE DETERMINED BY SCALING THE DRAWINGS SINCE SOME ITEMS MAY NOT BE TO SCALE

9: BUILDING INSULATION:

PROVIDE AS INDICATED, WHETHER OR NOT SHOWN CONSISTENTLY IN DETAILS OR OTHER DRAWINGS. FOR CLARITY, INSULATION MAY NOT BE SHOWN IN SOME CASES, EVEN IF IT IS TO BE PROVIDED.

10: BLOCKING:

INSTALL BLOCKING BEHIND A SURFACE-APPLIED ITEMS SUCH AS FIXTURES, TRIM, CASEWORK, SHELVES, BRACKETS, TOILET ACCESSORIES, CHAIR RAILS, PICTURE RAILS, GRAB BARS, HANDRAIL BRACKETS, AND BASE MOLDINGS WHEN SUCH ITEMS ARE APPLIED ON STUD WALLS

11: PENETRATIONS AT STRUCTURAL MEMBERS:

BEFORE PENETRATING JOISTS, BEAMS OR OTHER STRUCTURAL MEMBERS, THE PENETRATION OF WHICH IS NOT SHOWN ON THE DRAWINGS, CONSULT WITH THE ARCHITECT.

12: RATED CONSTRUCTION:

PROVIDE RATED CONSTRUCTION AS REQUIRED BY CODE, AS SPECIFIED, AND AS INDICATED ON DRAWINGS. IT IS THE RESPONSIBILITY OF THE BUILDER TO PROVIDE AND INSTALL ALL COMPONENTS REQUIRED TO CREATE SUCH RATED CONSTRUCTION, REGARDLESS OF WHETHER OR NOT SUCH COMPONENTS ARE INDICATED. PROVIDE CONTINUITY OF SUCH RATED CONSTRUCTION AROUND AND BETWEEN SPACES, INCLUDING AT WALLS, AT FLOORS AND/OR CEILINGS, AT CHASES, AT JOINTS, AND AT ASSEMBLY PENETRATIONS, TO MAINTAIN COMPLETE SEPARATION, EVEN IF NOT SPECIFICALLY INDICATED

DO NOT PENETRATE WALLS OR FLOORS/CEILINGS ENCLOSING STAIRS WITH MECHANICAL, PLUMBING, GAS, SPRINKLER, ELECTRICAL OR DATA PIPES, WIRES OR CONDUITS, EXCEPT THOSE REQUIRED SPECIFICALLY TO SERVE THE STAIR ITSELF

13: INTERIOR FINISHES:

INTERIOR FINISHES - INCLUDING BASES, WAINSCOTS, CHAIR RAILS & CROWN MOLDINGS IF APPLICABLE - INDICATED FOR ONE WALL OF A SPACE OR ROOM ARE APPLICABLE FOR ALL WALLS OF THE SPACE OR ROOM UNLESS INDICATED OTHERWISE

14: DIMENSIONING STANDARD:

(*) SYMBOL INDICATES ACTUAL DIMENSIONS - EXAMPLES:

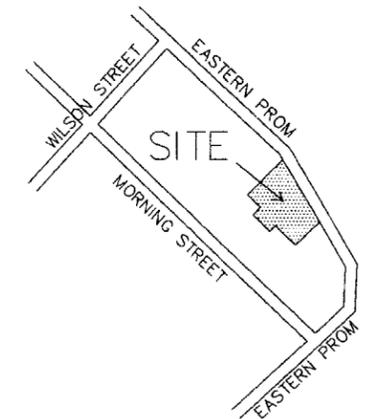
3/4" x 5 1/2" INDICATES ACTUAL DIMENSIONS
1 x 6 INDICATES NOMINAL DIMENSIONS

15: EXISTING CONDITIONS DOCUMENTATION:

EXISTING CONDITIONS DRAWINGS BASED ON "PROMENADE ESTATES CONDOMINIUM- DOCUMENTATION DRAWINGS, 11-29-2005 REV 1, PREPARED BY BACK BAY BOUNDARY, INC

NUMBER	LOCATION	TYPE	WIDTH	HEIGHT	INSULATED	RATING	CLOSER	REMARKS
301	MAIN ENTRY DOOR	SINGLE	3'-0"	MATCH EXISTING (6'-8" MIN)	INSULATED	45 MINUTE	CLOSER	--
302	CLOSET	SINGLE	1'-10" +/-	MATCH EXISTING (6'-8" MIN)	--	--	--	VERIFY WIDTH BASED ON PIANO WIDTH
303	LIBRARY	DOUBLE	5'-0"	MATCH EXISTING (6'-8" MIN)	--	--	--	GLAZED FRENCH DOORS WITH MUNTINS
304	EGRESS STAIR	SINGLE	3'-0"	MATCH EXISTING (6'-8" MIN)	INSULATED	45 MINUTE	CLOSER	--
305	LAUNDRY	SINGLE	2'-3"	MATCH EXISTING (6'-8" MIN)	--	--	--	--
306	BEDROOM	SINGLE	2'-8"	MATCH EXISTING (6'-8" MIN)	--	--	--	--
307	BATHROOM	SINGLE	2'-4"	MATCH EXISTING (6'-8" MIN)	--	--	--	--
308	BATHROOM	SINGLE	2'-4"	MATCH EXISTING (6'-8" MIN)	--	--	--	--
309	CLOSET	SINGLE	1'-10"	MATCH EXISTING (6'-8" MIN)	--	--	--	--
310	CLOSET	DOUBLE	3'-8"	MATCH EXISTING (6'-8" MIN)	--	--	--	--
311	CLOSET	SINGLE	1'-10"	MATCH EXISTING (6'-8" MIN)	--	--	--	--
401	MASTER BEDROOM	SINGLE	2'-8"	MATCH EXISTING (6'-8" MIN)	--	--	--	--
402	EGRESS STAIR	SINGLE	3'-0"	MATCH EXISTING (6'-8" MIN)	INSULATED	45 MINUTE	CLOSER	--
403	MASTER BATH	SINGLE	2'-4"	MATCH EXISTING (6'-8" MIN)	--	--	--	--
404	WALK-IN CLOSET	SINGLE	2'-4"	MATCH EXISTING (6'-8" MIN)	--	--	--	ADJUST TOP TO ACCOMMODATE ROOF

LOCATION MAP



ABBREVIATIONS

AFF	ABOVE FINISH FLOOR
FF	FINISH FLOOR
GWB	GYPSUM WALL BOARD
LLH	LONG LEG HORIZONTAL
MAX	MAXIMUM
MDO	MEDIUM DENSITY OVERLAY
MIN	MINIMUM
MTL	METAL
NIC	NOT IN CONTRACT
OC	ON CENTER
oz	OUNCE
PT	PRESSURE TREATED
PTD	PAINTED
R	RISER
SQ	SWARE
TOW	TOPOFWAU
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE
VIF	VERIFY IN FIELD

LEGEND

	EXISTING WALL TO REMAIN
	WALL TO BE REMOVED
	NEW WALL
	1-HOUR RATED CONSTRUCTION; AT EXISTING WALLS, PROVIDE 5/8" TYPE-X GWB WHEREVER EXISTING GWB OR PLASTER IS REMOVED
	EMERGENCY LIGHT
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	EXHAUST FAN
	GAS DETECTOR (PROPANE/NATURAL GAS)

CODE INFORMATION

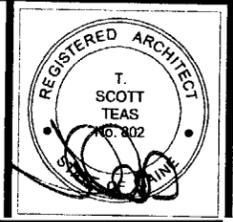
SUMMARY:	RENOVATION OF SINGLE TWO-LEVEL DWELLING UNIT ON 3rd AND 4th LEVELS OF EXISTING FOUR-LEVEL WOOD FRAME BUILDING
OCCUPANCY:	R-2 RESIDENTIAL
CONSTRUCTION TYPE:	TYPE V UNPROTECTED COMBUSTIBLE
SPRINKLER SYSTEM:	NO
BUILDING CODE:	INTERNATIONAL BUILDING CODE (IBC) 2003

CONSULTANTS

STRUCTURAL	Timothy G. Shelley, P.E. Shelley Engineering, Inc. 90 Bridge Street Westbrook, Maine 04092 (207)854-5465
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INDEX OF DRAWINGS

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A-1.1	LOWER LEVEL AND ROOF PLANS
A-1.2	THIRD FLOOR PLAN
A-1.3	FOURTH FLOOR PLAN



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Valerie Birnhak Residence
 Promenade Estates Condominium
 108 Eastern Promenade, Portland, Maine

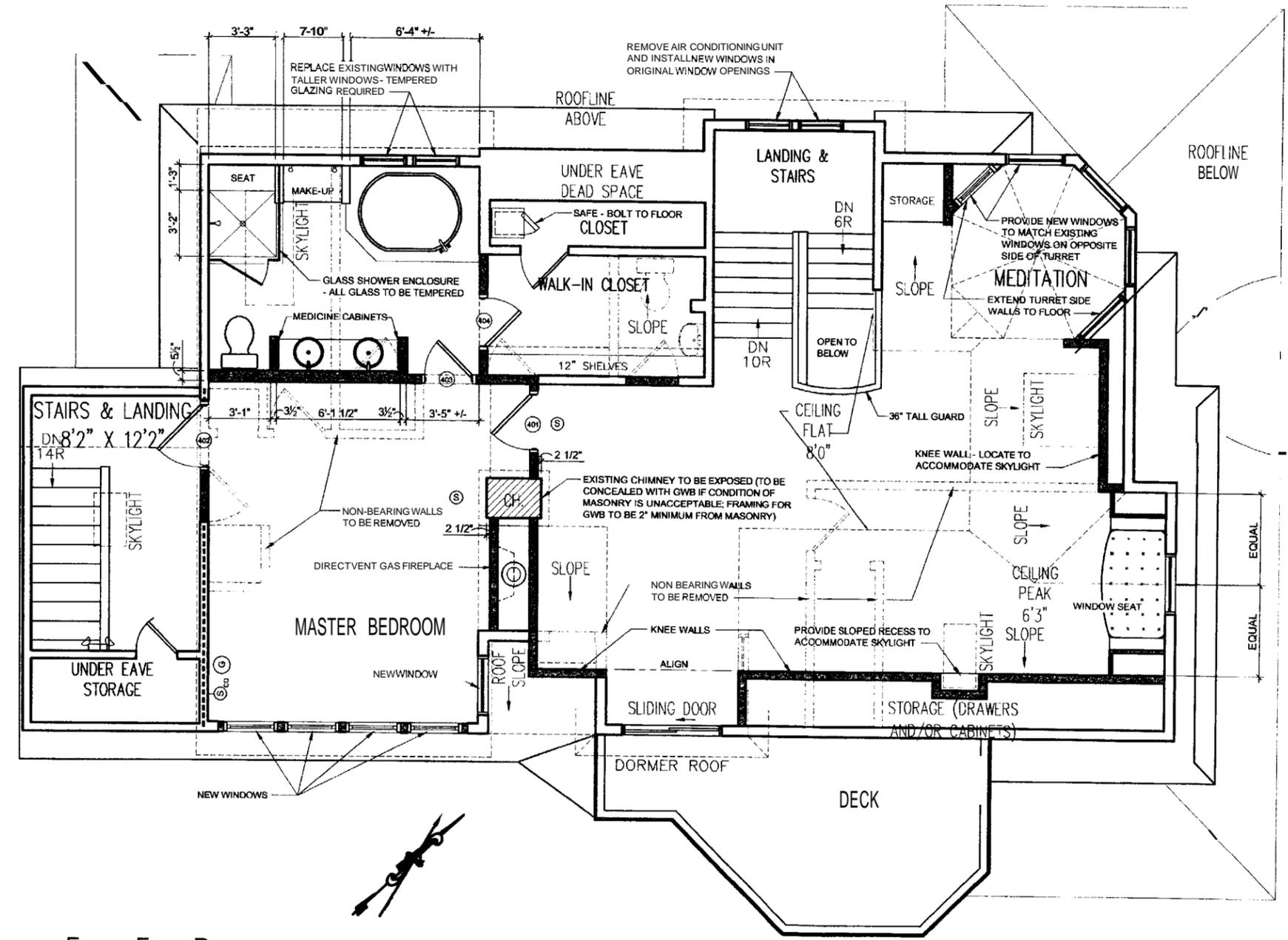
TFH ARCHITECTS
 60 COMMERCIAL STREET
 PORTLAND, MAINE 04101
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 ARCHITECTURE PLANNING

REVISIONS

DATE	January 24, 2006
PROJECT No.	0511
DRAWN BY	WJ1
CHECKED BY:	TS1
SCALE:	As Noted

SHEET TITLE:
**Residence:
 Fourth Floor Plan**

A-1.3



FOURTH FLOOR PLAN
 Scale: 1/4" = 1'-0"

- GENERAL NOTES** (SEE G-1.1 FOR MORE GENERAL NOTES)
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 - LAYOUT:**
 UNLESS INDICATED OTHERWISE, FLOOR PLAN DIMENSIONS ARE TO FINISH FACE OF EXISTING CONSTRUCTION AND ARE TO FACE OF FRAMING OF NEW CONSTRUCTION