

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

BUILDING INSPECTION

Permit Number: 070186

This is to certify that JENKINS FLOYD RONALD / M R Brewer

has permission to Unit #8 - Interior renovation Add a Room

AT 49 MORNING ST

003 B004008

PERMIT ISSUED

MAY - 9 2007

provided that the person or persons who accept this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is occupied or services are provided. 4 HOUR NOTICE REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____

Department Name

Jamie Louke 5/1/07
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 07-0186	Issue Date:	CBL: 003 B004008
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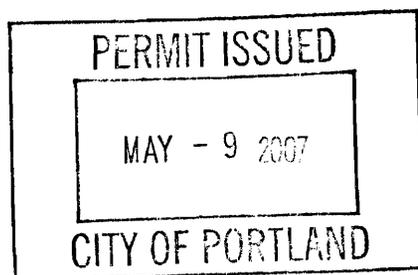
Location of Construction: 49 MORNING ST	Owner Name: JENKINS FLOYD RONALD JR	Owner Address: 49 MORNING ST # 8	Phone:
Business Name:	Contractor Name: M R Brewer	Contractor Address: 91 Bell St Portland	Phone 2077977534
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Multi Family	Zone: RL

Past Use: Multi- Tenant Condo- Unit #8	Proposed Use: Multi- Tenant Condo- Unit #8 - Interior renovation & Add a Roof Deck <i>legal use - 8 residential condominiums</i>	Permit Fee: \$1,320.00	Cost of Work: \$130,000.00	CEO District: 1
Proposed Project Description: Unit #8 - Interior renovation & Add a Roof Deck		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied <i>See Conditions</i>	INSPECTION: Use Group: <i>R2</i> Type: <i>SB</i> <i>IBC-2003</i>	
		Signature: <i>Greg Cross</i> Signature: <i>JMB 5/1/07</i>		
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)				
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied				
Signature: _____ Date: _____				

Permit Taken By: Idobson	Date Applied For: 02/21/2007	Zoning Approval		
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews	Zoning Appeal	Historic Preservation
<input type="checkbox"/> Shoreland	<input type="checkbox"/> Variance	<input checked="" type="checkbox"/> Not in District or Landmark
<input type="checkbox"/> Wetland	<input type="checkbox"/> Miscellaneous	<input type="checkbox"/> Does Not Require Review
<input type="checkbox"/> Flood Zone	<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Requires Review
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Interpretation	<input type="checkbox"/> Approved
<input checked="" type="checkbox"/> Site Plan <i>exemption</i>	<input type="checkbox"/> Approved	<input type="checkbox"/> Approved w/Conditions
Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/>	<input type="checkbox"/> Denied	<input type="checkbox"/> Denied <i>Asm</i>
Date: <i>4/3/07 ABM</i>	Date: _____	Date: _____



CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 07-0186	Date Applied For: 02/21/2007	CBL: 003 B004008
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Location of Construction: 49 MORNING ST	Owner Name: JENKINS FLOYD RONALD JR	Owner Address: 49 MORNING ST # 8	Phone:
Business Name:	Contractor Name: M R Brewer	Contractor Address: 91 Bell St Portland	Phone: (207) 797-7534
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Multi Family	

Proposed Use: Multi- Tenant Condo- Unit #8 - Interior renovation & Add a Roof Deck	Proposed Project Description: Unit #8 - Interior renovation & Add a Roof Deck
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Ann Machado **Approval Date:** 04/03/2007

Note: The roof deck is not raising the height of the building because it is sitting on "shims" on the roof which make a level space for the deck since the roof is sloped. **Ok to Issue:**

Section 14-430 allows roof structures which house stairways to go above the maximum height limitation.

- 1) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Jeanine Bourke **Approval Date:** 05/01/2007

Note: **Ok to Issue:**

- 1) Separate permits are required for any electrical, plumbing, or HVAC systems. Separate plans may need to be submitted for approval as a part of this process.
- 2) All floors and walls that separate dwelling units to be 1 hour rated or dwelling units and common areas are required to meet a 2 hour fire rated assembly and sound transmission rating of 50 STC.
- 3) All penetrations between dwelling units and dwelling units and common areas shall be protected with approved firestop materials.
- 4) Hardwired interconnected battery backup smoke detectors shall be installed in all bedrooms, protecting the bedrooms, and on every level.
- 5) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on the comments for the approval.
- 6) Your guardrail system installed around your deck must meet the loading requirements of section 1607.7.1 of the IBC 2003 Building Code.

Dept: Fire **Status:** Approved with Conditions **Reviewer:** Cptn Greg Cass **Approval Date:** 04/04/2007

Note: **Ok to Issue:**

- 1) Fire alarm system shall comply with NFPA 101. A compliance letter is required.
- 2) All construction shall comply with NFPA 101

Comments:

2/23/2007-ldobson: No longer doing work in unit 6. Bought an additional unit, unit #8 CBL 003 B004006 Credited \$290 to new CBL 003004008 Withdrew previous permit for #6

2/27/2007-amachado: Spoke to Matt Brewer. Need elevation plans for whole building showing the new structure. We need a plot plan.

Location of Construction: 49 MORNING ST	Owner Name: JENKINS FLOYD RONALD JR	Owner Address: 49 MORNING ST # 8	Phone:
Business Name:	Contractor Name: M R Brewer	Contractor Address: 91 Bell St Portland	Phone (207) 797-7534
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Multi Family	

4/2/2007-amachado: Reviewed elevation plans. Height of building from grade to top of roof is over 45'. Don't know what height is to roof beams or what the average grade is. Deck has structural support, so it is adding height to the building and therefore is making a legally nonconforming building more nonconforming. I talked to Matt Brewer, emailed him and sent a letter. He said that he would get back to me.

4/3/2007-amachado: Received information from David Lloyd. The deck is sitting on "shims" which are making it level for the deck because the roof is sloped.

4/3/2007-amachado: Filled out site plan exemption application. Don't issue until receive site plan exemption.

4/17/2007-gg: received granted site exemption as of 04/17/07 Put in with permit (Tammy)

5/1/2007-jmb: Spoke to Matt B. About tempered glass in the penthouse at the spiral stair, need structural stamp for plan A2 framing, need specs on guardrail system and glass, verified smoke detectors to code in unit, all the wall coverings will be removed and replaced with 5/8 type x. All common hall walls will be insulated, resilient channel and 2 layers of 5/8. The walls separating dwelling units the same with 1 layer of 5/8. He will provide a detail for the new front hall waste pipe for the new bathroom to be 2 hr rated with firestopping. Ok to issue with conditions



APPLICATION FOR EXEMPTION FROM SITE PLAN REVIEW

Applicant	DEPT. OF BUILDING INSPECTION CITY OF PORTLAND, ME	Application Date
Applicant's Mailing Address	APR 11 2007	Project Name/Description
Consultant/Agent/Phone Number	RECEIVED	Address of Proposed Site

CBL: _____

Description of Proposed Development:

Please Attach Sketch/Plan of Proposal/Development

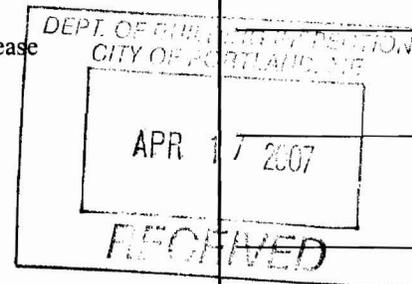
Criteria for Exemptions:

See Section 14-523 (4) on back side of form

- a) Within Existing Structures; No New Buildings, Demolitions or Additions
- b) Footprint Increase Less Than 500 Sq. Ft.
- c) No New Curb Cuts, Driveways, Parking Areas
- d) Curbs and Sidewalks in Sound Condition/Comply with ADA
- e) No Additional Parking/ No Traffic Increase
- f) No Stormwater Problems
- g) Sufficient Property Screening
- h) Adequate Utilities

Applicant's Assessment
(Yes, No, N/A)

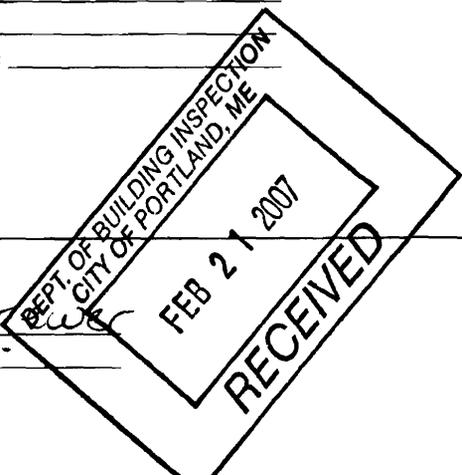
Planning Office
Use Only





General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>419 Manning Street Unit #8</u>		
Total Square Footage of Proposed Structure		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>003 B 004-080</u>	Owner: <u>Ren Jenkins</u>	Telephone: <u>899-4595</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>M.R. Brewer Fire Woodworking</u> <u>91 Bell Street</u> <u>Portland ME 04105</u> <u>797-7534</u>	Cost Of Work: \$ <u>150,000.-</u> Fee: \$ <u>4130.-</u> C of O Fee: \$ _____
Current legal use (i.e. single family) <u>8 Unit Condo Unit # 8</u>	If vacant, what was the previous use? _____	
Proposed Specific use: _____		
Is property part of a subdivision? _____ If yes, please name _____		
Project description: <u>Interior renovation & Roof Deck.</u>		
Contractor's name, address & telephone: <u>Same as Applicant</u>		
Who should we contact when the permit is ready: <u>Matthew Brewer</u>		
Mailing address: _____ Phone: <u>797-7534</u>		

Please submit all of the information outlined in the Commercial Application Checklist.
Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant:

Date:

This is not a permit; you may not commence ANY work until the permit is issued.



Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

*Lee Urban- Director of Planning and Development
Marge Schmuckal, Zoning Administrator*

April 2, 2007

Matthew Brewer
M. R. Brewer Fine Woodworking
91 Bell Street
Portland, ME 04103

RE: 49 Morning Street – 003 B004 – R-6 – roof top deck – permit #07-0186

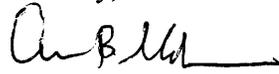
Dear Mr. Brewer,

On February 27, 2007, I reviewed your application to add a roof top deck and do interior renovations to unit # 8 at 49 Morning Street. I called you that day to tell you that the application was incomplete. I told you that I needed a plot plan showing the building and where it was located on the lot and full elevation plans of the whole building from grade to the top of the building including the proposed roof top deck. I received the site plan and full elevation plans on Friday, March 30, 2007.

In reviewing the elevation plans today, I discovered that the roof top deck exceeds or is close to exceeding the maximum allowable building height in the R-6 zone. Section 14-139(1)(g) of the ordinance states that the maximum allowable building height for a principal building in the R-6 zone is forty-five feet. Section 14-47 of the ordinance states that the height of a building with a flat roof is measured from grade to the highest point of the roof beams. The elevation plans that were submitted did not show the roof beams, so I was unable to measure the actual height of the building. Measuring to the top of the roof puts the building over the forty-five foot maximum allowable height. I need a set of elevation plans that show the roof beams. Also the grade of the building slopes down from the front of the building to the rear of the building, so I need to know what the average grade is. Without this information, I cannot tell if the proposed roof top deck meets the maximum allowable height. Since the proposed deck will sit on shims, it is on structural supports, so the height of the roof is increased. The permit is on hold until I receive the necessary information.

Please feel free to call me if you have any questions.

Sincerely,

A handwritten signature in black ink, appearing to read "Ann B. Machado", with a horizontal line extending to the right.

Ann B. Machado
Zoning Specialist
(207) 874 8709

From: Ann Machado
To: matt@mrbrewerfinewoodworking.com
Date: 4/2/2007 10:52:02 AM
Subject: 49 Morning Street

Matt -

I received the full elevation plans of the whole building from Archetype, P.A. Architects on Friday, March 30, 2007. In the R-6 zone the maximum allowable height of a principal structure is 45' (section 14-139). In a building with a flat roof, the height of the building is measured from grade to the highest point of the roof beams (section 14-47). The elevation plans did not show the roof beams. On the elevation plans, the grade also slopes down from the front of the building to the rear. I scaled the distance from the grade to the top of the roof at the front corner of the building which came out to 46'10". I also scaled the distance from grade to the top of the roof at the back corner of the building which came out to 50'3". I could not scale to the highest point of the roof beam, since it was not shown on the plan, but both heights that I scaled were over the maximum 45' height limit. The proposed roof deck is going on shims on top of the existing roof. Since these are structural supports, they are adding to the height of the building which is already over the maximum allowable height, and therefore with the information that I have received so far, I have to deny the application to build the roof deck.

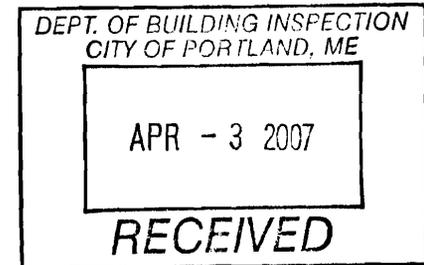
Ann Machado
Zoning Specialist
874-8709

From: "David Lloyd" <lloyd@archetypepa.com>
To: "Ann Machado" <AMACHADO@portlandmaine.gov>
Date: 4/3/2007 10:06:38 AM
Subject: RE: FW: Jenkins Roof Deck Detail

The shims would be 2 by 6's ,ripped to the slope of the roof and continuous providing nailing at 16 inches on center. The contractor will frame around the outer edge. The 2 by 6 box just sits on the EPDM or floats. We then have a hold down clip on the outer edge of the railing to prevent uplift shown on detail 6 and 7 drawing A2.

Please let me know if this is sufficient or if you want this shown on our drawings.

David Lloyd
Archetype, P.A.
48 Union Wharf
Portland, ME 04101
Phone: (207) 772-6022
Fax: (207) 772-4056
lloyd@archetypepa.com
<http://www.archetype-architects.com>



-----Original Message-----

From: Ann Machado [mailto:AMACHADO@portlandmaine.gov]
Sent: Tuesday, April 03, 2007 8:53 AM
To: lloyd@archetypepa.com
Subject: Re: FW: Jenkins Roof Deck Detail

David -

Thanks for the email. I just need a little more clarification on exactly what the shims are. On the full size set of plans the shims scale at 3.5" wide. I know that the height varies. How long are these shims? Do they go all the way across underneath or how are they placed? Maybe a birds eye view of the deck showing where the shims will be located underneath would help.

Thanks, Ann
874-8709

>>> "David Lloyd" <lloyd@archetypepa.com> 4/2/2007 3:33:05 PM >>>
Ann

In regards to your concerns on the proposed roof deck at 49 Morning Street I have the following to report

1: The existing building will not be changed in height as we are not altering the height of the existing roof beams.

2: The proposed roof deck will be sitting on non structural shims ,which allow the roof deck to be level ,without changing the slope of the existing roof.

3: Attached is a drawing showing the existing roof beam location and the proposed deck

In summation we feel that we have met the intent of the existing zoning bylaws by not raising the level of the roof beams. I hope this clarifies this condition and please call with any questions or concerns.

David

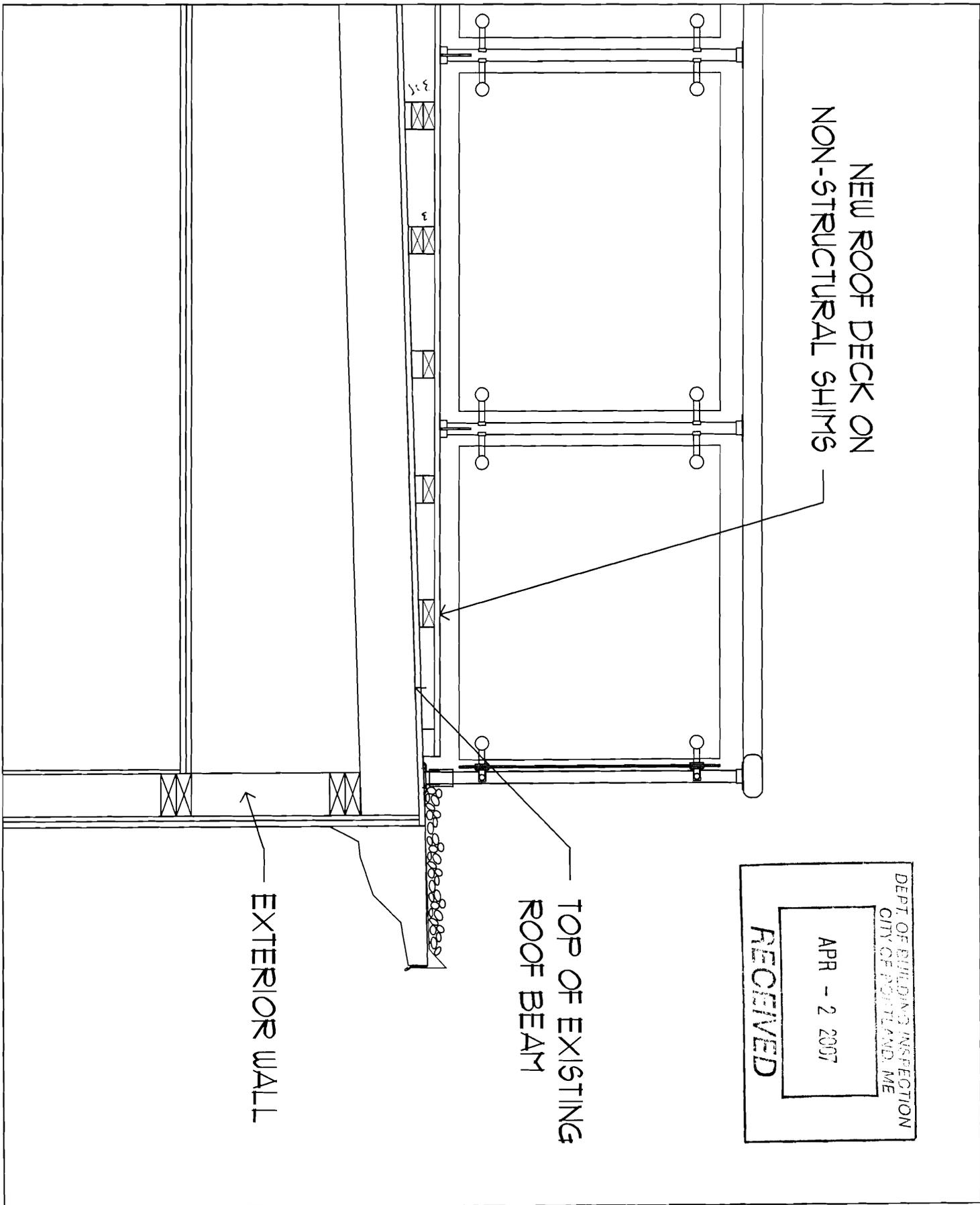
David Lloyd
Archetype, P.A.
48 Union Wharf
Portland, ME 04101
Phone: (207) 772-6022
Fax: (207) 772-4056
lloyd@archetypepa.com
<http://www.archetype-architects.com>
<<http://www.archetype-architects.com/>>

From: Jared McKenna [mailto:jared@archetypepa.com]
Sent: Monday, April 02, 2007 3:02 PM
To: David Lloyd
Subject: Jenkins Roof Deck Detail

Jared McKenna
Archetype Architects
Portland, ME 04101, USA
Tel: (207)-772-6022
Fax: (207)-772-4056
jared <mailto:n@archetypepa.com> @archetypepa.com

<<http://www.archetype-architects.com/>> www.archetype-architects.com

CC: "Matt Brewer" <matt@mrbrewerfinewoodworking.com>



DEPT. OF BUILDING INSPECTION
 CITY OF PORTLAND, ME
 APR - 2 2007
 RECEIVED

Date April 2, 2007	Scale 3/4" = 1'-0"	Revisions:	Project:
EXISTING ROOF FRAMING AND NEW DECK SHIMMING DETAIL			JENKINS CONDO
			MORNING STREET PORTLAND, ME
		ARCHETYPE, P.A. ARCHITECTS	
		48 Union Wharf Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056	





M. R. BREWER
FINE WOODWORKING, INC.

91 BELL ST.

PORTLAND, ME 04103

PHONE: 207-797-7534 FAX: 207-797-0973

LETTER OF TRANSMITTAL

TO:

Code Enforcement

FROM:

Matthew Brewer

COMPANY:

City of Portland

DATE:

2/21/07

RE:

Jenkins Condo Renovation

JOB NUMBER

WE ARE SENDING YOU: ATTACHED UNDER SEPARATE COVER VIA _____ THE
 FOLLOWING ITEMS

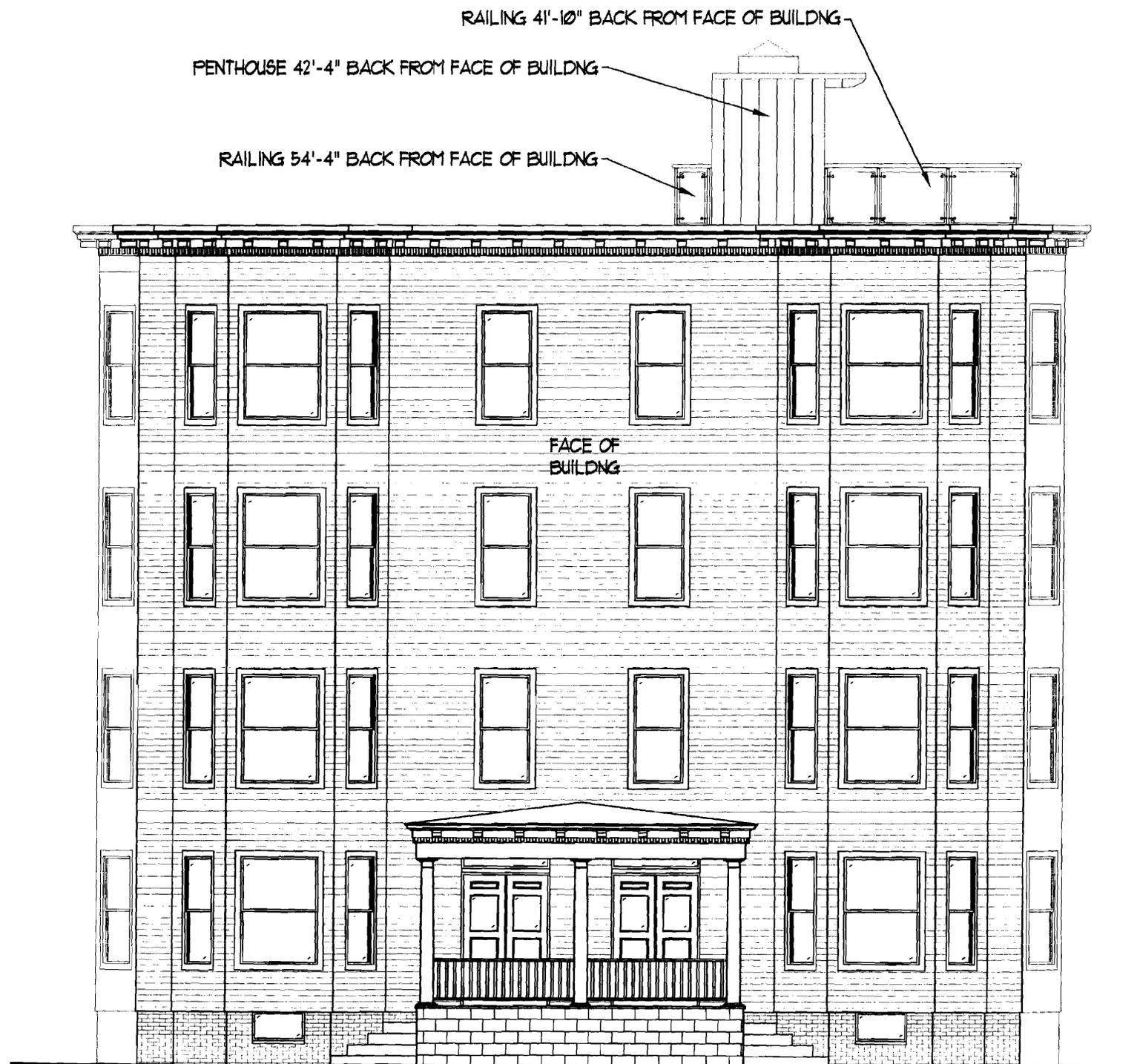
- Shop Drawings Prints Plans Samples Specifications
- Copy of letter Change Order _____

COPIES	DATE	NO.	DESCRIPTION
1	1/25/07		Drawings D01 thru A5

- For approval Approved as submitted Resubmit ___ copies for approval
- For your use Approved as noted Submit ___ copies for distribution
- As requested Returned for corrections Return ___ corrected prints
- For review & comment FOR BIDS DUE: N/A

REMARKS:

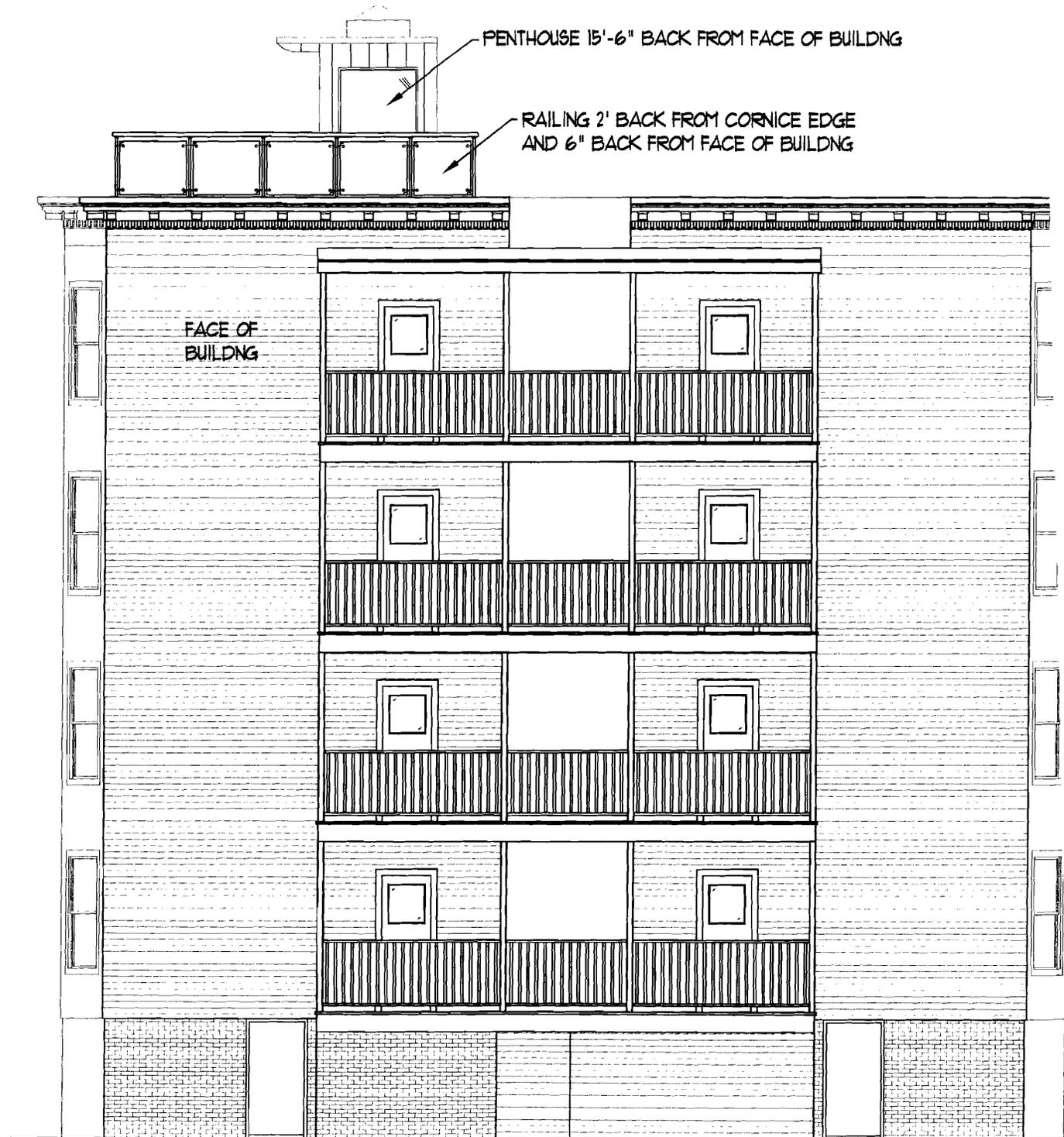
Please call with any questions or concerns.



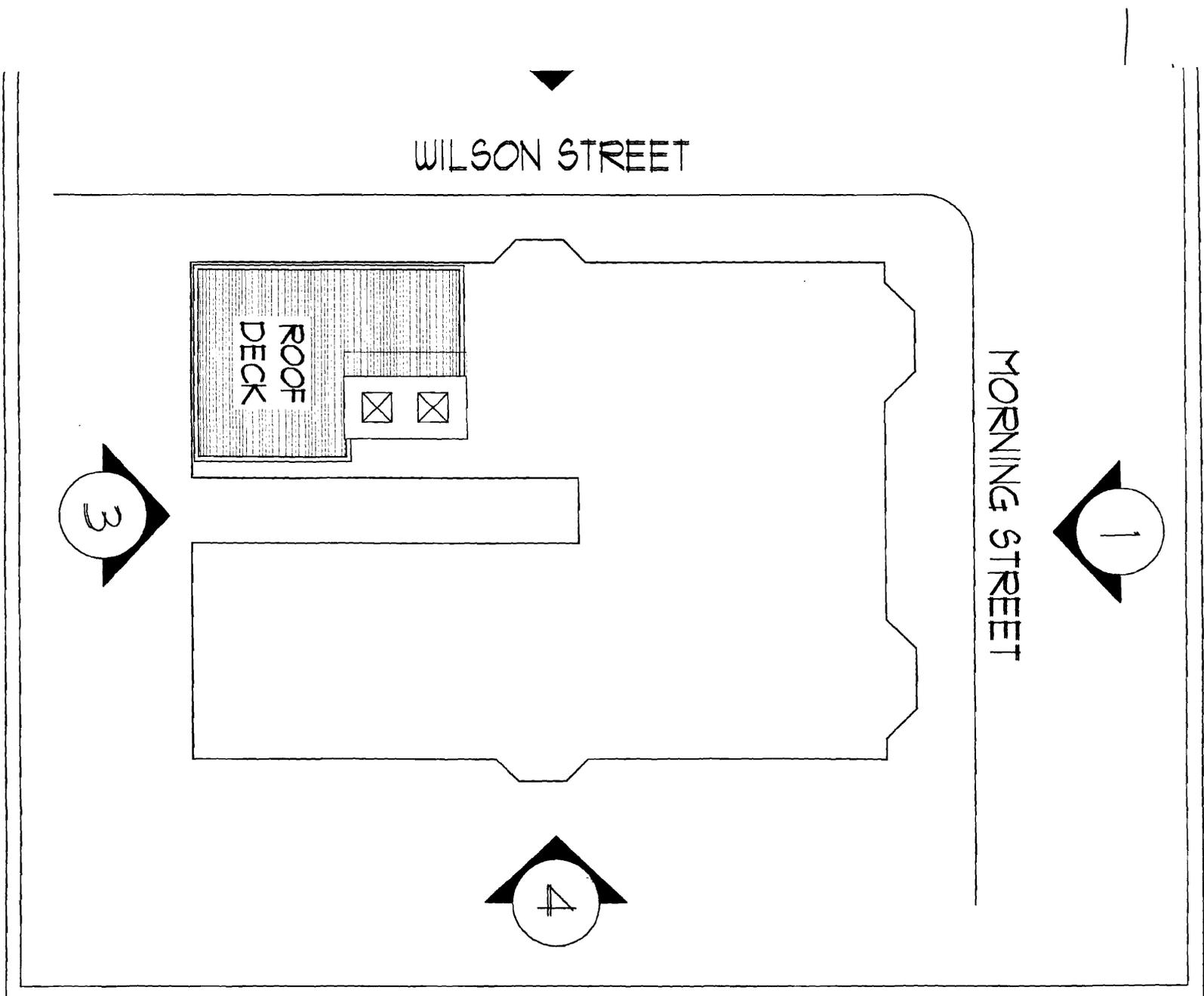
1

MORNING ST. ELEVATION

SCALE : 1/8" = 1'-0"



3 REAR ELEVATION
SCALE : 1/8" = 1'-0"



WILSON STREET

MORNING STREET

ROOF
DECK

KEY PLAN
SCALE : N.T.S.

ARCHETYPE, P.A.
ARCHITECTS

48 Union Wharf Portland, Maine 04101

(207) 772-6022 Fax (207) 772-1111