

65 MUNJOY STREET

PORTLAND, MAINE 04101

DESIGN DEVELOPMENT SET

2/19/2016

GENERAL NOTES

- ALL MATERIALS, COMPONENTS, AND WORK ARE NEW AND SHALL BE PROVIDED IN THIS CONTRACT BY THE CONTRACTOR UNLESS NOTED OTHERWISE.
- ALL WORK INCLUDED IN THIS CONTRACT SHALL CONFORM TO ALL STATE, NATIONAL AND OTHER CODES AND ORDINANCES WHICH APPLY TO THIS PROJECT.
- IT IS THE INTENT AND MEANING OF THESE DRAWINGS THAT THE CONTRACTOR AND EACH SUBCONTRACTOR PROVIDE ALL LABOR, MATERIALS, TRANSPORTATION, SUPPLIES, EQUIPMENT, ETC. TO OBTAIN A COMPLETE JOB TO INDUSTRY STANDARD IN A PROFESSIONAL WORKMANLIKE MANNER.
 - CONTRACTORS AND SUBCONTRACTORS SHALL REVIEW THE DRAWINGS AND SPECIFICATIONS PRIOR TO PERFORMANCE OF ANY WORK.
 - CONTRACTORS AND SUBCONTRACTORS SHALL INSTALL ALL MATERIALS AS PER THE CONSTRUCTION DOCUMENTS AND THE MANUFACTURER'S INSTALLATION RECOMMENDATIONS.
 - INSTALLERS MUST BE TRAINED AND EXPERIENCED IN THE APPLICATION/INSTALLATION OF THE PRODUCTS/MATERIALS THAT THEY ARE INSTALLING.
 - PRODUCTS/MATERIALS MUST BE APPLIED/INSTALLED/USED IN CONDITIONS AS ALLOWED BY THE MANUFACTURER.
 - PRODUCTS/MATERIALS MUST BE APPLIED/INSTALLED/USED IN COORDINATION WITH ALL OTHER WORK CONDUCTED ON SITE.
- THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND REPORT ANY DISCREPANCY(IES) IMMEDIATELY TO THE ARCHITECT.
- ANY DEVIATIONS WHATSOEVER FROM THE DRAWINGS AND/OR SPECIFICATIONS ARE NOT ALLOWED WITHOUT THE OWNER'S WRITTEN PERMISSION. FAILURE TO PROCURE SUCH WRITTEN AUTHORIZATION PLACES ALL RESPONSIBILITY FOR THE VARIATION ON THE CONTRACTOR.
- AT THE END OF EACH WORKING DAY, THE CONSTRUCTION SITE SHALL BE LEFT IN A NEAT AND CLEAN MANNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS WHICH ARE REQUIRED FOR THE SATISFACTORY COMPLETION OF THE WORK AND THE OWNER SHALL BE RESPONSIBLE FOR PAYING ALL FEES, HOOK UP CHARGES, ETC. EXCEPTION: THE CONTRACTOR SHALL NOT BE RESPONSIBLE FOR THE SITE AND BUILDING PERMITS.
- THE CONTRACTOR SHALL OBTAIN APPROVAL FROM THE OWNER FOR THE SEQUENCE AND TIMING OF OPERATIONS PRIOR TO COMMENCING WORK. AREAS FOR STAGING ETC. MUST BE APPROVED BY THE OWNER.
- THE CONTRACTOR SHALL DISPOSE OF AND / OR RECYCLE ANY CONSTRUCTION DEBRIS FROM THE PROJECT SITE AS REQUIRED BY REGULATING AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING DISPOSAL PERMITS WHICH ARE REQUIRED. CONSTRUCTION DEBRIS FROM THE PROJECT SITE SHALL BE DISPOSED OF IN AN APPROVED AND LEGAL MANNER.
- DUTY OF COOPERATION: RELEASE OF THESE PLANS CONTEMPLATES FURTHER COOPERATION AMONG THE OWNER, THE CONTRACTOR, THE ARCHITECT AND THE ARCHITECT'S CONSULTANTS. DESIGN AND CONSTRUCTION ARE COMPLEX. ALTHOUGH THE ARCHITECT AND HIS CONSULTANTS HAVE PERFORMED THEIR SERVICES WITH DUE CARE AND DILIGENCE, THEY CANNOT GUARANTEE PERFECTION. COMMUNICATION IS IMPERFECT, AND EVERY CONTINGENCY CANNOT BE ANTICIPATED. ANY AMBIGUITY OR DISCREPANCY DISCOVERED BY THE USE OF THESE PLANS SHALL BE REPORTED IMMEDIATELY TO THE OWNER. FAILURE TO NOTIFY THE OWNER COMPOUNDS MISUNDERSTANDING AND MAY INCREASE CONSTRUCTION COSTS. A FAILURE TO COOPERATE BY A SIMPLE NOTICE TO THE OWNER SHALL RELIEVE THE OWNER AND THE ARCHITECT FROM RESPONSIBILITY FROM ALL COSTS.
- THESE DRAWINGS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. THE GENERAL CONTRACTOR SHALL PROVIDE FOR THE SAFETY, CARE OF UTILITIES AND ADJACENT PROPERTIES DURING CONSTRUCTION, AND SHALL COMPLY WITH STATE AND FEDERAL SAFETY REGULATIONS.
- ALL MATERIALS AND WORK SHALL BE GUARANTEED FOR A MINIMUM OF ONE YEAR FROM THE DATE OF FINAL PAYMENT.
- COORDINATE ALL MECHANICAL & ELECTRICAL DEVICES SO THEY DO NOT CONFLICT W/ ARCHITECTURAL FEATURES.
- DIMENSIONS SHOWN ON DRAWINGS ARE TAKEN FROM FACE OF GYPSUM WALLBOARD UNLESS OTHERWISE NOTED.



SUBMITTAL & SHOP DRAWING NOTES

- THE CONTRACTOR SHALL PRESENT SUBMITTALS WITH COLOR SAMPLES TO THE ARCHITECT FOR ALL INTERIOR AND EXTERIOR FINISHES AND HARDWARE, INCLUDING BUT NOT LIMITED TO:
 - PAINT COLORS AND LUSTER CATEGORIES
 - EXTERIOR CLADDING AND FLASHING MATERIALS
 - ROOFING MATERIALS
 - INTERIOR WALL FINISHES
 - FLOOR FINISHES
 - WINDOWS
 - DOORS, FRAMES, AND HARDWARE
 - LIGHT FIXTURES
 - PLUMBING FIXTURES
 - DECKING MATERIALS
 - JOINT SEALANTS
 - INSULATION
 - RESIDENTIAL CASEWORK
 - SECURITY SYSTEM
- THE CONTRACTOR SHALL PRESENT SHOP DRAWINGS TO THE ARCHITECT FOR ALL PRE-FABRICATED ASSEMBLIES, INCLUDING BUT NOT LIMITED TO:
 - WOOD AND METAL RAILINGS
 - METAL STRUCTURAL ELEMENTS
 - WINDOW ASSEMBLIES
 - STAIRS & RAILINGS
 - DOOR ASSEMBLIES
- THE CONTRACTOR SHALL PRESENT SUBMITTALS WITH CUT SHEETS TO THE ARCHITECT FOR ALL INSTALLED PRODUCTS, INCLUDING BUT NOT LIMITED TO:
 - MECHANICAL SYSTEMS
 - USER CONTROLS
 - LIGHT FIXTURES
 - PLUMBING FIXTURES
 - RESIDENTIAL APPLIANCES
 - MAILBOXES
- SUBSTITUTION OF "EQUAL PRODUCTS" IS ACCEPTABLE, BUT ONLY WITH THE WRITTEN PERMISSION OF THE ARCHITECT. THE SUBSTITUTION REQUEST SHOULD BE ACCOMPANIED BY A SUBMITTAL OF THE MANUFACTURER'S LITERATURE. THE ARCHITECT SHALL STRIVE TO REPLY TO THE REQUEST WITHIN TEN (10) BUSINESS DAYS, BUT SHALL BE ALLOWED FIFTEEN (15) BUSINESS DAYS TO PROVIDE A RESPONSE.

PROJECT CONTACTS

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DRAWING LIST

DESIGN DEVELOPMENT
 2/12/2016

G100	COVER SHEET	X
G101	CONSTRUCTION ASSEMBLIES - SHEET 1 OF 2	X
G102	CONSTRUCTION ASSEMBLIES - SHEET 2 OF 2	X
G103	CODE SUMMARY	X
G104	LIFE SAFETY PLANS	
G105	OUTLINE SPECIFICATIONS	
C1	SITE PLAN	X
C2	GRADING DRAINAGE AND UTILITIES PLAN	X
C3	CIVIL DETAILS	X
C4	CIVIL DETAILS	X
A100	FIRST FLOOR PLAN	X
A101	SECOND FLOOR PLAN	X
A102	THIRD FLOOR PLAN	X
A103	ROOF PLAN	X
A104	FIRST FLOOR & TYPICAL UPPER FLOOR RCPS	X
A200	EXTERIOR ELEVATIONS - SHEET 1 OF 2	X
A201	EXTERIOR ELEVATIONS - SHEET 2 OF 2	X
A300	BUILDING SECTIONS	X
A400	INTERIOR ELEVATIONS	X
A500	DETAILS	X
A600	SCHEDULES - SHEET 1 OF 2	X
A601	SCHEDULES - SHEET 2 OF 2	X
S1	FOUNDATION PLAN	X
S2	2ND FLOOR FRAMING PLAN	X
S3	3RD FLOOR FRAMING PLAN	X
S4	ROOF FRAMING PLAN	X
S5	BUILDING SECTIONS	X
S6	BUILDING SECTIONS	X

ABBREVIATIONS

AV	AIR/VAPOR
AFF	ABOVE FINISH FLOOR
B.O.	BOTTOM OF
CONC.	CONCRETE
E	EXISTING
ELEVS.	ELEVATIONS
FFE	FINISH FLOOR ELEVATION
FRP	FIBERGLASS REINFORCED PANELS
GWB	GYPSUM WALL BOARD
GYP BD	GYPSUM WALL BOARD
INSUL	INSULATION
O.C.	ON CENTER
P&S	BRACKET W/ CLOTHES POLE & SHELF
PT	PRESSURE TREATED/PAINTED
RCP	REFLECTED CEILING PLAN
SAT	SUSPENDED ACOUSTICAL TILE
SIM	SIMILAR
STRUCT	STRUCTURAL DRAWINGS OR STRUCTURAL ENGINEER
T.B.D.	TO BE DETERMINED
T.O.	TOP OF
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE
VCT	VINYL COMPOSITE TILE

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PROJECT NO.
14036
 PROJECT NAME
65 MUNJOY STREET
 ADAM'S APPLE LLC

REVISIONS	NO.	DATE
	1	
	2	
	3	
	4	
	5	

DESIGN DEVELOPMENT
NOT FOR CONSTRUCTION
COVER SHEET

DRAWN BY
EAC
 SHEET TITLE
COVER SHEET
 SHEET SCALE
1" = 1'-0"

ISSUE DATE
2/19/16
 SHEET SCALE
1" = 1'-0"



100

ROOF ASSEMBLY TYPES

GRAPHIC DESCRIPTION		DESCRIPTION			
		<ul style="list-style-type: none"> ADHERED MEMBRANE ROOFING SYSTEM 6" TAPERED EXTRUDED POLYSTYRENE (MIN R-30) 5/8" ZIP SYSTEM SHEATHING (AIR BARRIER) OPEN WEB WOOD TRUSS PER STRUCTURAL 7/8" METAL HAT CHANNEL FURRING 5/8" TYPE X GYPSUM BOARD 			
		TYPE	FIRE RATING	UL NUMBER	STC RATING
R1		1-HR	P545	N/A	32.1

GRAPHIC DESCRIPTION		DESCRIPTION			
		<ul style="list-style-type: none"> ADHERED MEMBRANE ROOFING SYSTEM 6" TAPERED EXTRUDED POLYSTYRENE (R-30) 5/8" ZIP SYSTEM SHEATHING (AIR BARRIER) 2X WOOD JOISTS PER STRUCTURAL 7/8" METAL HAT CHANNEL FURRING 5/8" TYPE X GYPSUM BOARD 			
		TYPE	FIRE RATING	UL NUMBER	STC RATING
R2		1-HR	SIMILAR TO P545	N/A	32.1

SLAB ASSEMBLY TYPES

GRAPHIC DESCRIPTION		DESCRIPTION			
		<ul style="list-style-type: none"> 4" TINTED, TROWELED, AND WAXED CONCRETE SLAB. REINFORCE PER STRUCTURAL DRAWINGS. 6 MIL POLY VAPOR BARRIER 2" RIGID INSULATION 6" CRUSHED STONE 			
		TYPE	FIRE RATING	UL NUMBER	STC RATING
S1		N/A	N/A	N/A	14.25

FLOOR ASSEMBLY TYPES

GRAPHIC DESCRIPTION		DESCRIPTION				
		<ul style="list-style-type: none"> 1/2" ENGINEERED WOOD FLOORING 1/2" HOMASOTE 3/4" PLYWOOD T&G SUB-FLOOR OPEN WEB WOOD TRUSSES PER STRUCTURAL W/ ACOUSTIC BATT INSULATION SOUND ISOLATION CHANNEL HANGERS 7/8" METAL HAT CHANNEL FURRING 5/8" TYPE X GYPSUM BOARD 				
		TYPE	FIRE RATING	UL NUMBER	IIC RATING	STC RATING
F1		1-HR	L574	48	58	N/A

GRAPHIC DESCRIPTION		DESCRIPTION				
		<ul style="list-style-type: none"> 1/2" ENGINEERED WOOD FLOORING 3/4" PLYWOOD T&G SUB-FLOOR W/ TAPED JOINTS (AIR BARRIER) 24" OPEN WEB WOOD TRUSSES W/ 14" BLOWN CELLULOSE INSUL (R-51) 6 MIL POLY VAPOR BARRIER 7/8" METAL HAT CHANNEL FURRING 5/8" TYPE X GYPSUM BOARD 				
		TYPE	FIRE RATING	UL NUMBER	STC RATING	R-VALUE
F2		1-HR	L574	N/A	51	

WALL ASSEMBLY TYPES

GRAPHIC DESCRIPTION		DESCRIPTION				
		<ul style="list-style-type: none"> FIBER CEMENT SIDING 1X WOOD FURRING SELF-ADHERED WATERPROOFING MEMBRANE (VAPOR PERMEABLE AIR BARRIER) 1/2" PLYWOOD SHEATHING. REFER TO STRUCTURAL DWGS FOR FASTENING SIZE, SPACING, AND BLOCKING REQUIREMENTS. 2X6 WOOD STUDS W/ BLOWN CELLULOSE INSULATION FULL CAVITY 6 MIL POLY VAPOR BARRIER 5/8" TYPE X GYPSUM BOARD 				
		TYPE	FIRE RATING	UL NUMBER	STC RATING	R-VALUE
W1		1-HR (FROM INTERIOR)	U356	N/A	24.3	

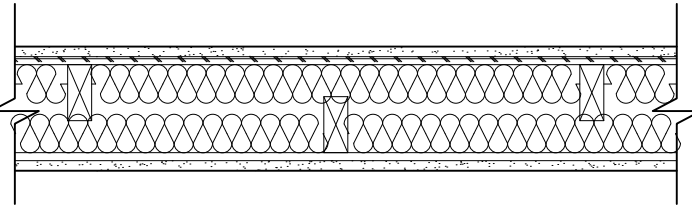
WALL ASSEMBLY TYPES

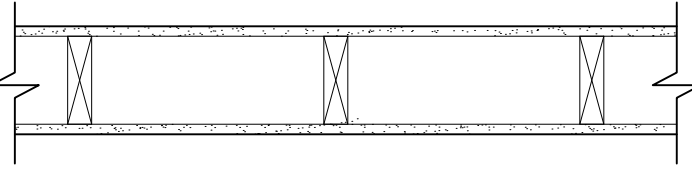
GRAPHIC DESCRIPTION		DESCRIPTION				
		<ul style="list-style-type: none"> 4" FIBER CEMENT SIDING 1X WOOD FURRING SELF-ADHERED WATERPROOFING MEMBRANE (VAPOR PERMEABLE AIR BARRIER) 5/8" FIBERGLASS MAT TYPE X GYPSUM SHEATHING 1/2" PLYWOOD SHEATHING. REFER TO STRUCTURAL DWGS FOR FASTENING SIZE, SPACING, AND BLOCKING REQUIREMENTS. 2X6 WOOD STUDS W/ BLOWN CELLULOSE INSULATION FULL CAVITY 6 MIL POLY VAPOR BARRIER 5/8" TYPE X GYPSUM BOARD 				
		TYPE	FIRE RATING	UL NUMBER	STC RATING	R-VALUE
W2		1-HR	U344	N/A	24.3	

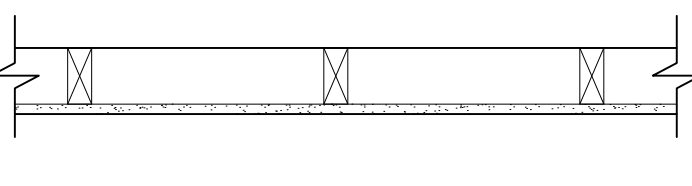
GRAPHIC DESCRIPTION		DESCRIPTION				
		<p>UNIT SEPARATION ASSEMBLY</p> <ul style="list-style-type: none"> (1) LAYER 5/8" TYPE X GWB SEALED TO UNDERSIDE OF DECK. 1/2" RESILIENT CHANNELS @ 16" O.C. HORIZONTALLY 2X6 WOOD TOP AND BOTTOM PLATES TO UNDERSIDE OF DECK. REFER TO STRUCTURAL DWGS FOR STUD SIZE, SPACING, AND ALIGNMENT REQUIREMENTS. (2X4 STAGGERED @ 12" C/C U.N.O.) CONTINUOUS SOUND ATTENUATION BATTS. 1/2" RESILIENT CHANNELS @ 16" O.C. HORIZONTALLY (1) LAYER 5/8" TYPE X GWB SEALED TO UNDERSIDE OF DECK. <p>PROVIDE 2X FIRE BLOCKING AT CEILING LEVEL OR ALTERNATIVE METHOD APPROVED BY IBC 2009.</p>				
		TYPE	FIRE RATING	UL NUMBER	STC RATING	R-VALUE
W3		1-HR	U340	54	N/A	

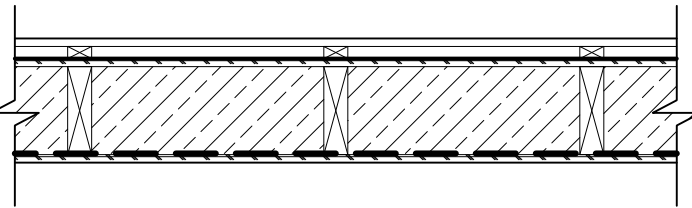
GRAPHIC DESCRIPTION		DESCRIPTION				
		<ul style="list-style-type: none"> 5/8" GYPSUM BOARD 2X4 WOOD STUDS @ 16" O.C. 5/8" GYPSUM BOARD <p>NOTE: PROVIDE MOISTURE RESISTANT GWB AT BATHROOMS AND KITCHENS.</p>				
		TYPE	FIRE RATING	UL NUMBER	STC RATING	R-VALUE
W4		N/A	N/A	N/A	N/A	

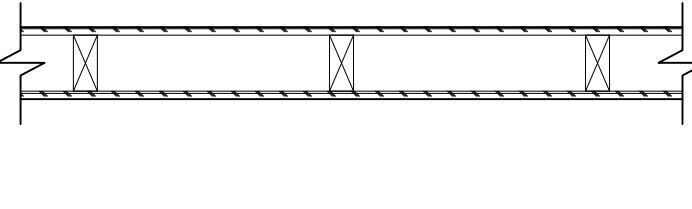
WALL ASSEMBLY TYPES

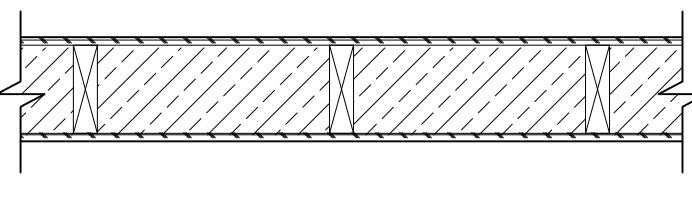
GRAPHIC DESCRIPTION		DESCRIPTION			
		<p>UNIT SEPARATION AND SHEARWALL ASSEMBLY</p> <ul style="list-style-type: none"> 2X6 WOOD TOP AND BOTTOM PLATES TO UNDERSIDE OF DECK. REFER TO STRUCTURAL DWGS FOR STUD SIZE, SPACING, AND ALIGNMENT REQUIREMENTS. (2X4 STAGGERED @ 12" C/C U.N.O.) CONTINUOUS SOUND ATTENUATION BATTS. <p>SHEAR SIDE</p> <ul style="list-style-type: none"> (1) LAYER 1/2" PLYWOOD SHEATHING. REFER TO STRUCTURAL DWGS FOR FASTENING SIZE, SPACING, AND BLOCKING REQUIREMENTS. (1) LAYER 5/8" TYPE X GWB SEALED TO UNDERSIDE OF DECK. <p>OPPOSITE SIDE</p> <ul style="list-style-type: none"> 1/2" RESILIENT CHANNELS @ 16" O.C. HORIZONTALLY (1) LAYER 5/8" TYPE X GWB SEALED TO UNDERSIDE OF DECK. <p>PROVIDE 2X FIRE BLOCKING AT CEILING LEVEL OR ALTERNATIVE METHOD APPROVED BY IBC 2009.</p>			
TYPE	FIRE RATING	UL NUMBER	STC RATING	R-VALUE	
W5	1-HR	U340	54	N/A	

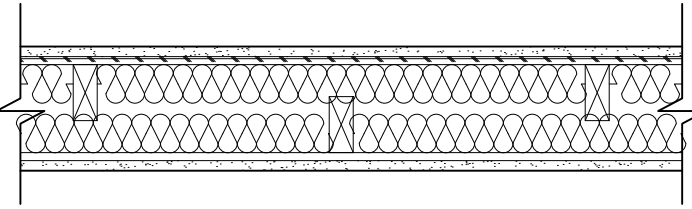
GRAPHIC DESCRIPTION		DESCRIPTION			
		<ul style="list-style-type: none"> 5/8" GYPSUM BOARD 2X6 WOOD STUDS @ 16" O.C. 5/8" GYPSUM BOARD <p>NOTE: PROVIDE MOISTURE RESISTANT GWB AT BATHROOMS AND KITCHENS.</p>			
TYPE	FIRE RATING	UL NUMBER	STC RATING	R-VALUE	
W6	N/A	N/A	N/A	N/A	

GRAPHIC DESCRIPTION		DESCRIPTION			
		<ul style="list-style-type: none"> 2X6 WOOD STUDS @ 16" O.C. 5/8" GYPSUM BOARD <p>NOTE: PROVIDE MOISTURE RESISTANT GWB AT BATHROOMS AND KITCHENS.</p>			
TYPE	FIRE RATING	UL NUMBER	STC RATING	R-VALUE	
W7	N/A	N/A	N/A	N/A	

GRAPHIC DESCRIPTION		DESCRIPTION			
		<ul style="list-style-type: none"> FIBER CEMENT SIDING 1X WOOD FURRING SELF-ADHERED WATERPROOFING MEMBRANE (AIR BARRIER) 1/2" PLYWOOD SHEATHING. REFER TO STRUCTURAL DWGS FOR FASTENING SIZE, SPACING, AND BLOCKING REQUIREMENTS. 2X6 WOOD STUDS W/ BLOWN CELLULOSE INSULATION FULL CAVITY 6 MIL POLY VAPOR BARRIER 1/2" PLYWOOD - PAINTED 5/8" TYPE X GWB SEALED TO UNDERSIDE OF DECK. 			
TYPE	FIRE RATING	UL NUMBER	STC RATING	R-VALUE	
W8	1-HR (INTERIOR ONLY)	SIMILAR TO U356	N/A	24.3	

GRAPHIC DESCRIPTION		DESCRIPTION			
		<ul style="list-style-type: none"> 1/2" PLYWOOD - PAINTED 2X4 WOOD STUDS @ 16" O.C. 1/2" PLYWOOD - PAINTED 1/2" GYPSUM WALL BOARD 			
TYPE	FIRE RATING	UL NUMBER	STC RATING	R-VALUE	
W9	N/A	N/A	N/A	N/A	

GRAPHIC DESCRIPTION		DESCRIPTION			
		<ul style="list-style-type: none"> 1/2" PLYWOOD - PAINTED 2X6 WOOD STUDS W/ BLOWN CELLULOSE INSULATION FULL CAVITY 1/2" PLYWOOD - PAINTED 			
TYPE	FIRE RATING	UL NUMBER	STC RATING	R-VALUE	
W10	N/A	N/A	N/A	N/A	

GRAPHIC DESCRIPTION		DESCRIPTION			
		<p>SHEARWALL ASSEMBLY @ COVERED PARKING</p> <ul style="list-style-type: none"> 2X8 WOOD TOP AND BOTTOM PLATES TO UNDERSIDE OF DECK. REFER TO STRUCTURAL DWGS FOR STUD SIZE, SPACING, AND ALIGNMENT REQUIREMENTS. (2X6 STAGGERED @ 12" C/C U.N.O.) CONTINUOUS SOUND ATTENUATION BATTS. <p>SHEAR SIDE</p> <ul style="list-style-type: none"> (1) LAYER 1/2" PLYWOOD SHEATHING. REFER TO STRUCTURAL DWGS FOR FASTENING SIZE, SPACING, AND BLOCKING REQUIREMENTS. (1) LAYER 5/8" TYPE X GWB SEALED TO UNDERSIDE OF DECK. <p>OPPOSITE SIDE</p> <ul style="list-style-type: none"> 1/2" RESILIENT CHANNELS @ 16" O.C. HORIZONTALLY 1/2" PLYWOOD (1) LAYER 1/2" PAINTED GYPSUM BOARD SEALED TO UNDERSIDE OF DECK. <p>PROVIDE 2X FIRE BLOCKING AT CEILING LEVEL OR ALTERNATIVE METHOD APPROVED BY IBC 2009.</p>			
TYPE	FIRE RATING	UL NUMBER	STC RATING	R-VALUE	
W11	1-HR	SIMILAR TO U340	54	N/A	

Maine Human Rights Act (ANSI A117.1 – Use the Fair Housing Guidelines)
 2. Applicability. This section applies to multifamily housing accommodations constructed for first occupancy after March 13, 1991.
 3. Standards. Facilities subject to this section must meet the following standards.
 A. Doors designed to allow passage into and within all premises within those accommodations must be sufficiently wide to allow passage by a person in a wheelchair.
 B. A route accessible to a person in a wheelchair into and through the dwelling unit must exist.
 C. Light switches, electrical outlets, thermostats and other environmental controls must be in locations accessible to a person in a wheelchair.
 D. Bathroom walls must have reinforcements to accommodate the installation of grab bars.
 E. Kitchens and bathrooms must be accessible to and usable by a person in a wheelchair.

Zoning:
 Building, height of: The vertical measurement from grade, or the predevelopment grade on the islands, to the highest point of the roof beams in flat roofs

Building Area Information

Building Footprint: 3,336 SF
 Floor plate area: 3,250 SF
 Residential Area: 7,307 SF
 Parking Area: 1,345 SF
 Building Area: 9,750 SF

NFPA Code Overview

Use: New Residential Apartment Building & New Storage
 Construction: No minimum requirement
 Sprinkler: NFPA 13R
 Occupancy: 41 Occupants

IBC Code Overview

Use: R-2 & U (Separated Occupancies)
 Construction: Type VB
 Sprinkler: NFPA 13R
 Occupancy: 37 Occupants

IBC – Detail Code Review

Use and Occupancy Classification:
 310.1 Residential Group R-2 (Apartments)
 311.3 Utility and Misc. Group U (Private Garages)

406.1.2 Private car storage can be up to 3000sf (and be considered Group U)
 406.1.3 Surface of concrete or asphalt, Slope floor to drain or garage door
 406.1.4 Prescriptive fire spread prevention (1/2 gwb wall, 5/8 typ X ceiling)
 406.3.3.1 Garage is considered enclosed as it doesn't meet criteria to be open
 406.4.2 Mechanical Ventilation required
 420.2 Fire Partitions Separating Dwelling Units (709)
 420.3 Floor Assemblies Separating Dwelling Units (712)

503 R-2 VA 12,000sf 3 stories 40' tall
 508.4 Separated Occupancies
 508.4.4 Separation over-riden by 406.1.4. 2 hour separation by fire barriers & horz assemblies is not required if 406.1.4.2 is met

601 Type VA – All structural components must be rated for one hour
 Primary Structural Frame 1hr
 Exterior Bearing walls 1hr (modified by 602)
 Interior Bearing walls 1hr
 Nonbearing Exterior 1hr (modified by 602)
 Nonbearing Interior 0hr
 Floor Construction 1hr
 Roof Construction 1hr

602 Separation distance 5' < X < 10' VA 1-hr exterior wall east building side (Rated on both sides)
 10' < X < 30' VA 1-hr exterior wall north & west sides (Rated on inside only)

705.2.2 Projections (including balconies) may be of any material
 705.5 When exterior walls are required to be rated:
 X < 10' Rated for exposure from both sides
 X > 10' Rated for exposure from inside only

705.8 Separation distance 5' < X < 10' Nonsprinkled 10% openings allowed

705.11.6 Parapet not required on any exterior walls
 707.3.1 Fire Barrier required for shaft enclosure
 707.5 Fire barriers: From TOP of floor to bottom of decking above (cont. thru concealed)
 707.5.1 Fire Barrier supporting construction shall have same rating
 708.1 Shaft enclosures shall be constructed of fire barriers and horizontal assemblies.
 708.2 Shaft enclosure is required stair
 708.4 Shaft Enclosure: 1 hour when connecting less than four stories
 709.1 Fire partitions required to separate dwelling units
 709.3 1-hour Fire Partition rating
 709.4 Fire partition continuity: from TOP of floor to bottom of decking above or to bottom of ceiling assembly (with fireblocking or draftstopping)
 712.3 1-hr horizontal assembly rating required between dwelling units
 712.4 Supporting construction of horz assembly between units not required to be rated in VB

713 All Rated vertical and horizontal assemblies shall be complete assemblies in that any penetrations shall be treated as in accordance with this section.
 714 All Rated vertical and horizontal assemblies shall be complete assemblies in that any joints shall be treated as in accordance with this section.
 715 All Rated vertical and horizontal assemblies shall be complete assemblies in that any openings shall be treated as in accordance with this section.
 715.4 Doors in 1-hour stair shaft shall have a rating of 1 hour
 716 All Rated vertical and horizontal assemblies shall be complete assemblies in that any ducts and air transfers shall be treated as in accordance with this section.
 716.6.2 Ducts and air transfer openings penetrating a rated ceiling membrane must be installed with a listed ceiling radiation damper
 717 Fire blocking and draft-stopping shall be installed in concealed spaces in accordance with this section.

803.9 R-2: Exit enclosures, corridors, rooms and enclosed spaces required to have Class C finishes.

901.6.1 Automatic sprinkler system shall be monitored by a supervising station (NFPA 72)
 901.6.2 Fire alarm system shall be monitored by a supervising station
 903.2.8 Sprinkler System is Required for Group R
 903.3.1.2 NFPA 13R is permitted (with VA construction)
 905.3.1 Standpipe system not required by IBC because building is not tall enough
 906.1 No fire extinguisher REQUIRED
 907.2.9.1 No manual pull station fire alarm system not required as building is under four stories and 16 units.
 907.2.11.2 Interconnected Smoke Alarms Required:
 Outside each sleeping area and in each sleeping room

1003.2 Min egress ceiling height: 7'-6"
 1003.5 Exception 1: A single step (under 7") allowed at exterior doors in R-2 that are not required to be accessible doors.
 1004.1.1 Occupancy Load for Residential: 200 gross at 7,307 SF is 37 occupants
 1005.3 Door swing shall not reduce the required egress width more than half
 1006.1 Stair must be illuminated at all times
 1007.3 Sprinkler precludes need for wider stair or area of refuge
 1008.1.1 Min Door size: 32" clear (36" door)
 1008.1.5 Same floor elevation on either side of doors
 1008.1.6 Landing not less than width of door
 1008.1.8 48" plus door swing between doors in succession
 1009.1 Min stair width 36" (for occ. less than 50)
 1009.2 Min head clearance 80" (6'-8")
 1009.4 7" rise max, and 11" run min
 1009.5 Landing width no more than stair width
 1009.6 Stair construction can be of any material permitted by construction type
 1009.13 Stairway not required to extend to roof in three-story building
 1012.6 Railing extensions must be 12" at top of stairs and 11" at bottom.
 1013.2 Min Guard Height: 42"
 1014.3 NFPA 101 Table A7.6
 Sprinkled Apartments common Path Limit: 50'
 NFPA 101 30.2.5.3.2: "Travel within a dwelling unit shall not be included when determining the common path of travel
 1015.1 One exit is permitting from dwelling units at occupant load for individual units is under 20 and building is sprinkled 13R.
 1016.1 Exit Access travel Distance: 250' (for sprinkled 13R R-2)
 1018.1 Corridor Fire Rating: 1/2" (for sprinkled 13R R-2)
 1018.2 Corridor Min Width: 36" (for occ under 50)
 1018.4 Dead-End Corridor Limit: 20' (for R-2)
 1021.2 Three-story R-2 building is permitted to have one exit if under 4-units per floors, under 50' travel distance to exit, sprinkled 13R, and provided with emergency escape openings.
 1022.1 1-hour exit enclosure required when connecting less than 4-stories
 1022.8 Floor identification signs shall comply with this section
 1023.2 Min exit passageway width: 36" for less than 50 occupants
 1023.3 Exits passageway min rating: 1-hr (or rating of connected enclosure if greater)
 1029.1 Constructed of fire barriers and horizontal assemblies.
 Sleeping rooms below the fourth story shall have emergency escape and rescue openings
 1029.2 Min area: 5.7SF
 Min height: 24"
 Min width: 20"
 Max height about floor: 44"
 1029.3 Chapter does not apply in the State of Maine
 1100

1207 Sound transmission between dwelling units
 Walls: STC-50 (45 field tested)
 Ceilings: IIC-50 (45 field tested)

2406.4 Safety Glazing: all doors, near doors, near floors, large amounts of glass, near stairways,

IECC
 301.1 Climate Zone 6A
 402.1.1 Element: Required: Provided:
 Fenestration U-Factor 0.35 max 0.17
 Ceiling R-Value 49 min 71
 Wood Frame R-Value 20 min 32.6
 Floor R-Value 30 min 51
 Slab R-Value 10 min 10
 402.4.2.1 Air Sealing will be tested on-site using a blower door test.

NFPA 10
 NFPA 10 6.2.1.1 Each floor shall have a single (2) unit Class A Fire Extinguisher

NFPA 101
 3.3.32.5 New Building
 6.1.8.1.5 Residential Occupancy – Apartment Building (Chapter 30)
 6.1.13.1 Storage – Enclosed Parking Structure (Chapter 42)
 6.1.14.4.3 1 hour separation required in sprinkled building
 6.2.2.3 Ordinary Hazard Contents

7.1.3.1 Exit access corridors shall have one-hour fire resistance rating
 7.1.3.2.1 Stairs three stories or fewer shall have one-hour fire rating
 7.1.5.1 Min headroom: 7'-6"
 7.1.6.3 Cross Slope limited to 1:48
 7.2.1.2.3.2 Egress door min clear width: 32"
 7.2.1.4 Door swing and force to open shall comply with this section
 7.2.1.5 Door locks, latches and alarms shall comply with this section
 7.2.2.2.1.1 Max riser height: 7"
 Min Tread depth: 11"
 Min headroom: 6'-8"
 7.2.2.2.1.2 Min stair width: 36" (for occupancy under 50)
 7.2.2.3.2.3 Min landing depth: stair width
 7.2.2.4.4.1 Handrail height: 36"
 7.2.2.4.4.6 Handrail shape: 1 1/2" circular cross section
 7.2.2.4.4.9 Handrails shall return to wall or newel post
 7.2.2.4.4.10 Handrails shall extend 12" at top of stair and one tread length at bottom
 7.2.2.4.5.2 Min guard height: 42"
 7.2.2.4.5.3 Open guards shall not allow the passage of a 4" sphere
 Stairway identification shall comply with this section.
 7.2.2.5.4 Stair discharge shall have a 1-hr fire resistance rating.
 7.2.6.3 Sprinkler precludes need for area of refuge in stair.
 7.3.1.2 Occupancy Load
 Residential Apartment: 200 gross at 7307sf is 37 occupants
 Storage: 500 gross at 1345sf is 3 occupants
 Total Occupant Load: 40 occupants

7.3.4 Min Egress width: 36"
 7.4.1.1 See 30.2.4.4
 7.8 Egress Illumination shall be in accordance with this section.
 7.9 Emergency Lighting shall be in accordance with this section.
 7.10 Marking for means of egress shall comply with this section.

30.1.2.3 Dwelling units allowed over parking when either:
 • Parking is sprinkled with NFPA 13 system or
 • Uses are separated with a 1-hour fire rating
 fire resistance rating.
 30.1.6 No minimum construction requirements
 30.2.1.1 Means of Egress shall comply with Chapter 7 and Chapter 30
 30.2.4.4 Single stair permitted from building given
 • Less than 3 stories
 • Less than 3 units/floor
 • No basement
 • No distance from unit door to stair
 • 1-hr rated stair
 • Self-closing doors
 • No corridors
 • 1/2 hr rating between units

30.2.5 Common Path Limit: 50'
 30.2.5.4.2 Dead-End Limit: 50'
 30.2.6.2 Max Travel Distance within unit (sprinkled): 125'
 30.2.6.3.2 Max Travel Distance from unit door to exit (sprinkled): 200'
 30.3.4 Fire detection and alarm system shall comply with this section.
 30.3.4.5 Smoke alarms shall be installed:
 In every sleeping area
 Outside every sleeping area
 At least one on each level
 30.3.5.2 Sprinkler system NFPA 13R permitted for four or fewer stories.
 30.3.6.1.2 Corridor walls (sprinkled): 1/2 hour
 30.3.7.2 Dwelling unit separation (sprinkled): 1/2 hour

42.1.6 No minimum construction requirements
 42.2.4.1 Single means of egress allowed within common path of travel limit.
 42.2.5 Dead End Corridor: 100'
 Common Path of Travel: 100'
 42.2.6 Maximum Travel Distance: 400'

ISSUE DATE: 2/19/16
 SHEET SCALE: AS NOTED

DESIGN DEVELOPMENT NOT FOR CONSTRUCTION

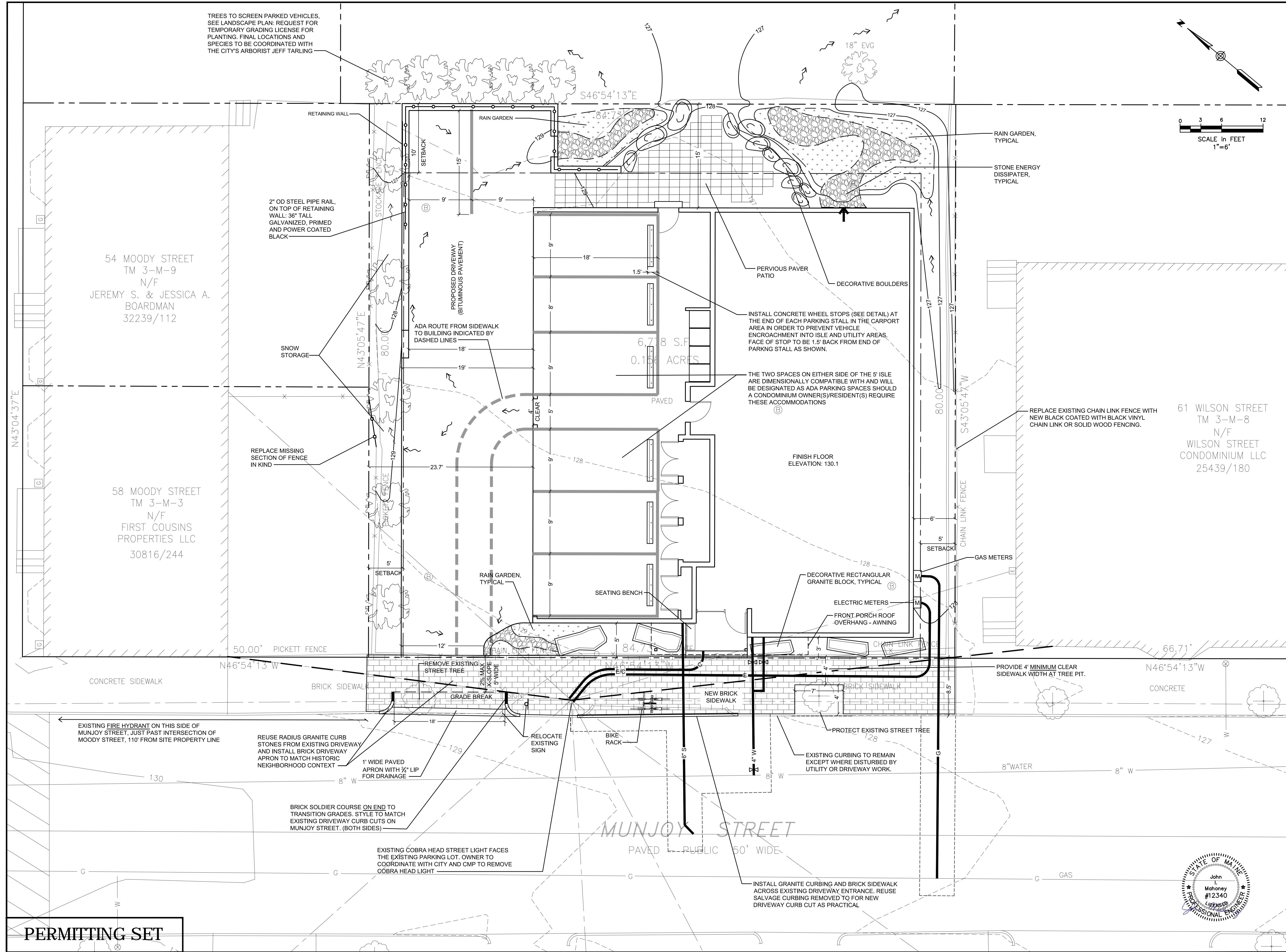
PROJECT NO. 14036
 PROJECT NAME: 65 MUNJOY STREET
 ADAM'S APPLE LLC

REVISIONS
 1 -
 2 -
 3 -
 4 -
 5 -

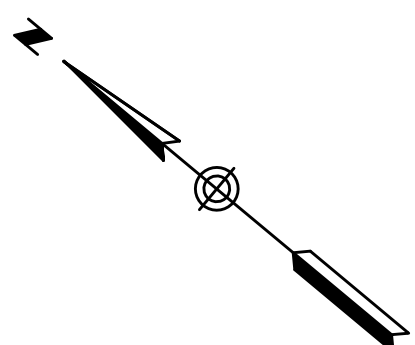
CODE SUMMARY

103

Bild Architecture
 PO Box 8235
 Portland, ME 04104
 207.408.0168
 evan@bildarchitecture.com



TREES TO SCREEN PARKED VEHICLES, SEE LANDSCAPE PLAN. REQUEST FOR TEMPORARY GRADING LICENSE FOR PLANTING. FINAL LOCATIONS AND SPECIES TO BE COORDINATED WITH THE CITY'S ARBORIST JEFF TARLING



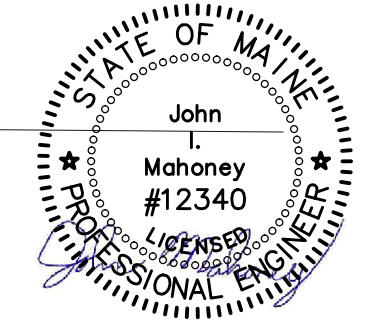
SCALE in FEET
1"=6'

54 MOODY STREET
TM 3-M-9
N/F
JEREMY S. & JESSICA A.
BOARDMAN
32239/112

58 MOODY STREET
TM 3-M-3
N/F
FIRST COUSINS
PROPERTIES LLC
30816/244

61 WILSON STREET
TM 3-M-8
N/F
WILSON STREET
CONDOMINIUM LLC
25439/180

PERMITTING SET



Project:
65 MUNJOY STREET
PORTLAND, MAINE

Owner / Developer:
Adams Apple, LLC
30 Danforth Street, Suite 213
Portland, Maine 04101
207-272-8550

Random Orbit, Inc.
30 Danforth Street, Suite 213
Portland, Maine 04101
207-712-0954

Consultants:

bild
ARCHITECTURE
Architect
Bild Architecture
30 Danforth Street, Suite 213
Portland, Maine 04101
207-408-0168

RANSOM
Consulting, Inc.
Civil Engineer
Ransom Consulting, Inc.
400 Commercial Street, Suite 404
Portland, Maine 04101
207-772-2891

pbla
peter burke landscape architecture
Landscape Architect
Peter Burke Landscape Architecture
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Westbrook, Maine 04092
207-632-7372

Surveyor
Owen Haskell, Inc.
390 Route One
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207-774-0424

Structural Engineer
SEI Shelley Engineering, Inc.
Structural Consultants
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Gray, Maine 04039
Phone (207) 657-8031
www.ShelleyEngineering.com

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410 LEBRON ST. - SUITE 601 173 PLEASANT STREET
LEWISTON, ME 04240 ROCKLAND, ME 04841
Tel: (207) 936-3330 Tel: (207) 938-1161

SUMMIT
GEOENGINEERING SERVICES
www.summitgeoeng.com

Construction Manager
Wright-Ryan Construction
10 Danforth Street
Portland, Maine 04101
207-773-3825

WR
Wright-Ryan

SITE PLAN

D	CITY COMMENT RESPONSE	2/3/16
C	CITY COMMENT RESPONSE	1/27/16
B	SITE PLAN PERMITTING	12/11/15
A	PRE-APPLICATION MEETING	11/18/15
No.	Revision/Issue	Date
Design by:	JIM	Checked by: SJB
Drawn by:	JIM	Approved by: SJB
Project:	141.06157	
Sheet No:	C1	

NOTES

1. THE CITY OF PORTLAND REQUIRES A PRE-CONSTRUCTION MEETING BEFORE SITE WORK CAN BEGIN.
2. INSTALL EROSION AND SEDIMENTATION CONTROL IN COMPLIANCE WITH THE MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION'S BEST MANAGEMENT PRACTICES AND GOOD HOUSEKEEPING PRACTICES IN ACCORDANCE WITH APPENDICES A, B AND C OF MAINE DEP CHAPTER 500. CONTRACTOR SHALL UTILIZE VARYING BMPs TO MINIMIZE THE MIGRATION OF EXPOSED SOILS FROM THE SITE. THESE INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING:
 - 2.1. GRADE SITE TO DRAIN INTERNALLY
 - 2.2. INSTALL LOCALIZED SEGMENTS OF MULCH BERM, SILT SOCK, HAY BALES AND/OR CRUSHED STONE CHECK DAMS TO FILTER RUNOFF BEFORE IT LEAVES THE SITE.
 - 2.3. INSTALL SILT SACKS (OR APPROVED EQUAL) IN DOWNGRADE CATCH BASINS INCLUDING:
 - 2.3.1. CB ON NORTH CORNER OF MUNJOY AND WILSON
 - 2.3.2. CB ON SOUTH CORNER OF MOODY AND VESPER
 - 2.3.3. FIELD INLET NORTHWEST OF PLAYGROUND AND ADJACENT TO MULTI-USE TRAIL.
 - 2.4. INSTALL TEMPORARY CONSTRUCTION ENTRANCE TO MINIMIZE TRACKING OF SOILS ONTO MUNJOY STREET.
 - 2.5. SWEEP MUNJOY STREET FREQUENTLY. WATER AND/OR VACUUMING SHALL BE USED TO CONTROL DUST WHEN SWEEPING.
3. CONTRACTOR SHALL INSPECT ALL EROSION AND SEDIMENTATION CONTROL MEASURES ON A WEEKLY BASIS AND AFTER RAIN/STORM EVENTS AND SHALL KEEP A LOG OF THESE INSPECTIONS. ANY ISSUES IDENTIFIED SHALL BE ADDRESSED AS SOON AS POSSIBLE AND BEFORE ADDITIONAL PRECIPITATION.
4. ALL WORK IN THE RIGHT OF WAY SHALL MEET THE CITY OF PORTLAND TECHNICAL MANUAL STANDARDS
5. ELEVATIONS ARE BASED ON CITY OF PORTLAND DATUM.
6. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND GRADES IN THE FIELD AND NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.
7. UTILITY LOCATIONS ARE APPROXIMATE AND SHALL BE VERIFIED PRIOR TO CONSTRUCTION. ANY DISCREPANCIES OR CONFLICTS SHALL BE IMMEDIATELY REPORTED TO THE ARCHITECT/ENGINEER.
8. ALL UTILITY INSTALLATIONS SHALL MEET THE REQUIREMENTS OF THE CITY OF PORTLAND, AS WELL AS ANY OTHER LOCAL, STATE, UTILITY OWNER, AND FEDERAL REQUIREMENTS.
9. SITE CONTRACTOR SHALL REPAIR ALL DISTURBED AREAS IN ACCORDANCE WITH THE EROSION CONTROL PLAN AND DETAILS.
10. ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE GUIDELINES ESTABLISHED IN THE MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION'S BEST MANAGEMENT PRACTICES (LATEST ADDITION) AND MAINTAINED THROUGHOUT CONSTRUCTION OF THIS PROJECT.
11. ALL AREAS DISTURBED BY CONSTRUCTION NOT TO BE PAVED OR OTHERWISE TREATED SHALL BE LOAMED AND SEEDED ACCORDING TO THE PROJECT SPECIFICATIONS.

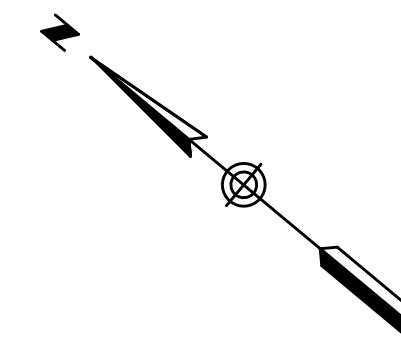
INSTALL MULCH BERM AT DOWN GRADIENT LIMIT OF WORK. SPECIFIC ALIGNMENT TO BE FLAGGED AND APPROVED BY THE CITY OF PORTLAND BEFORE INSTALLATION.

MAINTAIN EXISTING SURFACE DRAINAGE PATTERN. OVERFLOW FROM RAIN GARDENS FLOWS TO DRAINAGE SYSTEM ON MOODY STREET. IT IS OUR UNDERSTANDING THAT THE CITY HAS PLANS FOR A SEPARATED STORMDRAIN SYSTEM IN THIS AREA

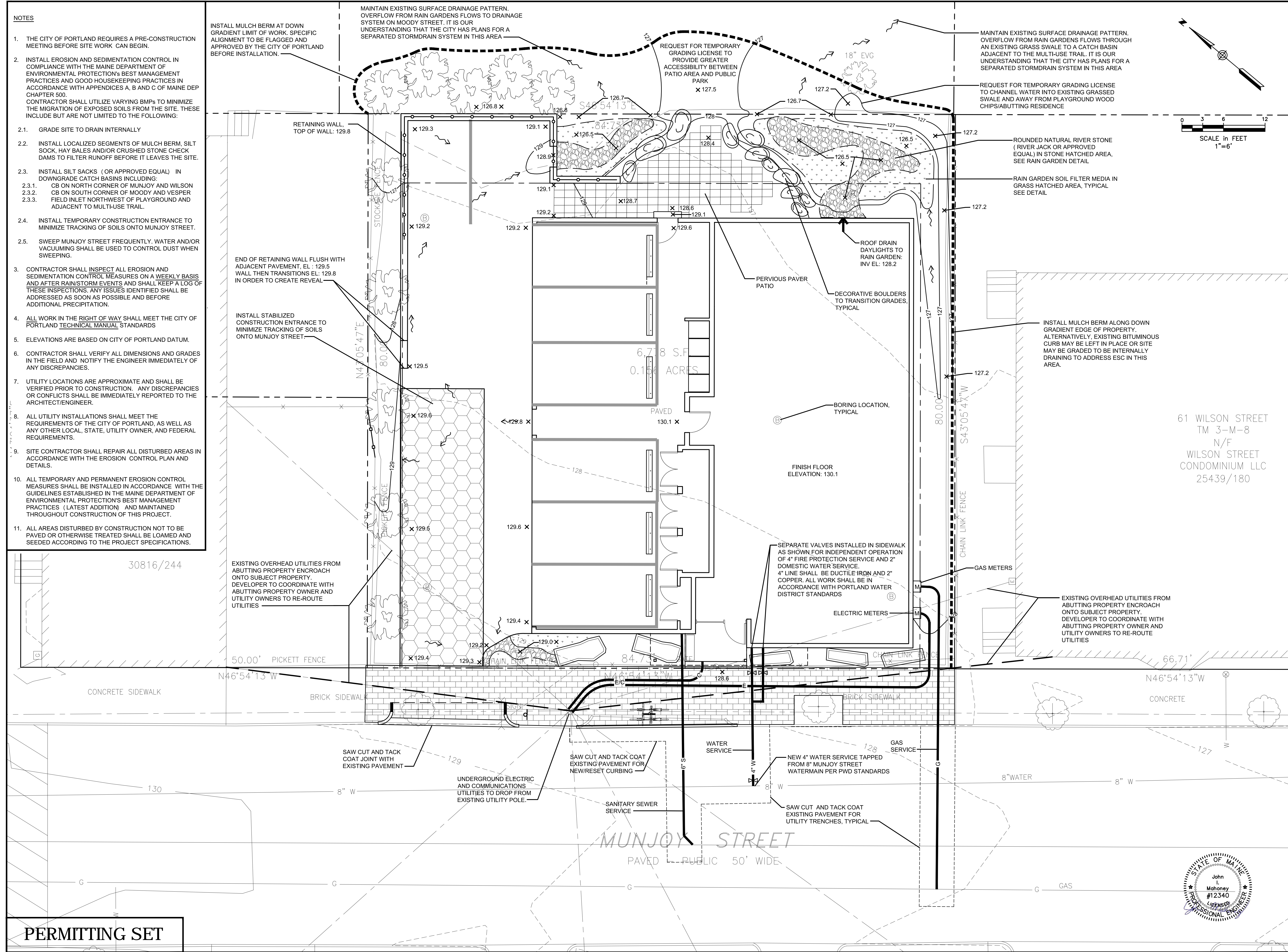
REQUEST FOR TEMPORARY GRADING LICENSE TO PROVIDE GREATER ACCESSIBILITY BETWEEN PATIO AREA AND PUBLIC PARK

MAINTAIN EXISTING SURFACE DRAINAGE PATTERN. OVERFLOW FROM RAIN GARDENS FLOWS THROUGH AN EXISTING GRASS SWALE TO A CATCH BASIN ADJACENT TO THE MULTI-USE TRAIL. IT IS OUR UNDERSTANDING THAT THE CITY HAS PLANS FOR A SEPARATED STORMDRAIN SYSTEM IN THIS AREA

REQUEST FOR TEMPORARY GRADING LICENSE TO CHANNEL WATER INTO EXISTING GRASS SWALE AND AWAY FROM PLAYGROUND WOOD CHIPS/ABUTTING RESIDENCE



SCALE IN FEET
1" = 6'



65 Munjoy Street

65 MUNJOY STREET
PORTLAND, MAINE

Owner / Developer:
Adams Apple, LLC
30 Danforth Street, Suite 213
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www.ShelleyEngineering.com



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173 PLEASANT STREET
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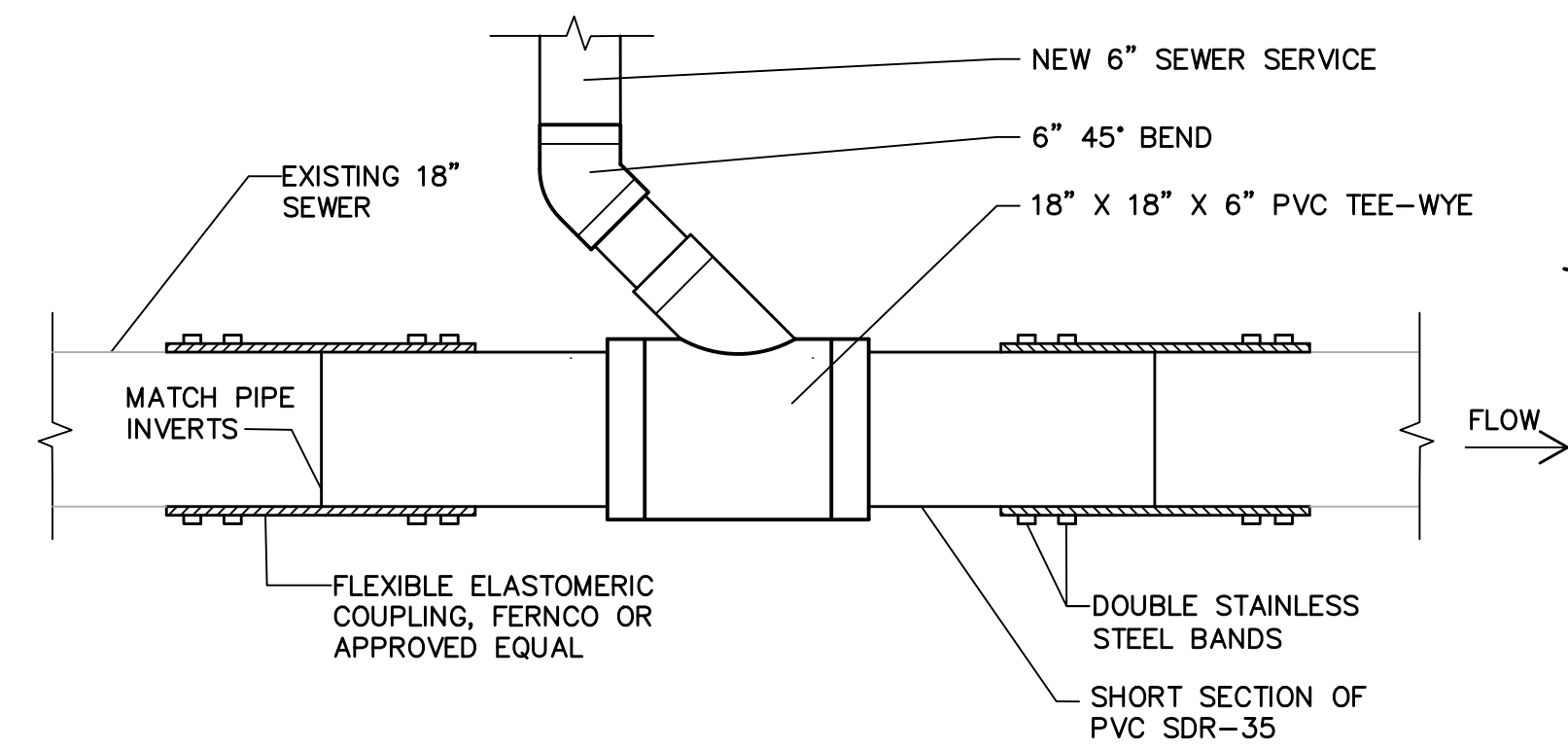
GRADING, DRAINAGE AND UTILITIES PLAN

C	CITY COMMENT RESPONSE	1/27/16
B	SITE PLAN PERMITTING	12/11/15
A	PRE-APPLICATION MEETING	11/18/15

No.	Revision/Issue	Date
Design by:	JIM	Checked by: SJB
Drawn by:	JIM	Approved by: SJB

Project: 141.06157
Sheet No: C2

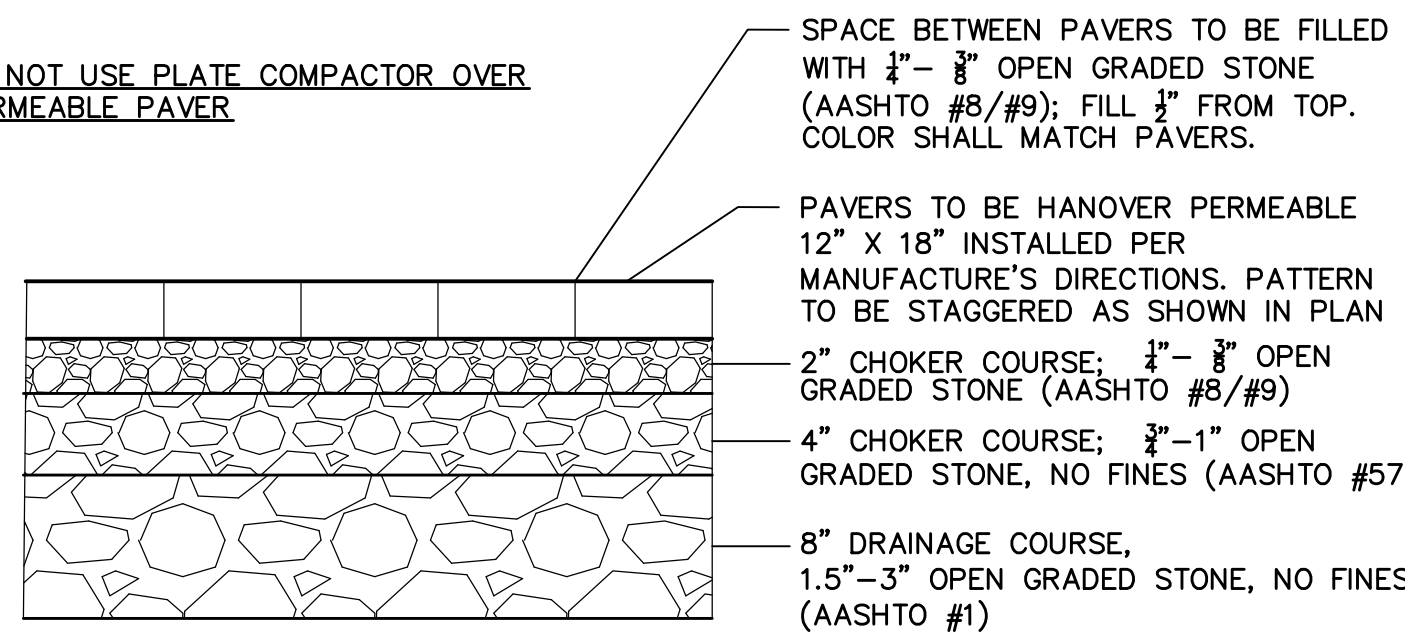
PERMITTING SET



1. If the existing sewer is PVC then the connection shall be made using bell and spigot joints, NOT Ferncos.
2. All damaged piping shall be removed by saw cutting or removing an entire segment of pipe and replaced with new PVC. Contractor shall remove clay bell(s) (by saw cutting) to facilitate Fernco installation. Saw cuts shall be square so that joints between new and existing pipes do not have gaps.
3. Contractor is responsible for maintaining sewer flows while making the new sewer service and drain connections. If required, bypass pumping shall be coordinated with the City. Contractor shall provide the City 24 hours notice.
4. Bypass pumping may be required and shall be coordinated with the City.

CONNECTION TO SANITARY SEWER
NOT TO SCALE

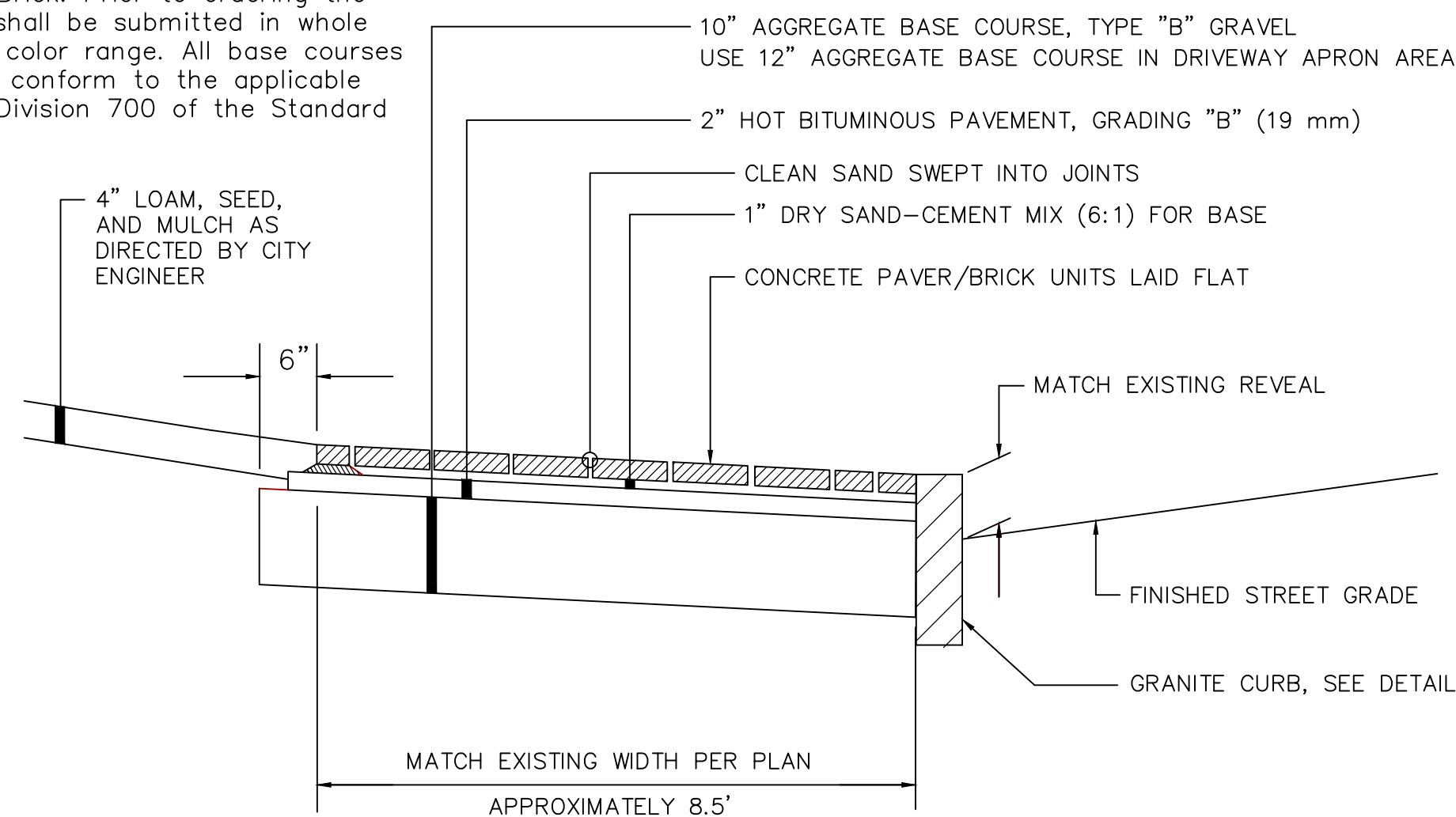
* DO NOT USE PLATE COMPACTOR OVER PERMEABLE PAVER



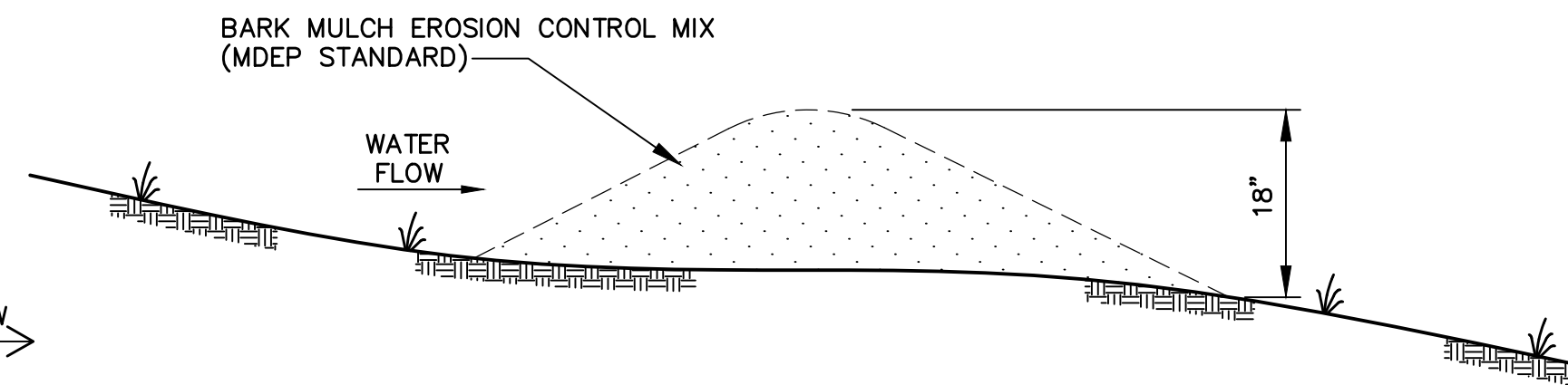
SUBGRADE TO BE BACKFILLED WITH COARSE SAND AFTER REMOVAL OF URBAN SOILS.

PERMEABLE PAVER DETAIL
NOT TO SCALE

BRICKS SHALL BE: Bricks shall be of standard size (2-1/4" x 4" x 8"). Bricks shall be Pine Hall Pathway Paver Brick as manufactured by Pine Hall Brick Co., Madison, North Carolina. Specification number: 4"X8"; LaChance item # 193623, Pine Hall Pathway Paver Brick. Prior to ordering the brick, samples shall be submitted in whole straps to show color range. All base courses and joints shall conform to the applicable subsections of Division 700 of the Standard Specifications



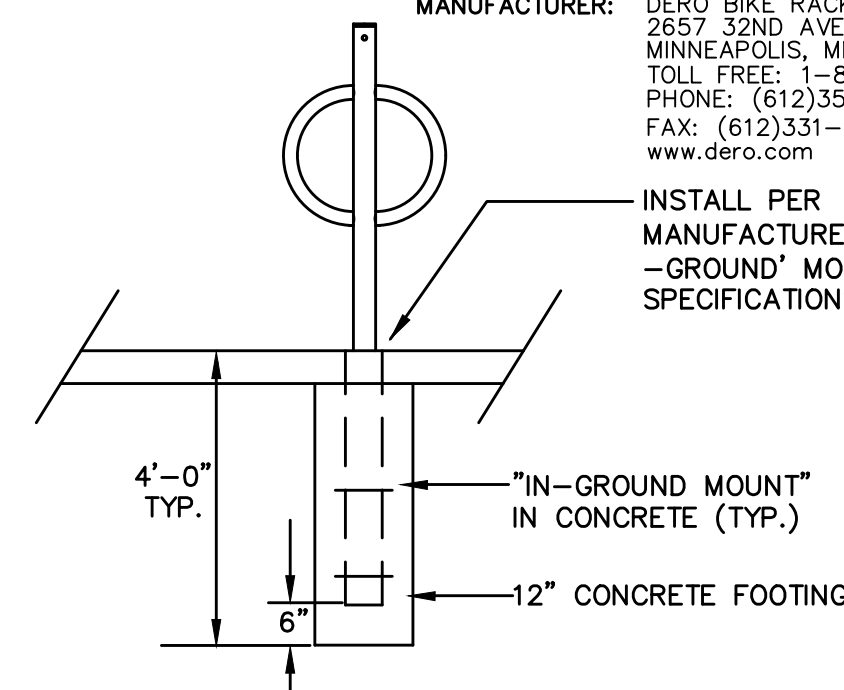
BRICK SIDEWALK WITH BITUMINOUS BASE
NOT TO SCALE



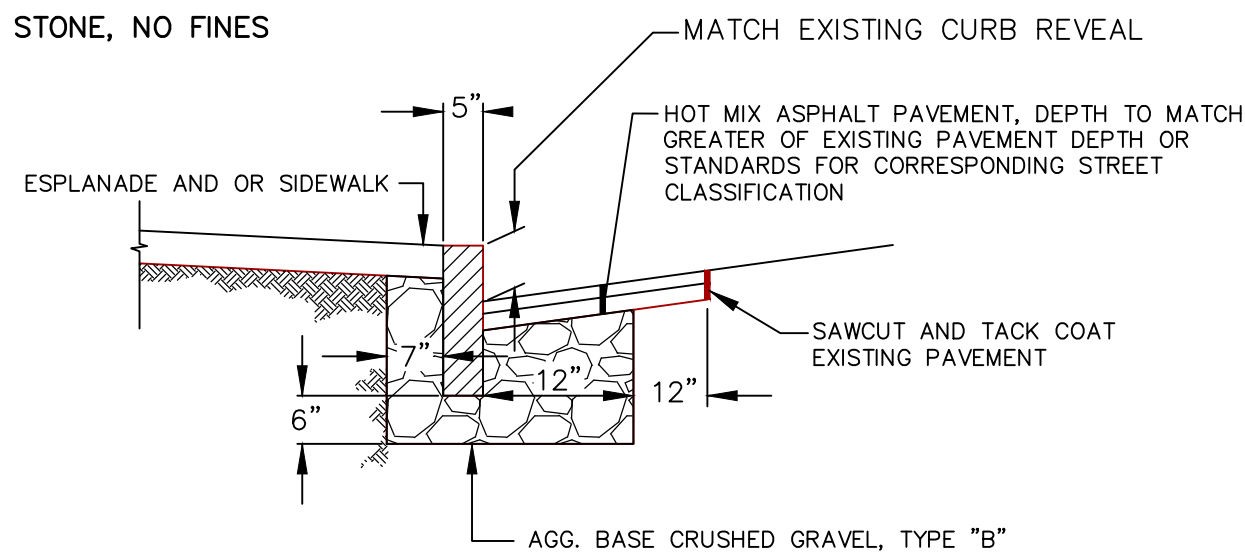
MULCH BERM DETAIL
NOT TO SCALE

DERO BIKE RACK - BIKE HITCH MODEL (OR EQUAL) SHALL BE HOT DIPPED GALVANIZED AND PAINTED BLACK IN COLOR.

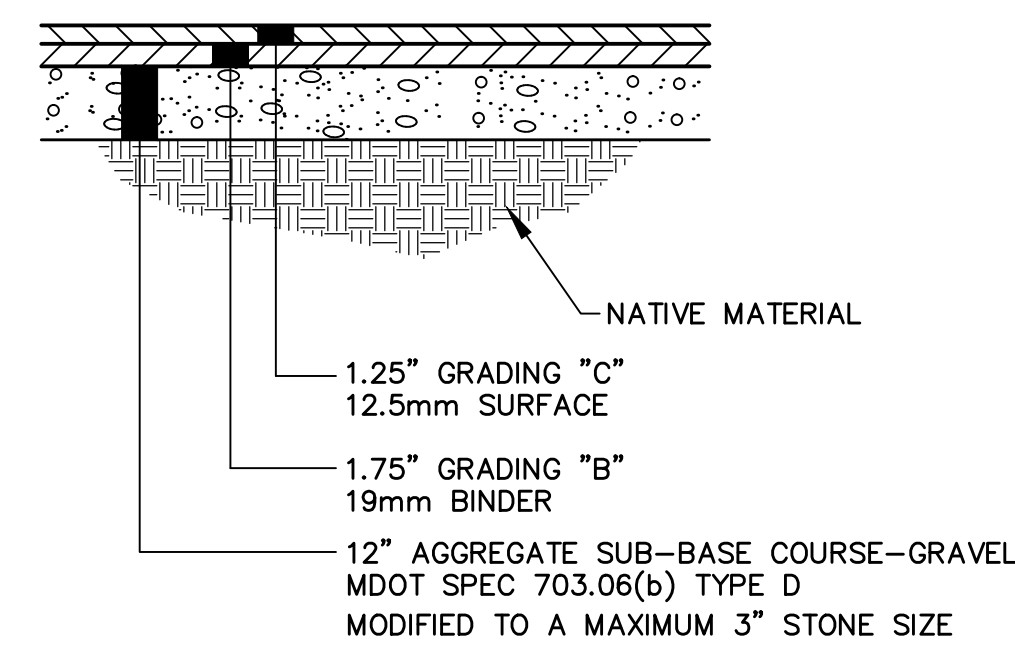
MANUFACTURER: DERO BIKE RACK CO. 2657 32ND AVE. SOUTH MINNEAPOLIS, MN 55406 TOLL FREE: 1-888-337-6729 PHONE: (612)359-0689 FAX: (612)331-2731 www.dero.com



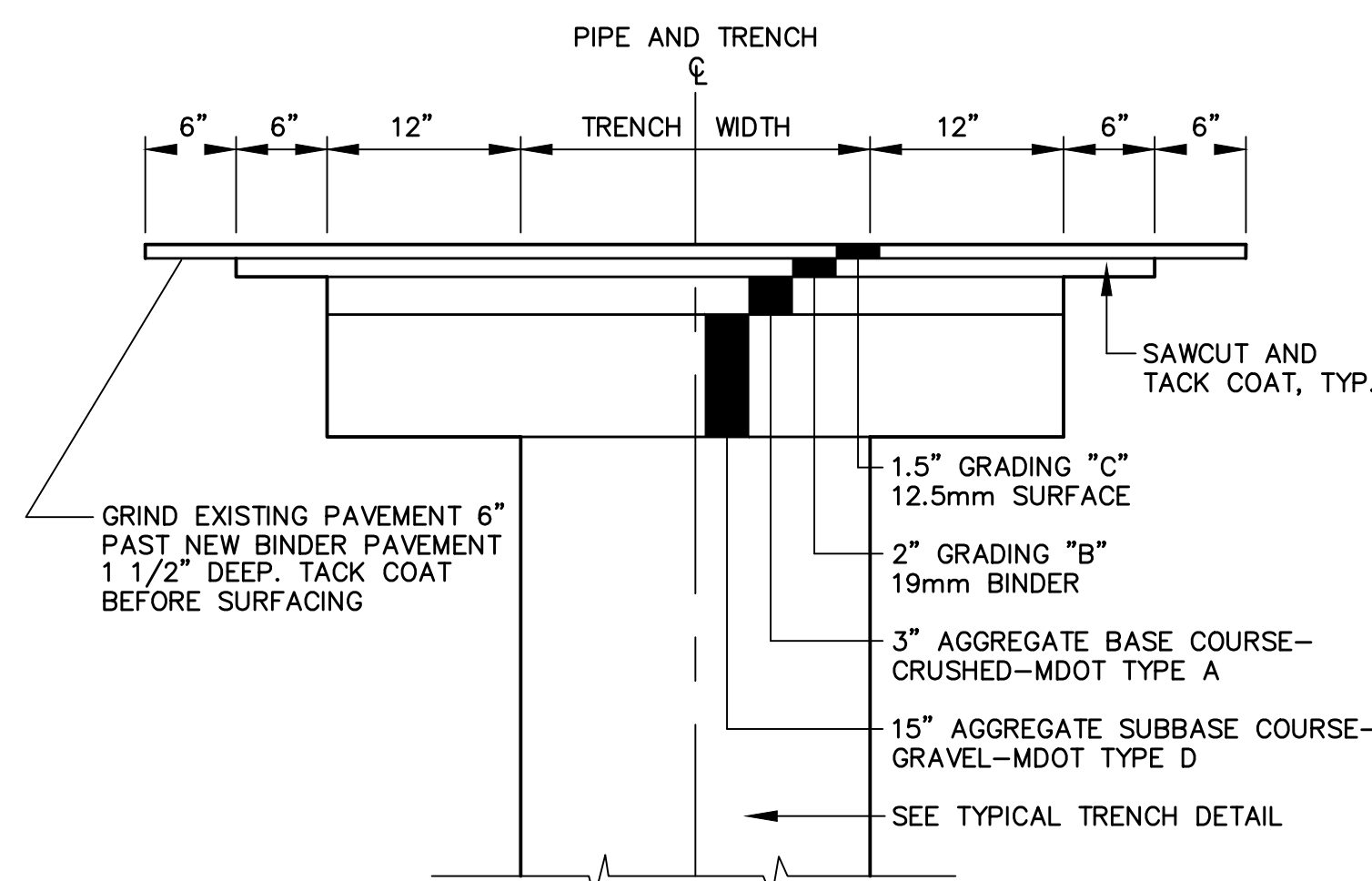
BIKE RACK DETAIL
NOT TO SCALE



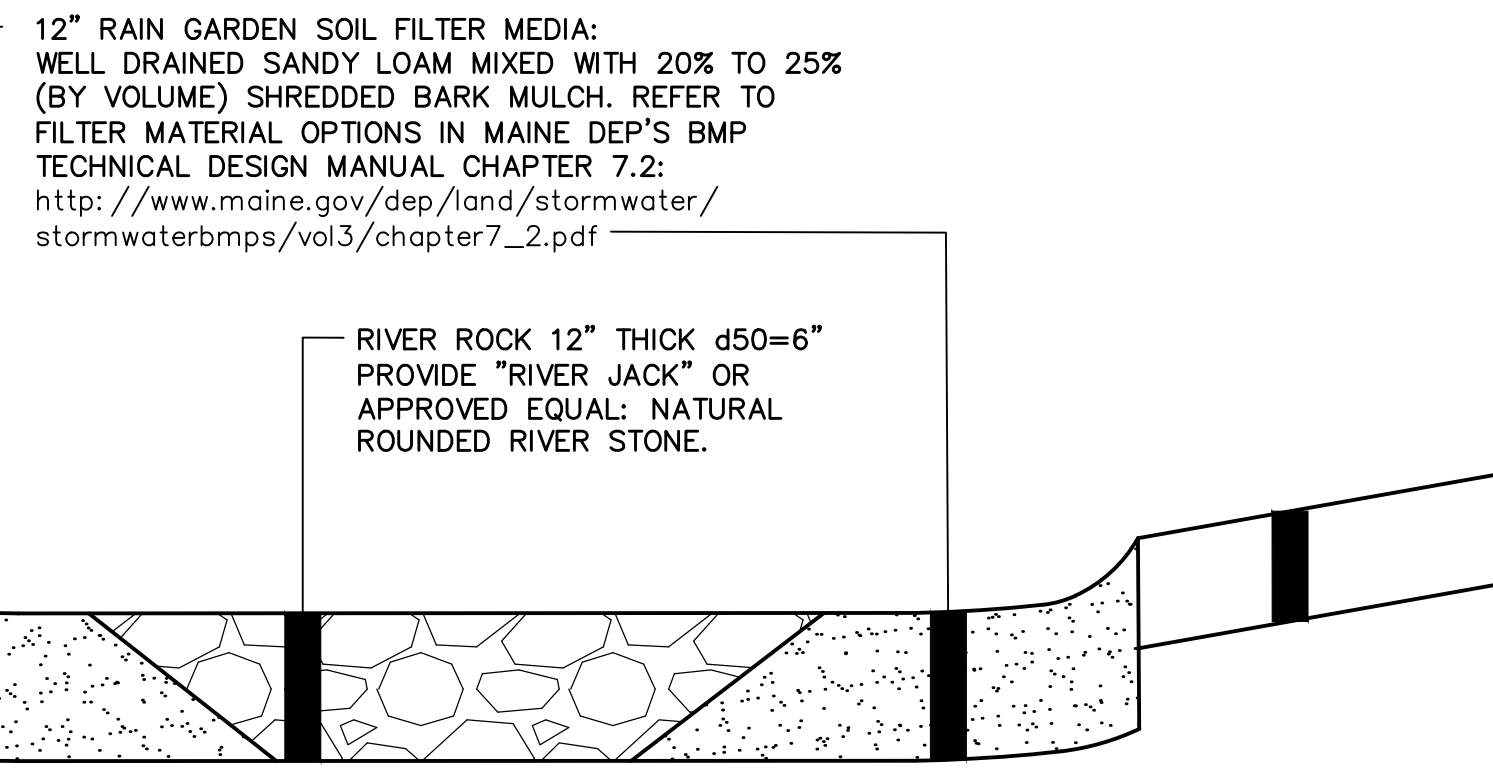
VERTICAL GRANITE CURB INSTALLATION IN EXISTING STREETS
NOT TO SCALE



TYPICAL DRIVEWAY CONSTRUCTION OUTSIDE OF RIGHT OF WAY
NOT TO SCALE



TYPICAL TRENCH PAVING DETAIL
NOT TO SCALE

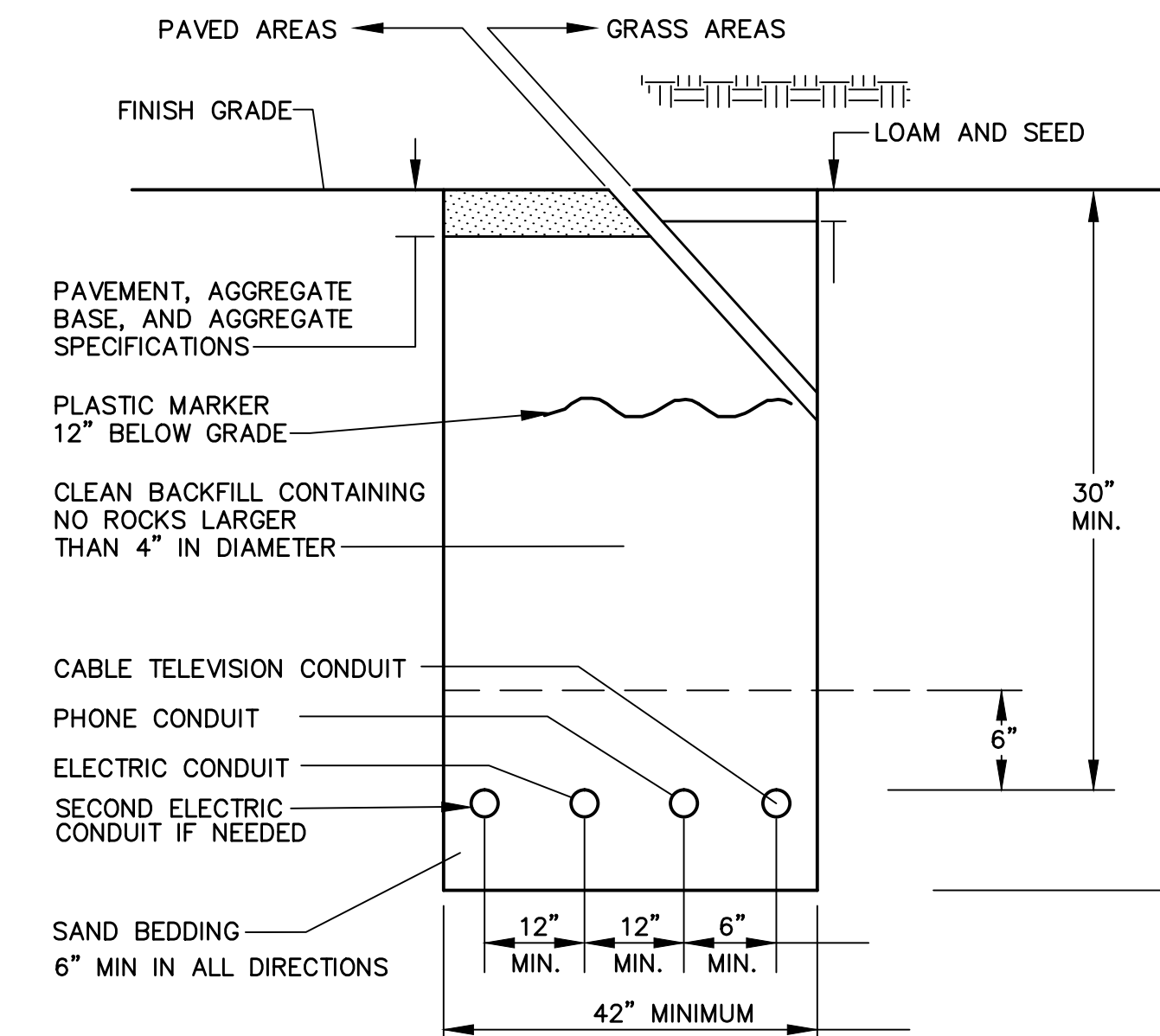


RAIN GARDEN AND GREEN SPACE NOTES:

1. GREEN SPACE OUTSIDE RAIN GARDEN AREAS TO RECEIVE 6" OF LOAM.
2. SEED RAIN GARDEN AND LOAMED AREAS WITH LOW-MOW/LOW-MAINTENANCE NATIVE GRASS SEED
3. SLOPE SOIL FILTER MEDIA INTO RIVER ROCK BED AS SHOWN IN ORDER TO MINIMIZE MIGRATION OF MEDIA INTO VOIDS BETWEEN STONES.

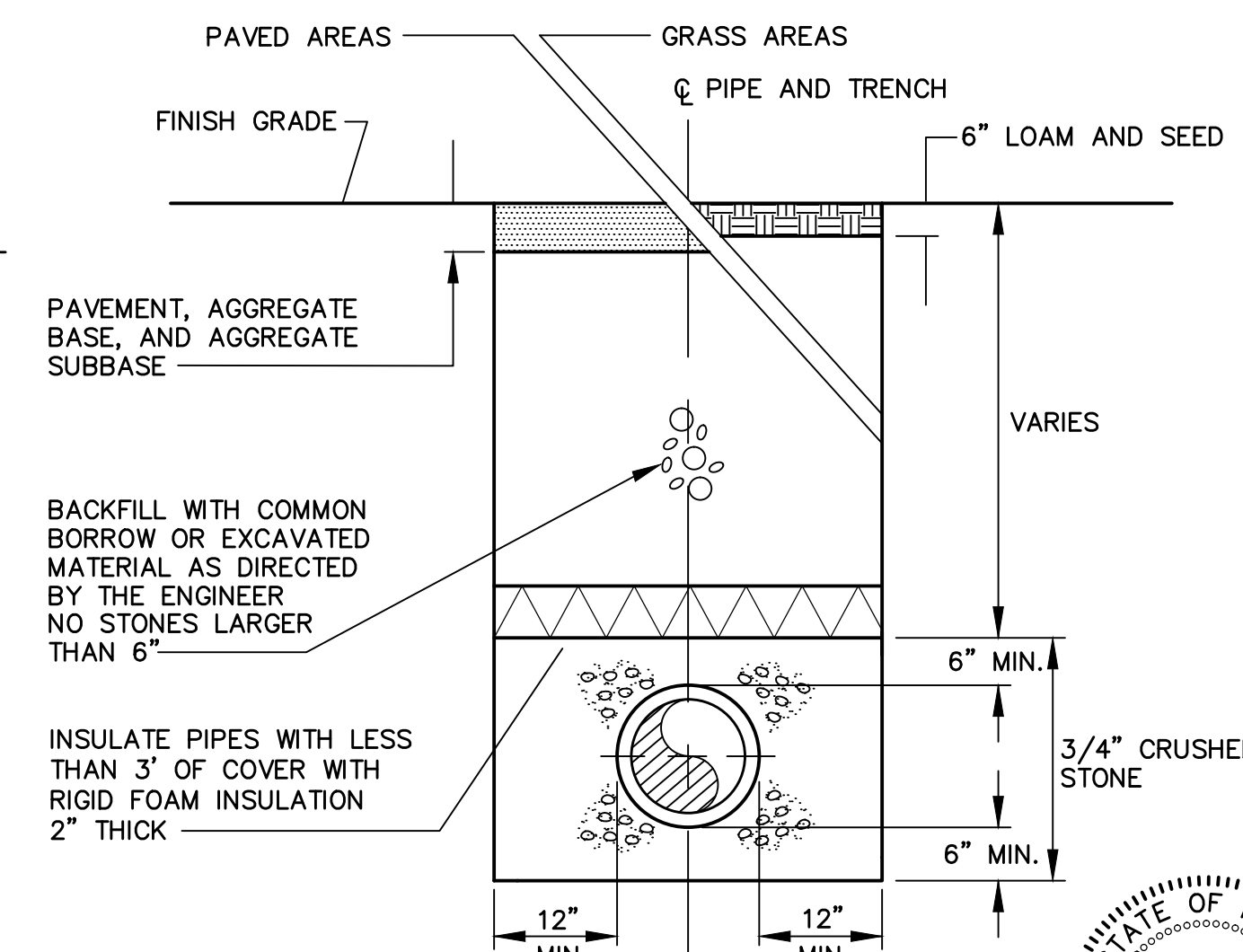
RAIN GARDEN DETAIL
NOT TO SCALE

SUBGRADE TO BE BACKFILLED WITH COARSE SAND AFTER REMOVAL OF URBAN SOILS.

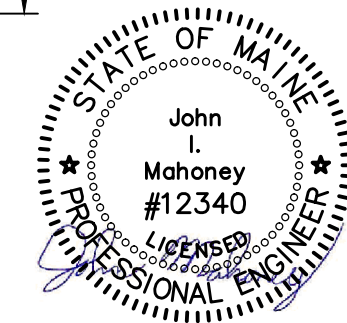


SEE ELECTRICAL PLANS FOR CONDUIT SIZES

UNDERGROUND UTILITY TRENCH DETAIL
NOT TO SCALE



TYPICAL TRENCH REPAIR DETAIL
NOT TO SCALE



65 Munjoy Street

65 MUNJOY STREET
PORTLAND, MAINE

Owner / Developer:

Adams Apple, LLC
30 Danforth Street, Suite 213
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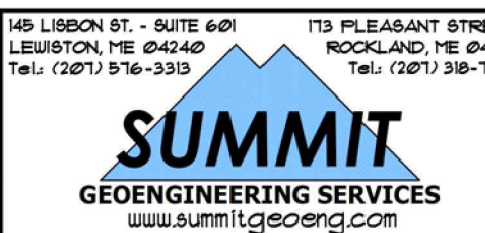
Landscape Architect
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34 Brown Street
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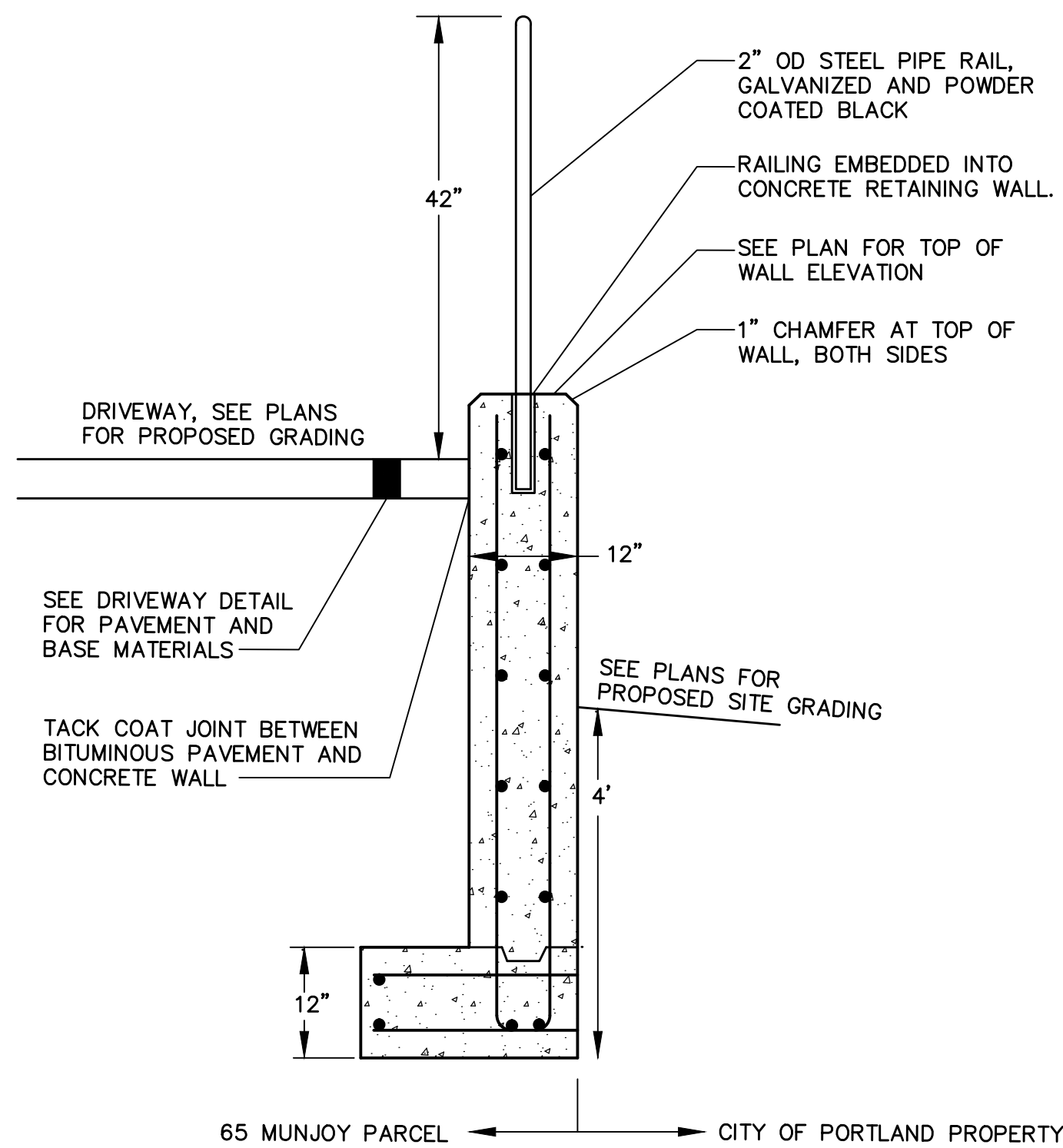
CIVIL DETAILS

No.	Revision/Issue	Date
B	SITE PLAN PERMITTING	12/11/15
A	PRE-APPLICATION MEETING	11/18/15

Design by:	JIM	Checked by:	SJB
Drawn by:	JIM	Approved by:	SJB
Project:	141.06157		
Sheet No:			

C3

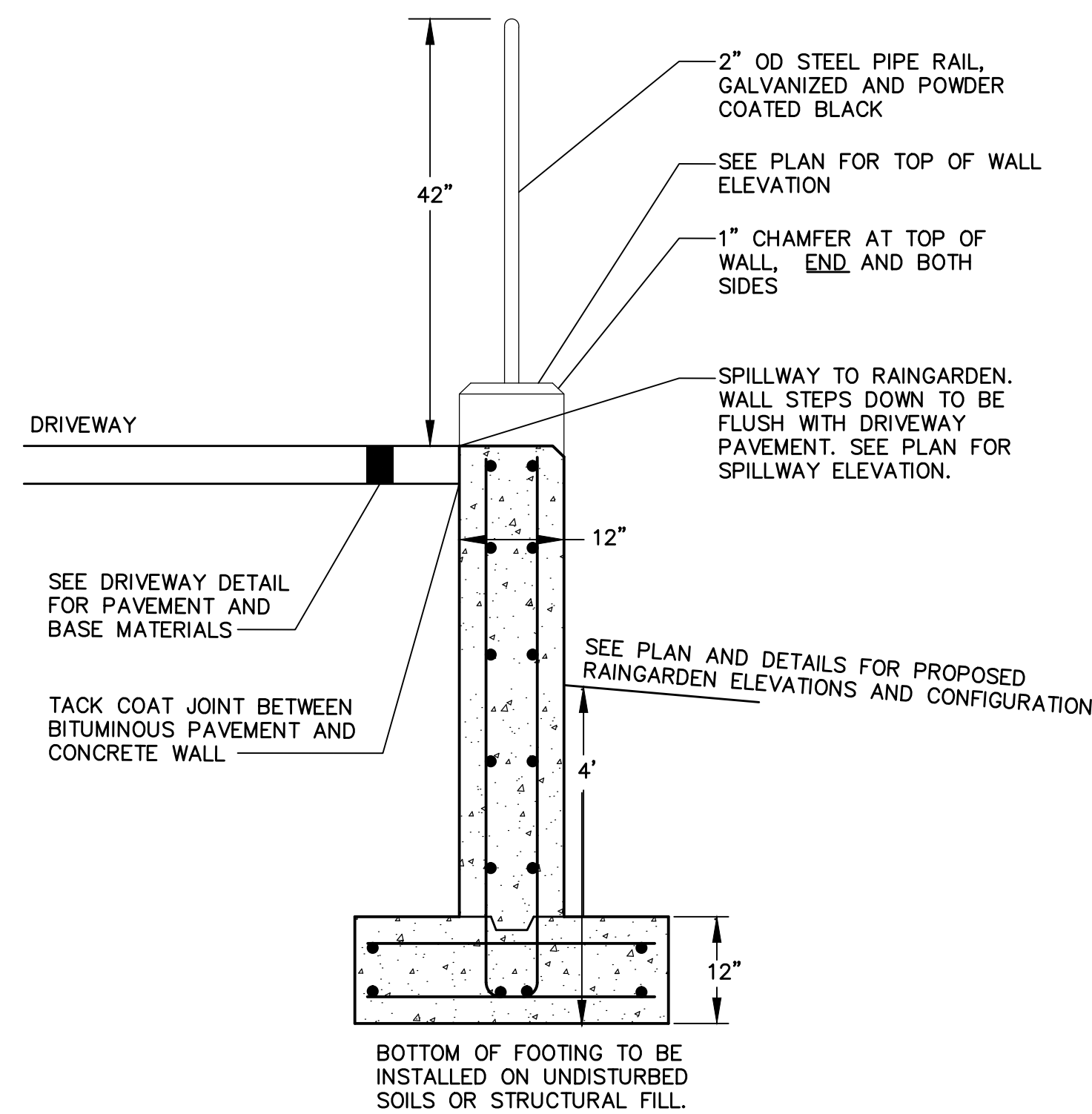
PERMITTING SET



* DIMENSIONS AND CONFIGURATION OF RETAINING WALL TO BE FINALIZED DURING FINAL DESIGN.

TYPICAL RETAINING WALL AT END OF DRIVEWAY, WHERE WALL ABUTTS CITY LAND

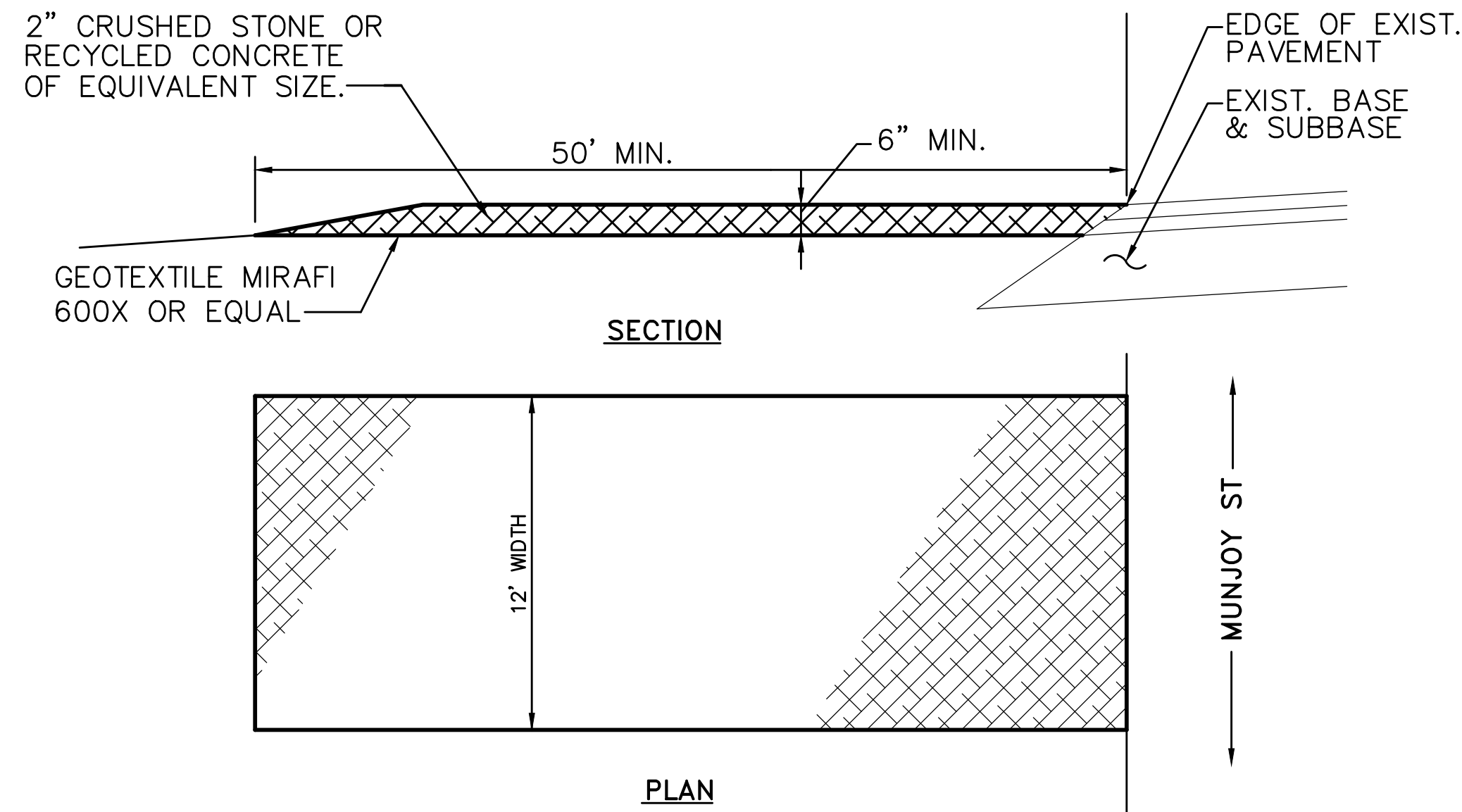
NOT TO SCALE



* DIMENSIONS AND CONFIGURATION OF RETAINING WALL TO BE FINALIZED DURING FINAL DESIGN.

RETAINING WALL DETAIL AT SPILLWAY TO RAIN GARDEN

NOT TO SCALE

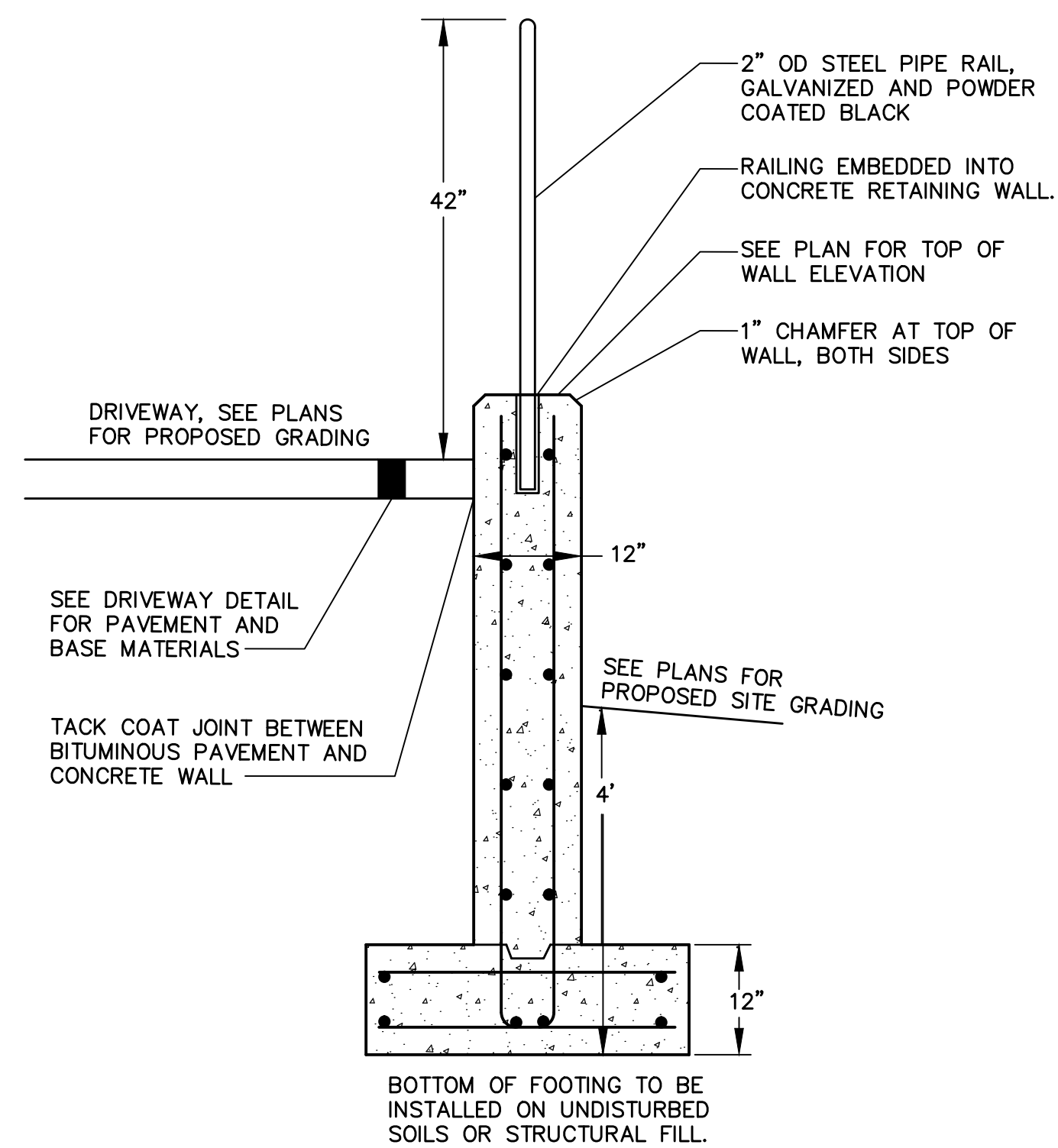


NOTES:

1. MAINTAIN ENTRANCE IN A CONDITION THAT WILL PREVENT TRACKING OF SEDIMENT ONTO PUBLIC RIGHT OF WAY. IF WASHING IS REQUIRED PREVENT SEDIMENT FROM ENTERING WATERWAYS, DITCHES OR STORM DRAINS.
2. REMOVE STABILIZED CONSTRUCTION ENTRANCE TO FINISH ROAD CONSTRUCTION & PAVEMENT.

STABILIZED CONSTRUCTION ENTRANCE

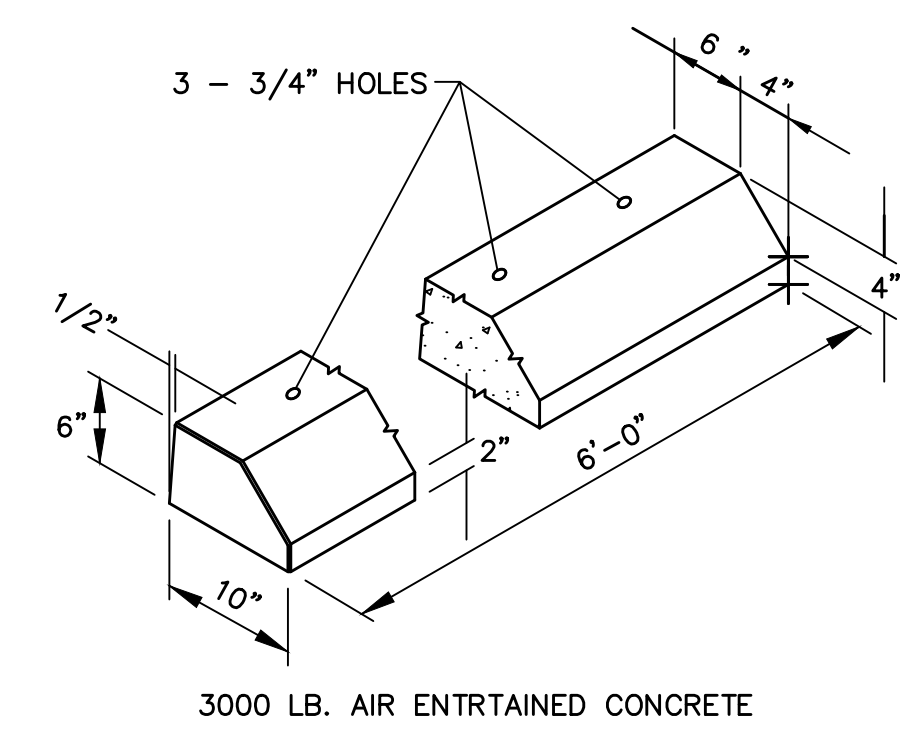
NOT TO SCALE



* DIMENSIONS AND CONFIGURATION OF RETAINING WALL TO BE FINALIZED DURING FINAL DESIGN.

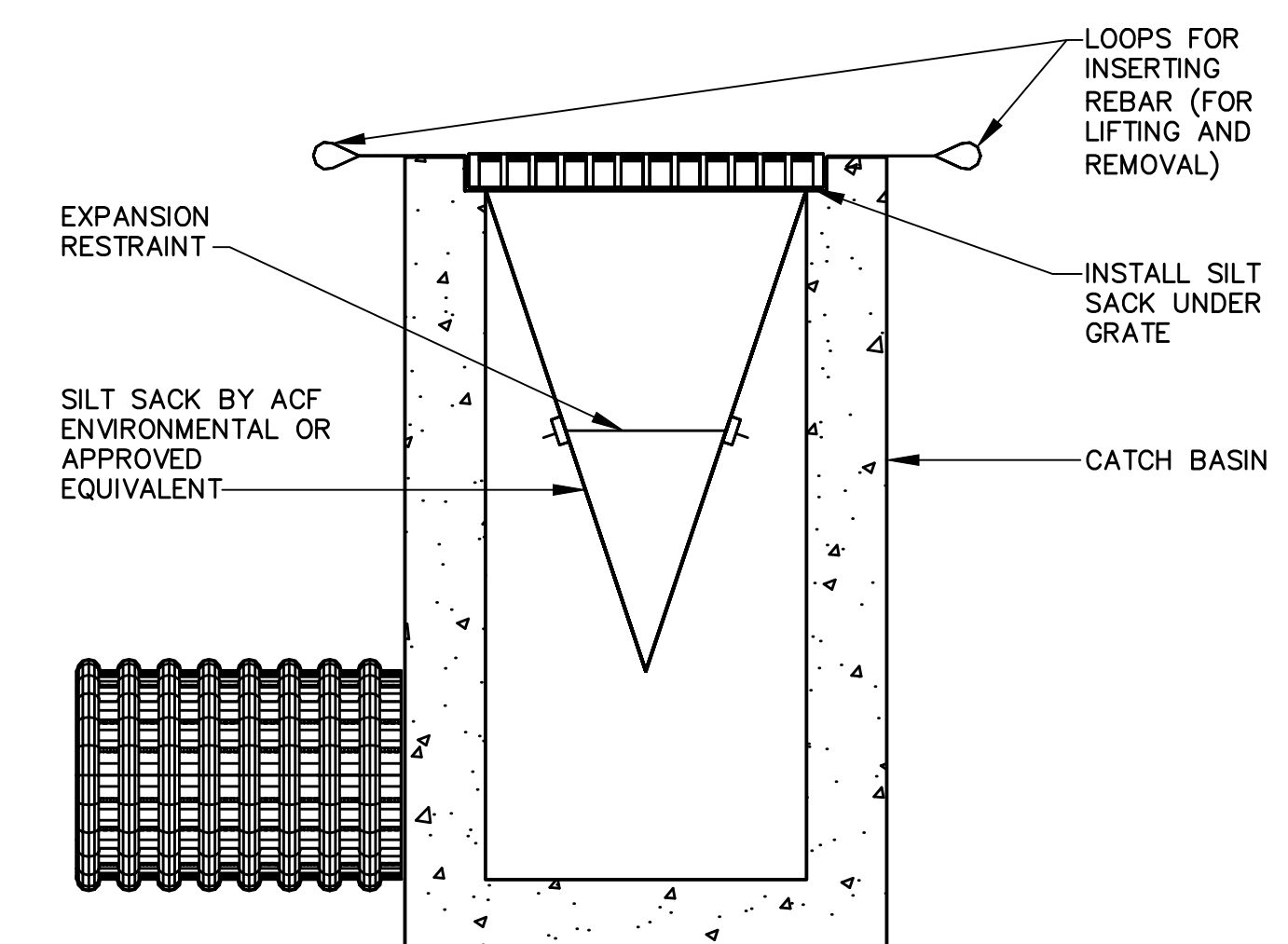
TYPICAL RETAINING WALL DETAIL

NOT TO SCALE



PRECAST CONC. WHEELSTOP

NOT TO SCALE

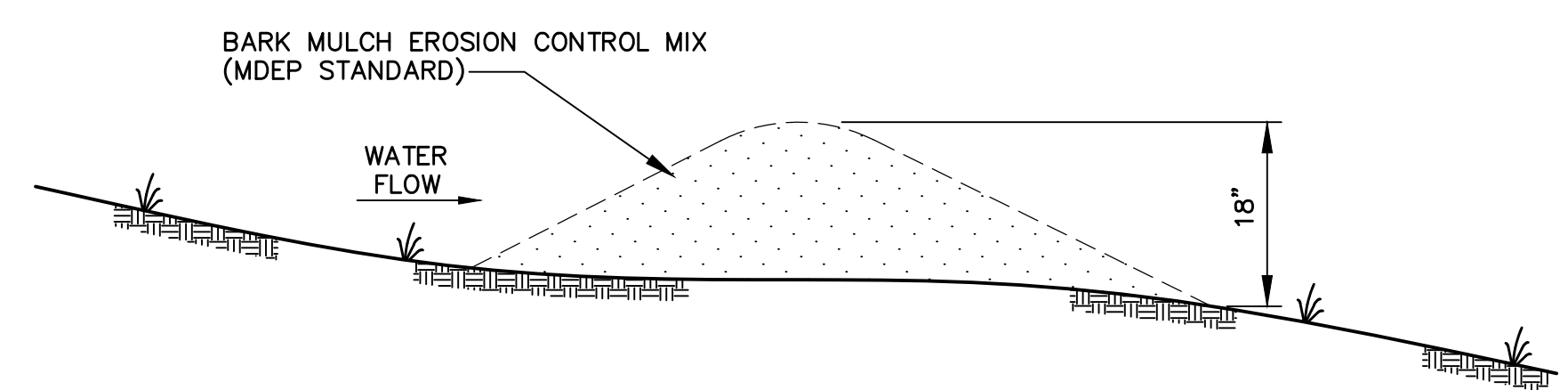


NOTES:

1. INSTALL SILTSACK PER MANUFACTURER'S RECOMMENDATIONS.
2. SILTSACKS SHALL BE CHECKED FOR SEDIMENT LEVEL AND OVERALL CONDITION IMMEDIATELY AFTER EVERY RAIN EVENT AND AT LEAST EVERY DAY DURING PROLONGED RAINFALL.
3. SEDIMENT SHALL BE REMOVED WHEN THE SEDIMENT HAS ACCUMULATED TO 1/2 THE DESIGN DEPTH OF THE SILTSACK. REMOVED SEDIMENT SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT WILL NOT ERODE.
4. SEDIMENT SHALL ONLY BE REMOVED BY REMOVING THE SILTSACKS FROM THE CATCH BASINS ACCORDING TO MANUFACTURER RECOMMENDATIONS.
5. CARE SHALL BE TAKEN TO AVOID SPILLING SEDIMENT WHILE REMOVING THE SILTSACK.
6. ANY DAMAGED SILTSACK SHALL BE REPLACED WITH A NEW SILTSACK.

INLET PROTECTION - SILT SACK

NOT TO SCALE



MULCH BERM DETAIL

NOT TO SCALE

Project
65 Munjoy Street
 65 MUNJOY STREET
 PORTLAND, MAINE

Owner / Developer:
 Adams Apple, LLC
 30 Danforth Street, Suite 213
 Portland, Maine 04101
 207-272-8550

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 Bild Architecture
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 Civil Engineer
 Ransom Consulting, Inc.
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 Landscape Architect
 Peter Burke Landscape Architecture
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 390 Route One
 Falmouth, Maine 04105
 207-774-0424

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 Structural Consultants
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 Phone (207) 657-8031
 www.ShelleyEngineering.com

Geotechnical Engineer
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 LEWISTON, ME 04240 ROCKLAND, ME 04841
 Tel: (207) 936-3330 Tel: (207) 398-1161

SUMMIT
 GEOENGINEERING SERVICES
 www.summitgeoeng.com

Construction Manager
 Wright-Ryan Construction
 10 Danforth Street
 Portland, Maine 04101
 207-773-3825

WR
 Wright-Ryan

CIVIL DETAILS

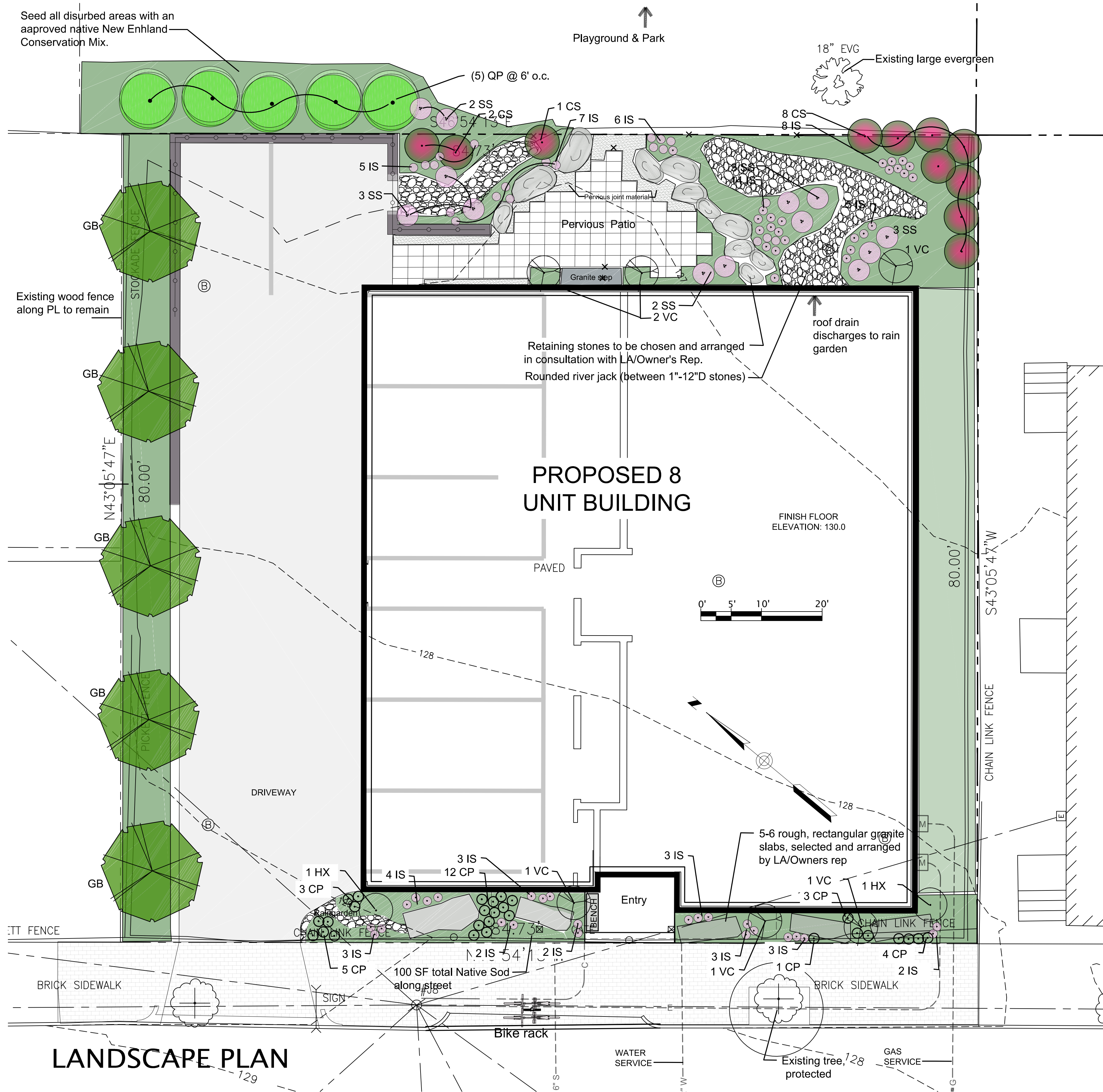
C	CITY COMMENT RESPONSE	1/27/16
B	SITE PLAN PERMITTING	12/11/15
A	PRE-APPLICATION MEETING	11/18/15

No.	Revision/Issue	Date
Design by:	JIM	Checked by: SJB
Drawn by:	JIM	Approved by: SJB

Project:
141.06157

Sheet No:
C4

STATE OF MAINE
 John Mahoney #12340
 LICENSED PROFESSIONAL ENGINEER



NOT FOR CONSTRUCTION

FOR PERMITTING



IEWS FROM MUNJOY STREET



For Patio area, pavers to be Hanover permeable 12" x 18" Color choice, joint material, and Final layout TBD



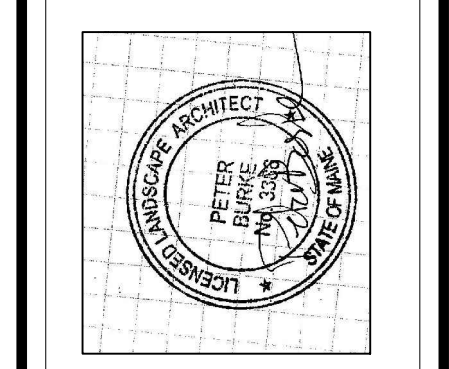
Example of a similar riverstone rain garden

PLANTING SPECIFICATIONS

- 1.0 DESCRIPTION
 - A. WORK UNDER THIS SECTION SHALL INCLUDE ALL LABOR, MATERIALS, SERVICES, EQUIPMENT AND ACCESSORIES NECESSARY TO FURNISH AND INSTALL PLANT MATERIAL IN COMPLETE ACCORDANCE WITH THESE SPECIFICATIONS AND APPLICABLE DRAWINGS.
 - 1.1 QUALITY ASSURANCE
 - A. INSTALLER'S PERSONNEL QUALIFICATIONS: REPUTABLE LANDSCAPE CONTRACTOR WITH A MIN. 5 YEARS EXPERIENCE IN LANDSCAPE CONSTRUCTION AND LICENSED TO PERFORM WORK AS DESCRIBED IN THIS SECTION.
 - B. COMPLY WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS GOVERNING LANDSCAPE MATERIALS AND WORK.
 - 1.2 WARRANTY
 - A. ALL PLANTS SHALL BE GUARANTEED BY THE LANDSCAPE CONTRACTOR FOR ONE (1) FULL YEAR FROM DATE OF ACCEPTANCE BY THE OWNER'S REPRESENTATIVE.
 - B. ALL REPLACEMENT STOCK SHALL BE SUBJECT TO THE SAME WARRANTY REQUIREMENTS AS THE ORIGINAL STOCK.
 - 1.3 MATERIALS
 - A. ALL PLANT STOCK SHALL BE NURSERY GROWN AND COMPLY WITH ANSI Z60.1 (AMERICAN STANDARD FOR NURSERY STOCK).
 - B. ALL DECIDUOUS TREES SHALL BE BALLED AND BURLAPPED.
 - C. DAMAGED PLANTS AND PLANTS THAT DO NOT MEET REQUIREMENTS WILL BE REJECTED.
 - D. TOPSOIL/PLANTING SOILS: TOPSOIL OR MANUFACTURED TOPSOIL SHALL CONSIST OF 3 PARTS LOAM AMENDED WITH 1 PART PEAT HUMUS. PROVIDE FRIABLE NATURAL TOPSOIL FREE OF ROCKS, STONES, BRUSH, CLAY, LUMPS, TWIGS, LITTER, EXTRANEOUS MATERIAL, NOXIOUS WEEDS AND SEEDS.
 - E. FERTILIZER: SLOW RELEASE PACKETS OR TABLETS CONTAINING THE FOLLOWING COMPOSITION: NITROGEN 16%, PHOSPHORIC ACID 8%, AND POTASH 16%.
 - F. MULCH: NUTRI-MULCH FROM NEW ENGLAND ORGANICS (WWW.EARTHLIFEGROWS.COM) OR APPROVED EQUAL.
 - 1.4 INSTALLATION
 - A. SITE PREPARATION: THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE A MINIMUM OF 48 HOURS PRIOR TO INSTALLATION TO COORDINATE INSTALLATION AND LOCATION OF PLANT MATERIAL. SEASONS FOR PLANTING, UNLESS OTHERWISE DIRECTED BY THE OWNER'S REPRESENTATIVE, SHALL BE WITHIN (SPRING) 4/1 TO 7/15, AND (FALL) 8/15 TO 11/15
 - B. SOIL AMENDMENTS: IN LOCATIONS OF HIGH CLAY CONTENT APPLY GYPSUM ADDITIVES TO BREAK DOWN THE CLAY.
 - C. PLANTING: ALL PLANTING SHALL BE DONE IN STRICT ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICES.
 - D. PRUNING: ALL DEAD OR DAMAGED BRANCHES SHALL BE REMOVED FROM PLANTS. PRUNE AN ADDITIONAL 1/4 OF REMAINING BRANCHES TO ENCOURAGE ROOT GROWTH.
 - E. CLEAN-UP: THE CONTRACTOR SHALL REMOVE ALL DEBRIS, CONSTRUCTION EQUIPMENT, EXCESS FILL, ROCKS, AND OTHER EXCESS MATERIAL CAUSED BY THIS WORK, FROM THE SITE UPON COMPLETION OF WORK.
- END OF SECTION

PLANT LIST

KEY	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY
GB	Ginkgo biloba 'Princeton Sentry'	Columnar Ginkgo	2"	5
QP	Quercus x warei 'Long' Regal Prince	Regal Prince Oak	2"	5
CS	Cornus sericea 'Kelsey'	Dwarf Red Twigged Dogwood	#3	11
SS	Schizachyrium scoparium "The Blues"	Little Bluestem	#2	13
CP	Carex 'Pennsylvanica'	Native Sedge	#1	28
NS	Dennstaedtia punctilobula	Hayscented Fern	Sod	100 SF
VC	Vaccinium corymbosum (3 Berkeley & 3 Bluecrop)	Highbush Blueberry	#7	6
HX	Hamamelis x. intermedia 'Arnold's Promise'	Winter-Flowering Witchhazel	5-6'	2
IS	Iris siberica	Siberian Iris	#1	70

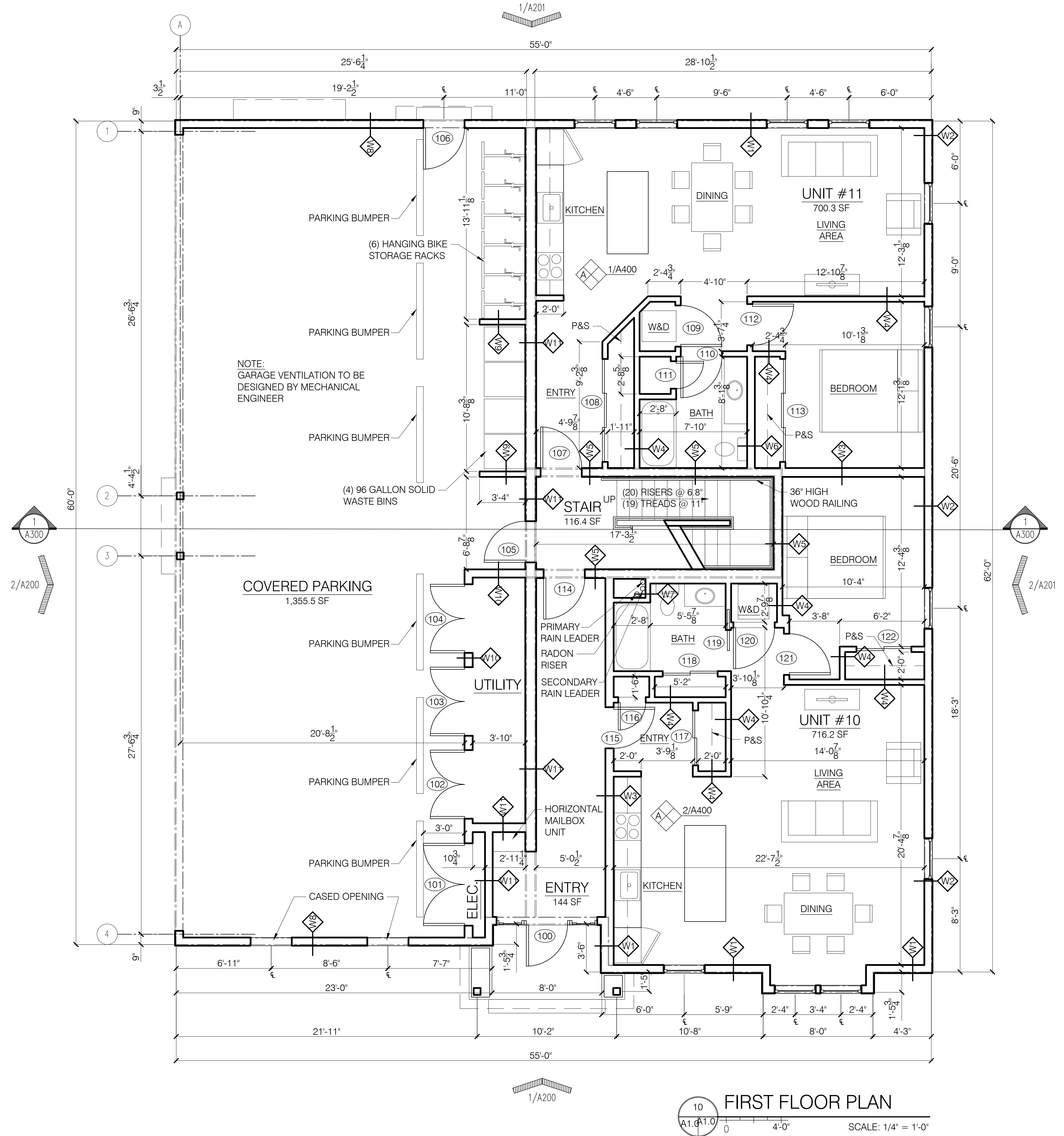


PREPARED FOR:

LANDSCAPE PLAN
65 Munjoy Street
PORTLAND, MAINE

DATE: February 9, 2016
DESIGNED BY: PAB
DRAWN BY: PAB

UNIT	TOTAL SQUARE FOOTAGE	# BEDROOMS	# BATHROOMS
10	716.2	1	1
11	700.3	1	1
20	992	2	1
21	1347.5	3	1.5
22	712.2	1	1
30	992	2	1
31	1347.5	3	1.5
32	712.2	1	1
TOTAL	7520		



FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

Bild Architecture
PO Box 8235
Portland, ME
04104
207.408.0168
evan@bildarchitecture.com

PROJECT NO. 14036
PROJECT NAME 65 MUNJOY STREET
ADAM'S APPLE LLC

DESIGN DEVELOPMENT NOT FOR CONSTRUCTION

ISSUE DATE 2/19/16
SHEET SCALE 1/4" = 1'-0"

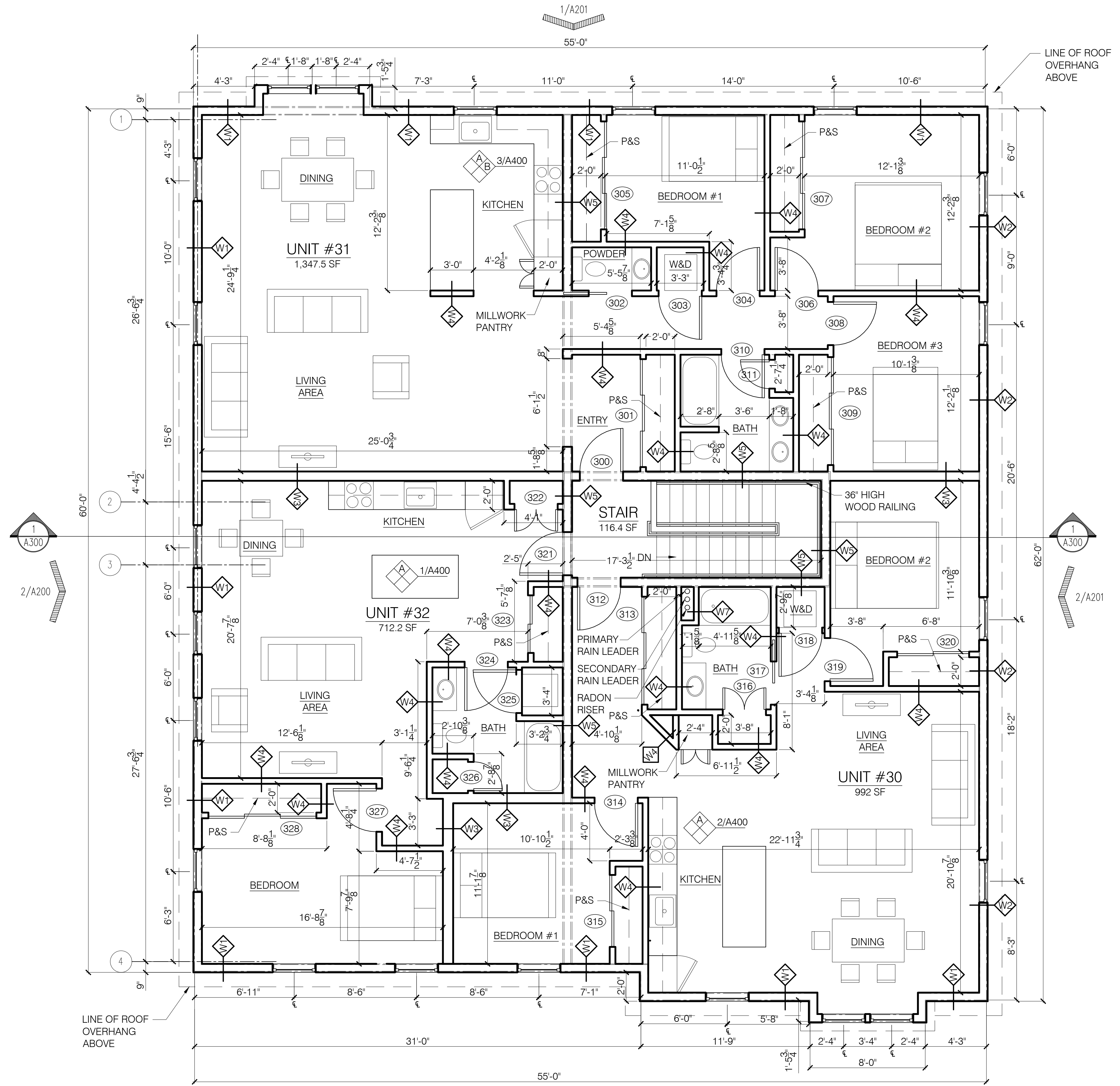
REVISIONS

1	
2	
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DRAWN BY EAC
SHEET TITLE FIRST FLOOR PLAN

100

UNIT	TOTAL SQUARE FOOTAGE	# BEDROOMS	# BATHROOMS
10	716.2	1	1
11	700.3	1	1
20	992	2	1
21	1347.5	3	1.5
22	712.2	1	1
30	992	2	1
31	1347.5	3	1.5
32	712.2	1	1
TOTAL	7520		



10
A1.0
THIRD FLOOR PLAN
SCALE: 1/4" = 1'-0"

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 evan@bildarchitecture.com

PROJECT NO. 14036
PROJECT NAME 65 MUNJOY STREET
ADAM'S APPLE LLC

DESIGN DEVELOPMENT NOT FOR CONSTRUCTION

THIRD FLOOR PLAN

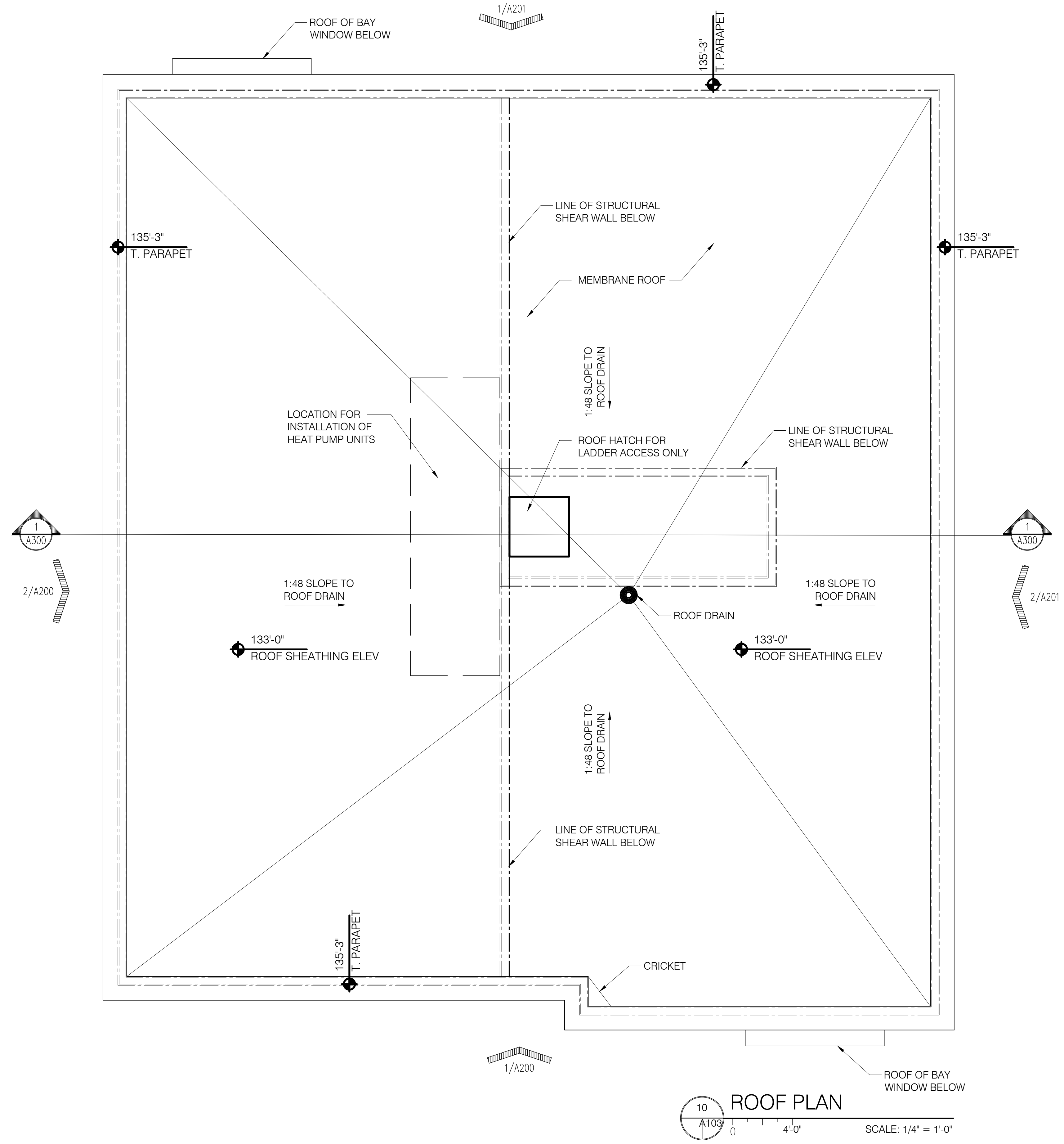
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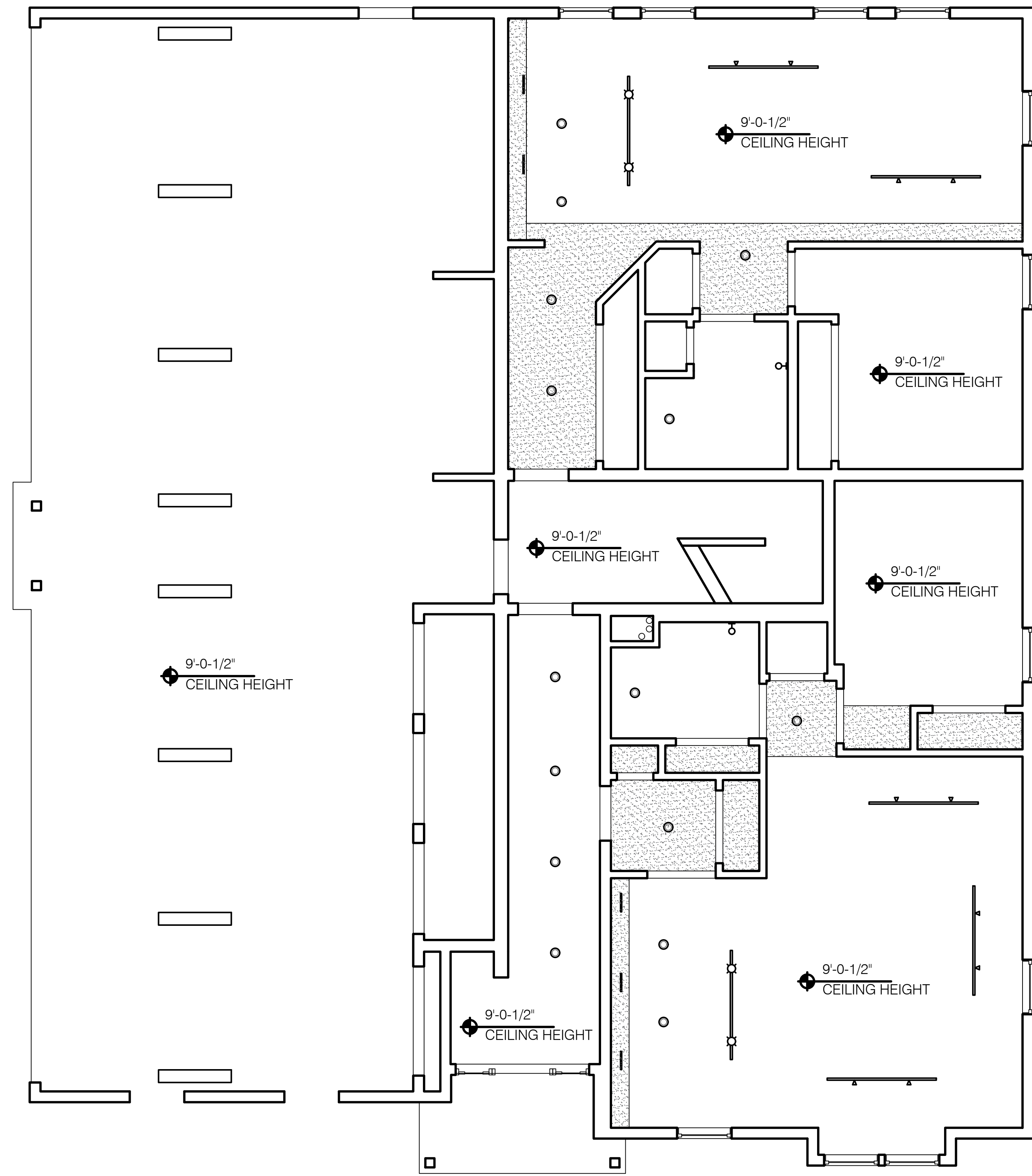
REVISIONS:
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 3
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DRAWN BY: EAC
 SHEET TITLE: THIRD FLOOR PLAN

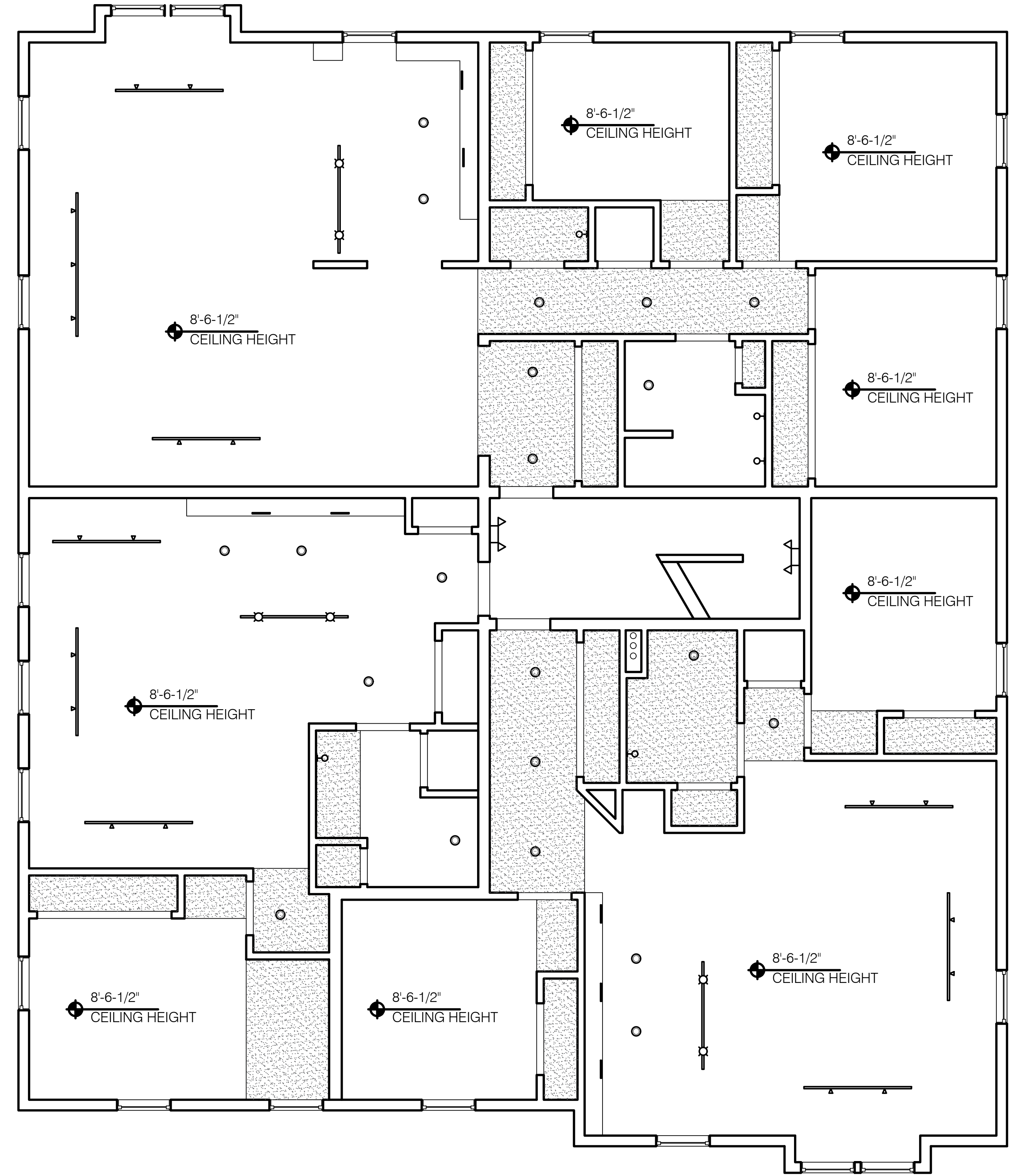
A

102




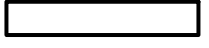







10 FIRST FLOOR RCP
 A100/A104 0 4'-0" SCALE: 1/4" = 1'-0"



20 TYPICAL UPPER FLOOR RCP
 A101/A104 0 4'-0" SCALE: 1/4" = 1'-0"

REFLECTED CEILING PLAN KEY

-  7'-6" HIGH GYP. BD. CEILING/SOFFIT
-  FIXTURE A - LOW PROFILE WRAPAROUND
-  FIXTURE B - SURFACE LED DOWNLIGHT*
-  FIXTURE C - DECORATIVE WALL SCNCE
-  FIXTURE D - LED UNDERCABINET LIGHTBAR
-  FIXTURE E - TRACK LIGHTING W/ PENDANT
-  FIXTURE F - TRACK LIGHTING W/ LINE VOLTAGE LUMINAIRE

* PROVIDE WATERPROOF FIXTURE AT BATHTUB

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PROJECT NAME 65 MUNJOY STREET
ADAM'S APPLE LLC

DESIGN DEVELOPMENT NOT FOR CONSTRUCTION

ISSUE DATE 2/19/16
DRAWN BY EAC
SHEET SCALE 1/4" = 1'-0"

REVISIONS

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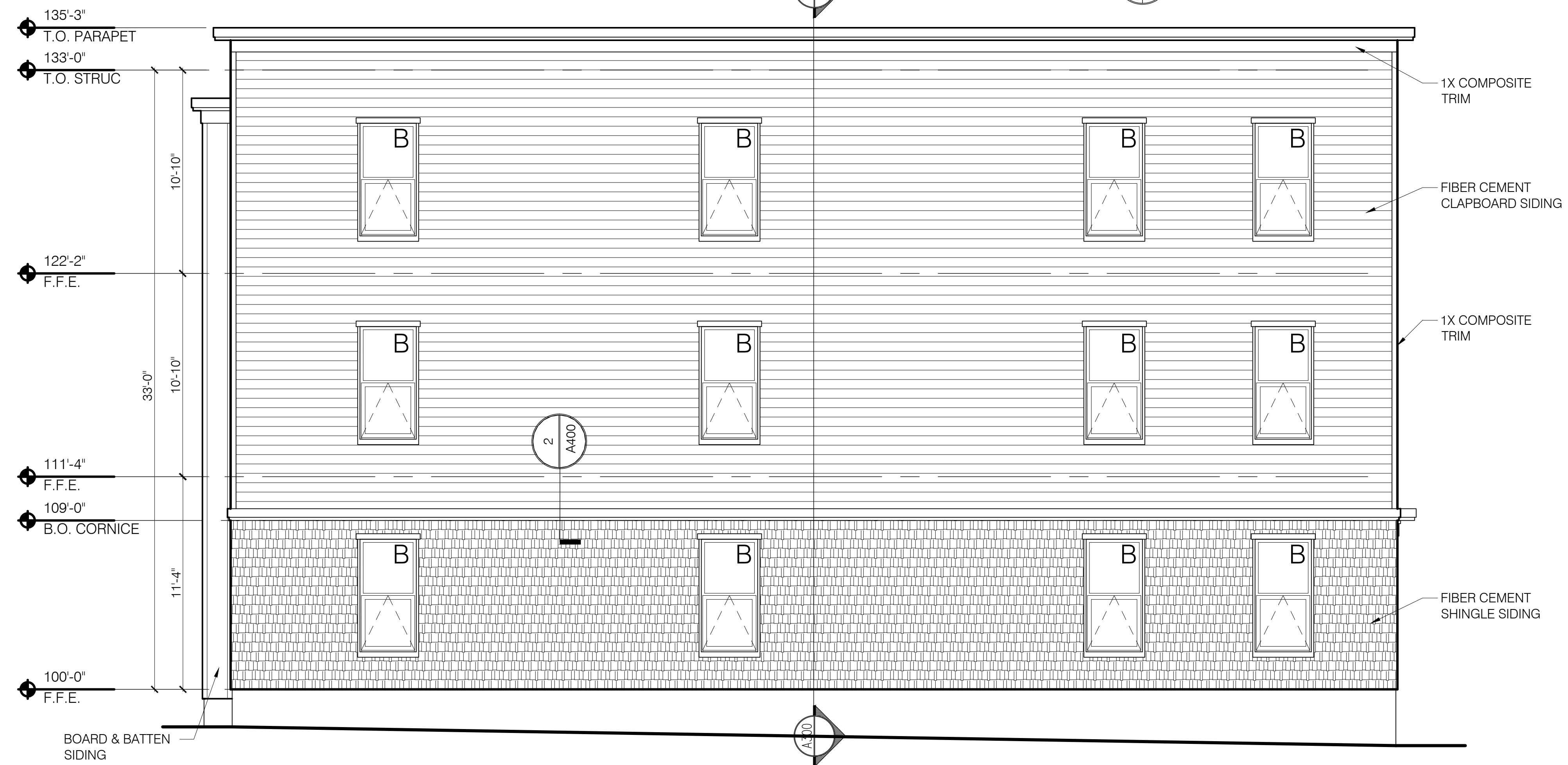
SECOND & THIRD FLOOR RCPS

A

104



10 FRONT ELEVATION
SCALE: 1/4" = 1'-0"



20 LEFT ELEVATION
SCALE: 1/4" = 1'-0"



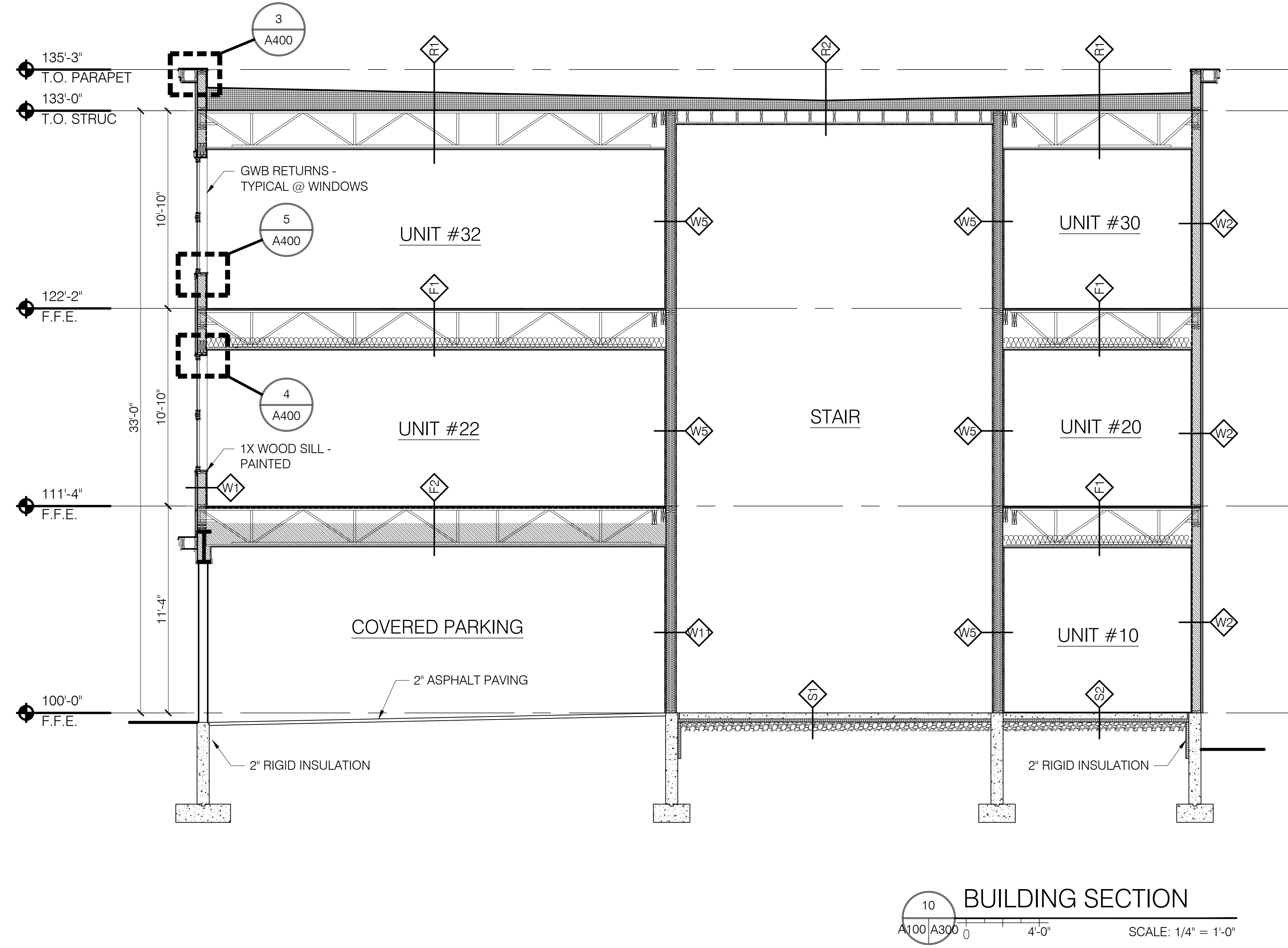
10 REAR ELEVATION
SCALE: 1/4" = 1'-0"



20 RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

REVISIONS

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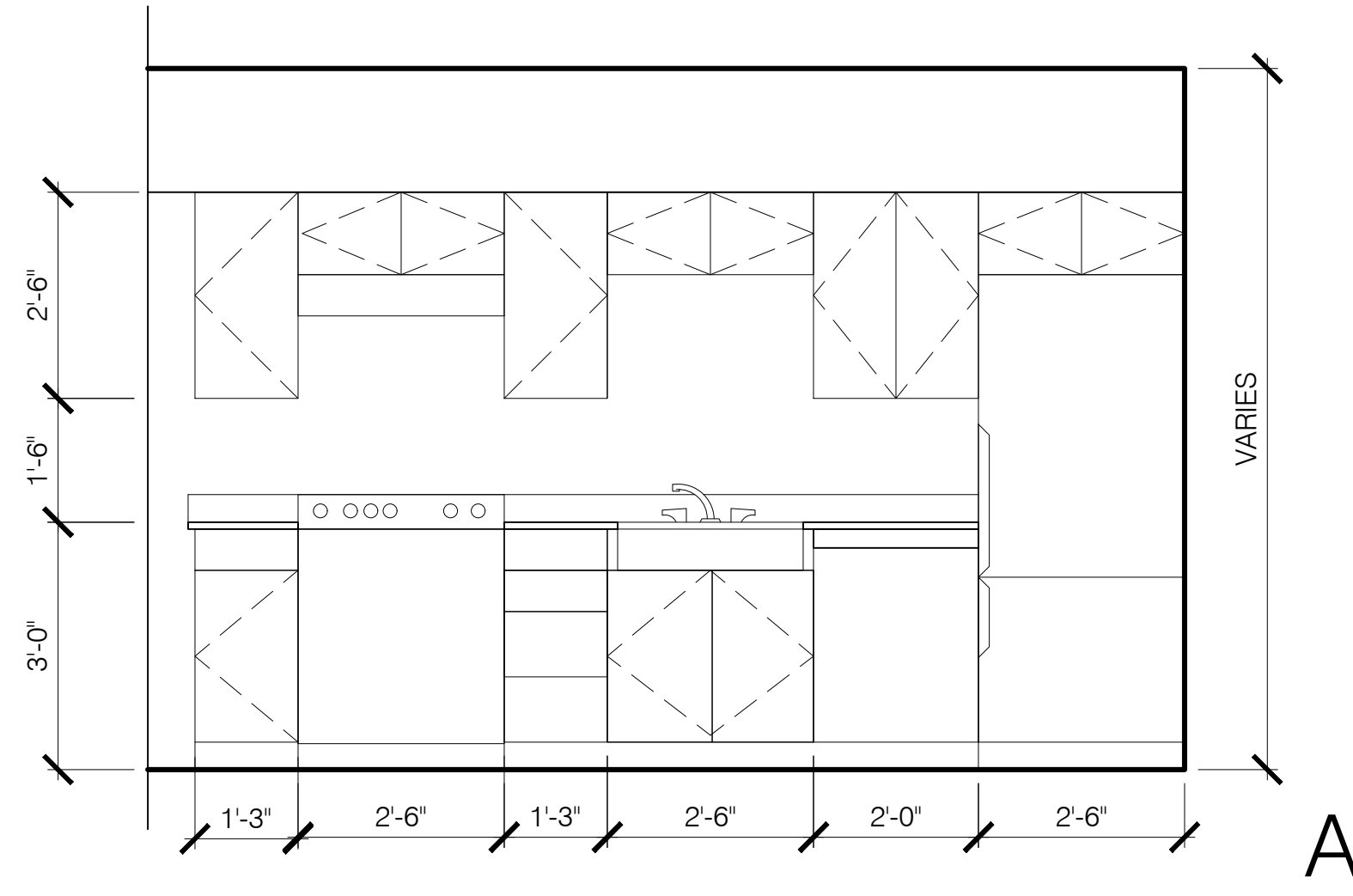


REVISIONS

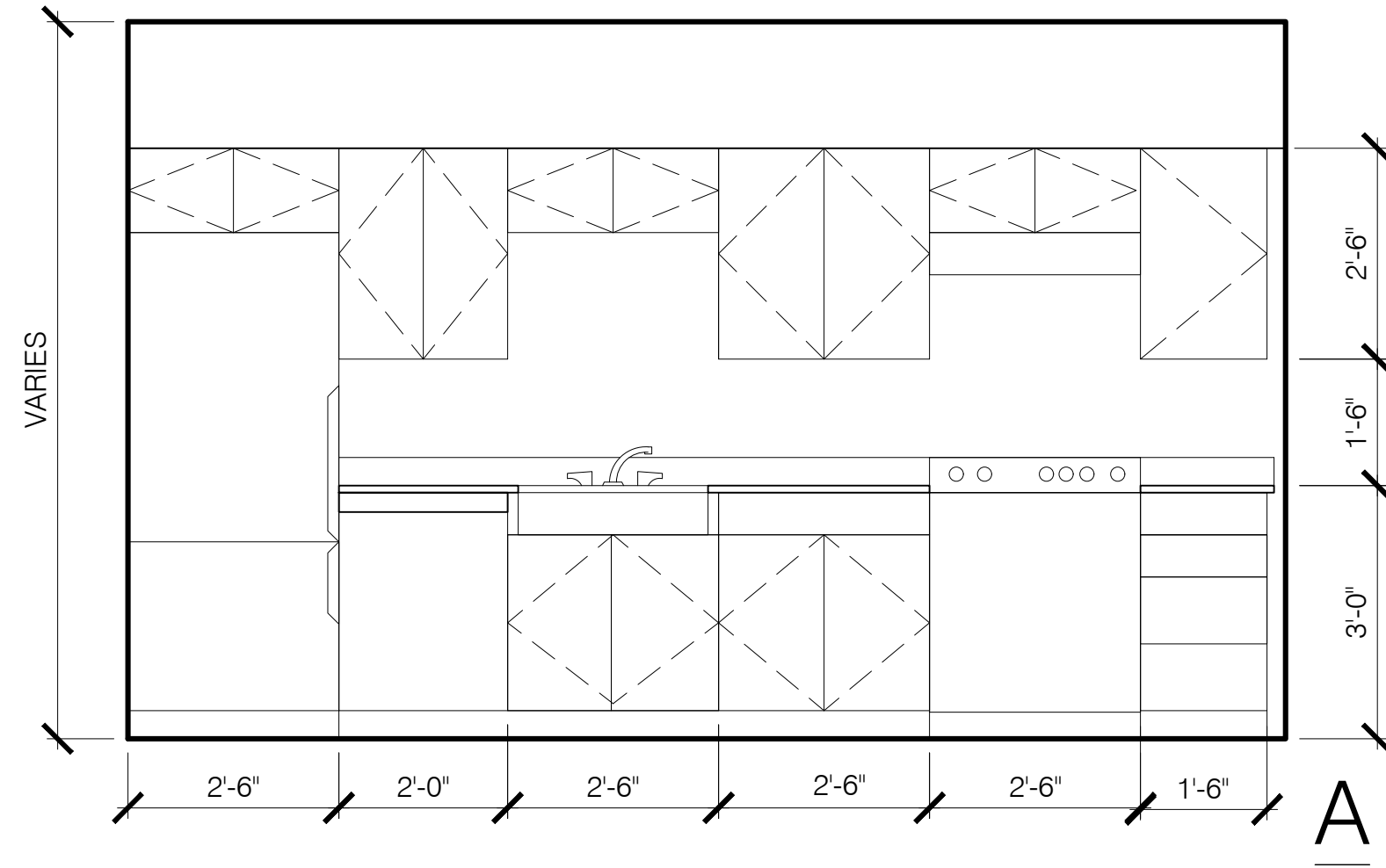
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DESIGN DEVELOPMENT
NOT FOR CONSTRUCTION
BUILDING SECTIONS

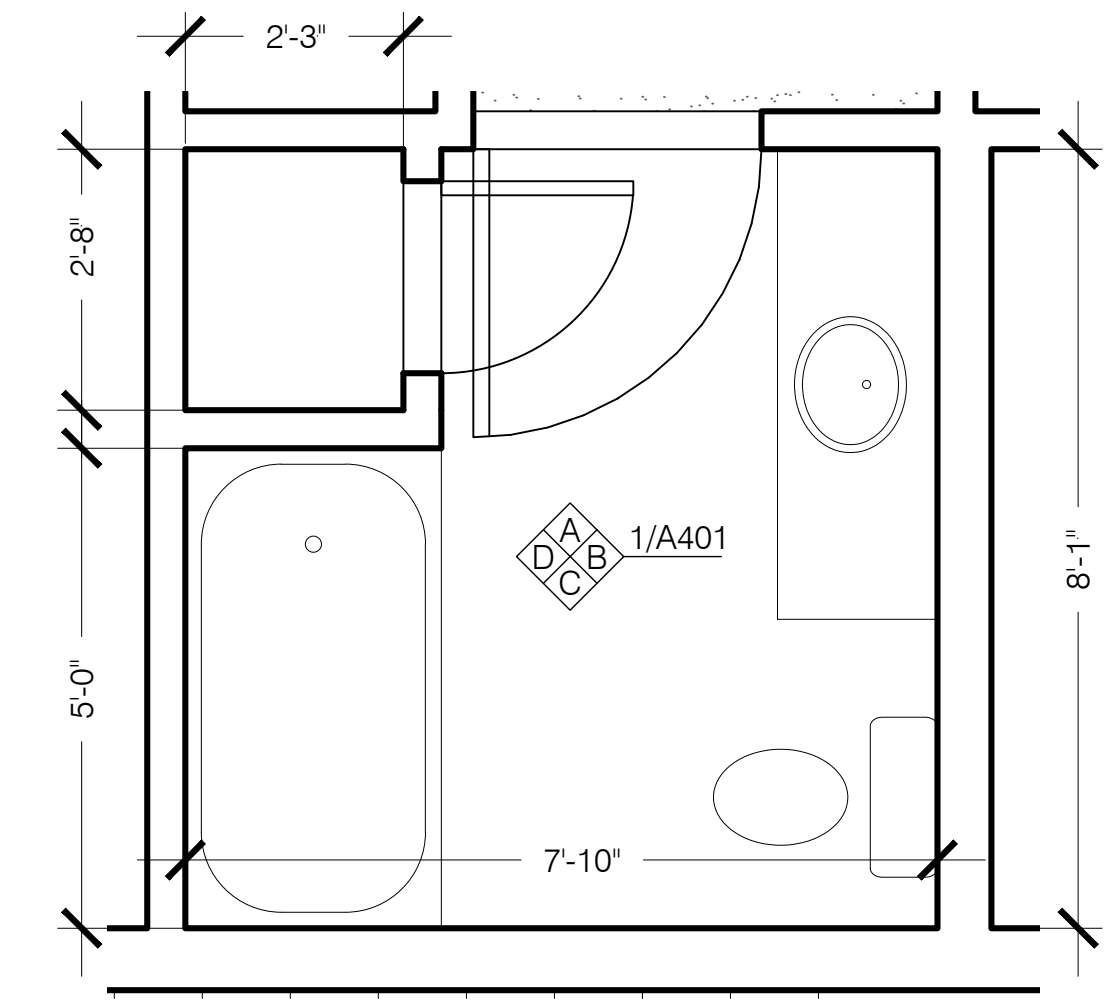
ISSUE DATE: **2/19/16**
 SHEET SCALE: **1/4" = 1'-0"**
 DRAWN BY: **EAC**
 SHEET TITLE: **BUILDING SECTIONS**



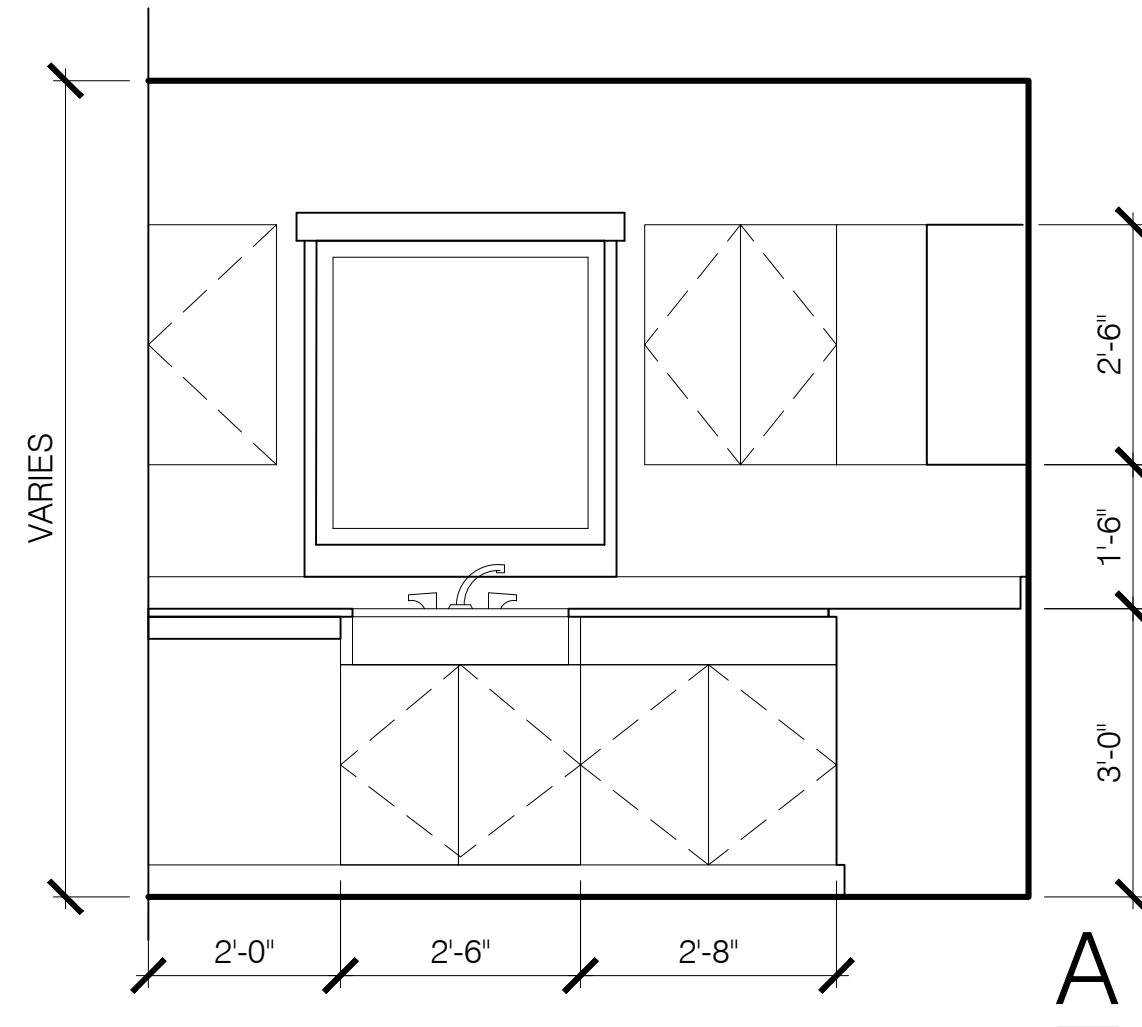
1 TYPICAL 1-BEDROOM KITCHEN
A100 | A400 0 2'-0" SCALE: 1/2" = 1'-0"



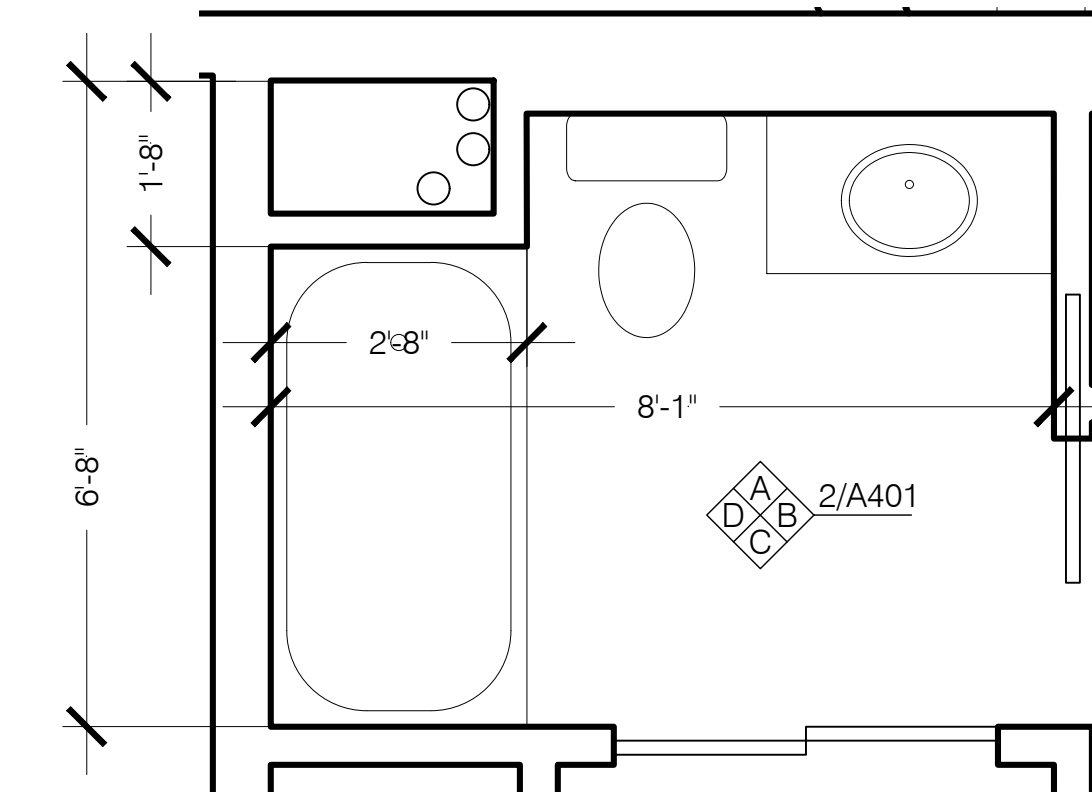
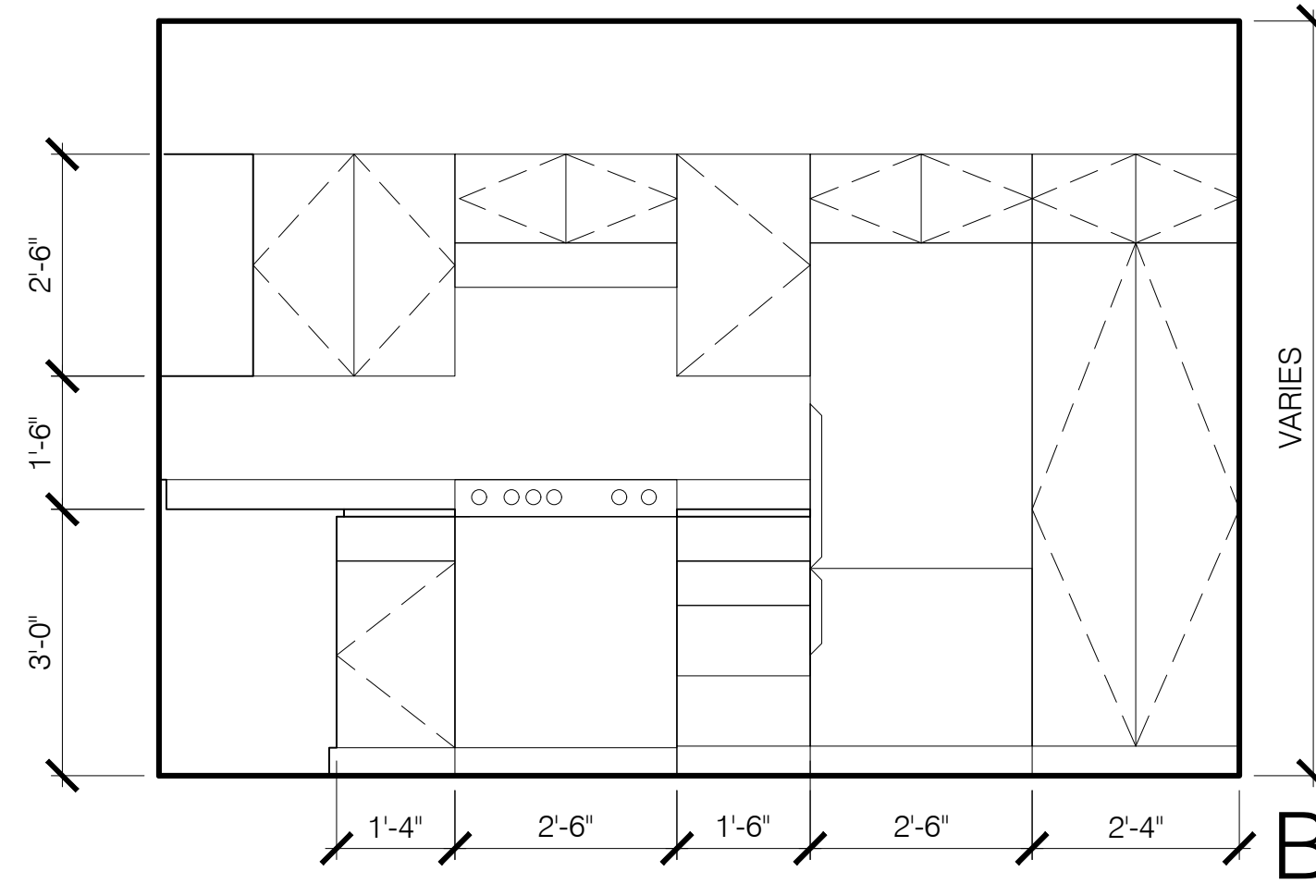
2 TYPICAL 2-BEDROOM KITCHEN
A100 | A400 0 2'-0" SCALE: 1/2" = 1'-0"



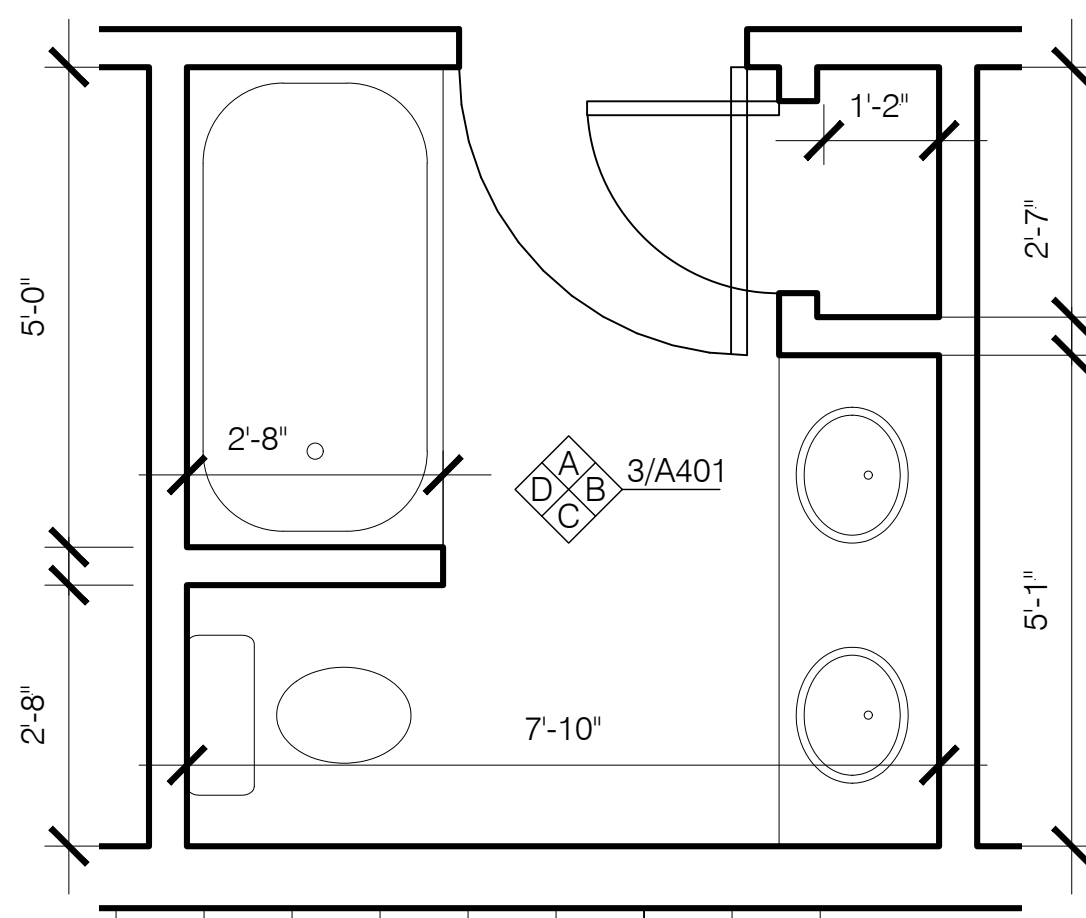
4 UNIT #11 BATH
A101 | A400 0 2'-0" SCALE: 1/2" = 1'-0"



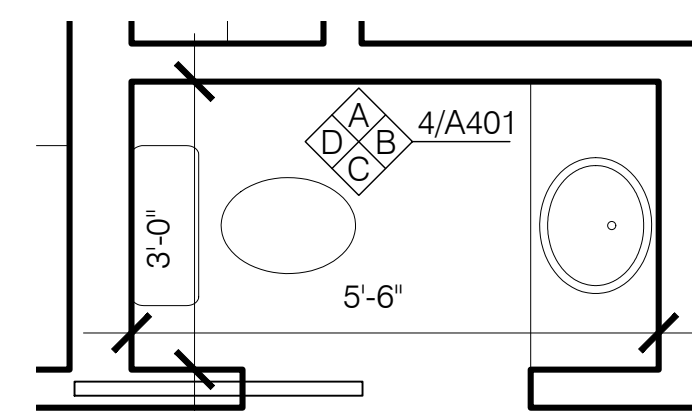
3 TYPICAL 3-BEDROOM KITCHEN
A101 | A400 0 2'-0" SCALE: 1/2" = 1'-0"



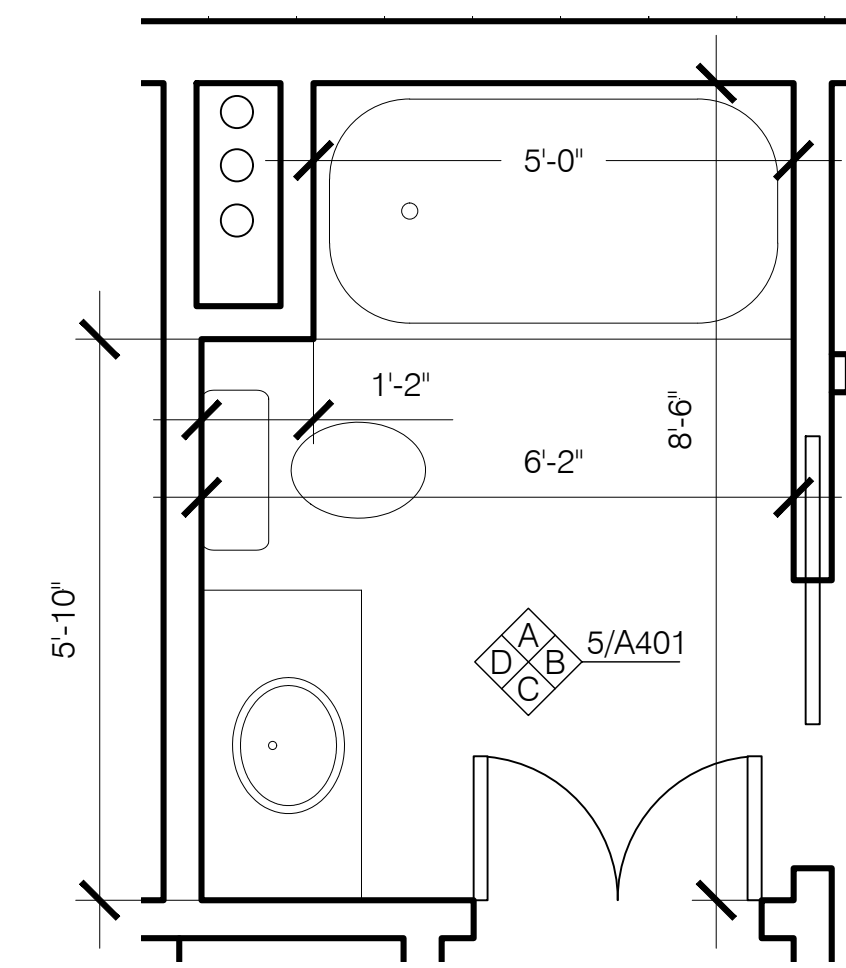
5 UNIT #10 BATH
A101 | A400 0 2'-0" SCALE: 1/2" = 1'-0"



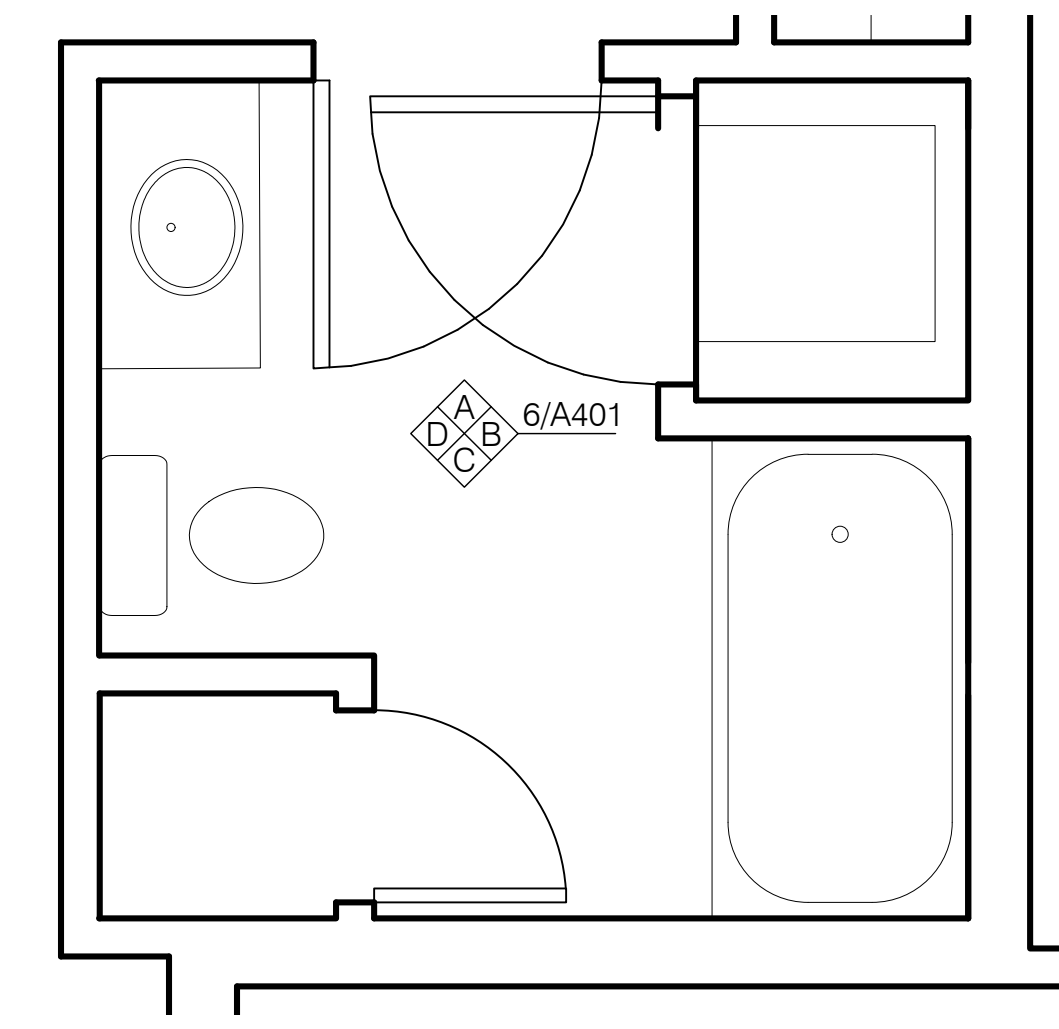
6 TYPICAL 3-BEDROOM BATH
A101 | A400 0 2'-0" SCALE: 1/2" = 1'-0"



7 TYPICAL 3-BEDROOM POWDER
A101 | A400 0 2'-0" SCALE: 1/2" = 1'-0"

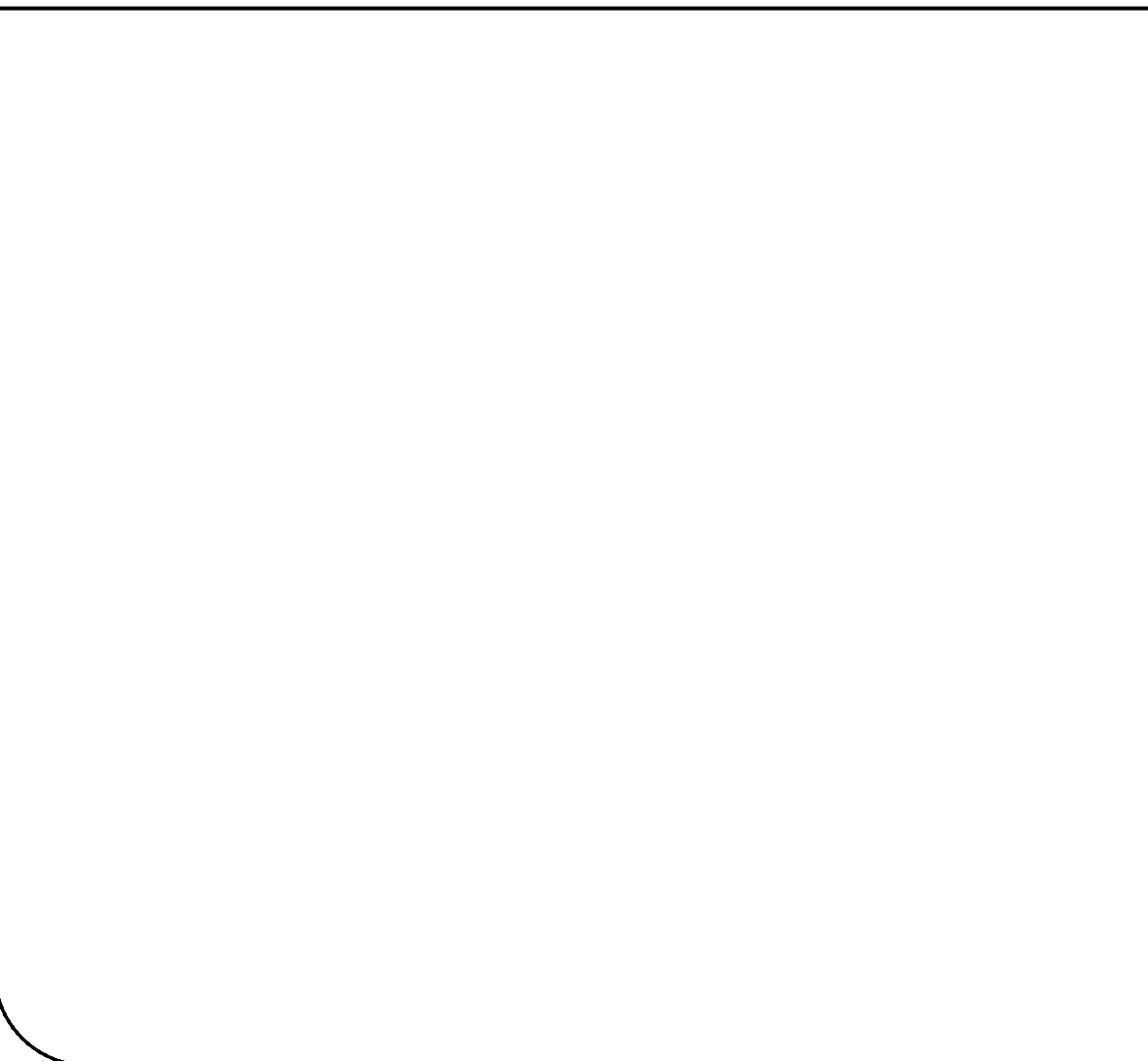
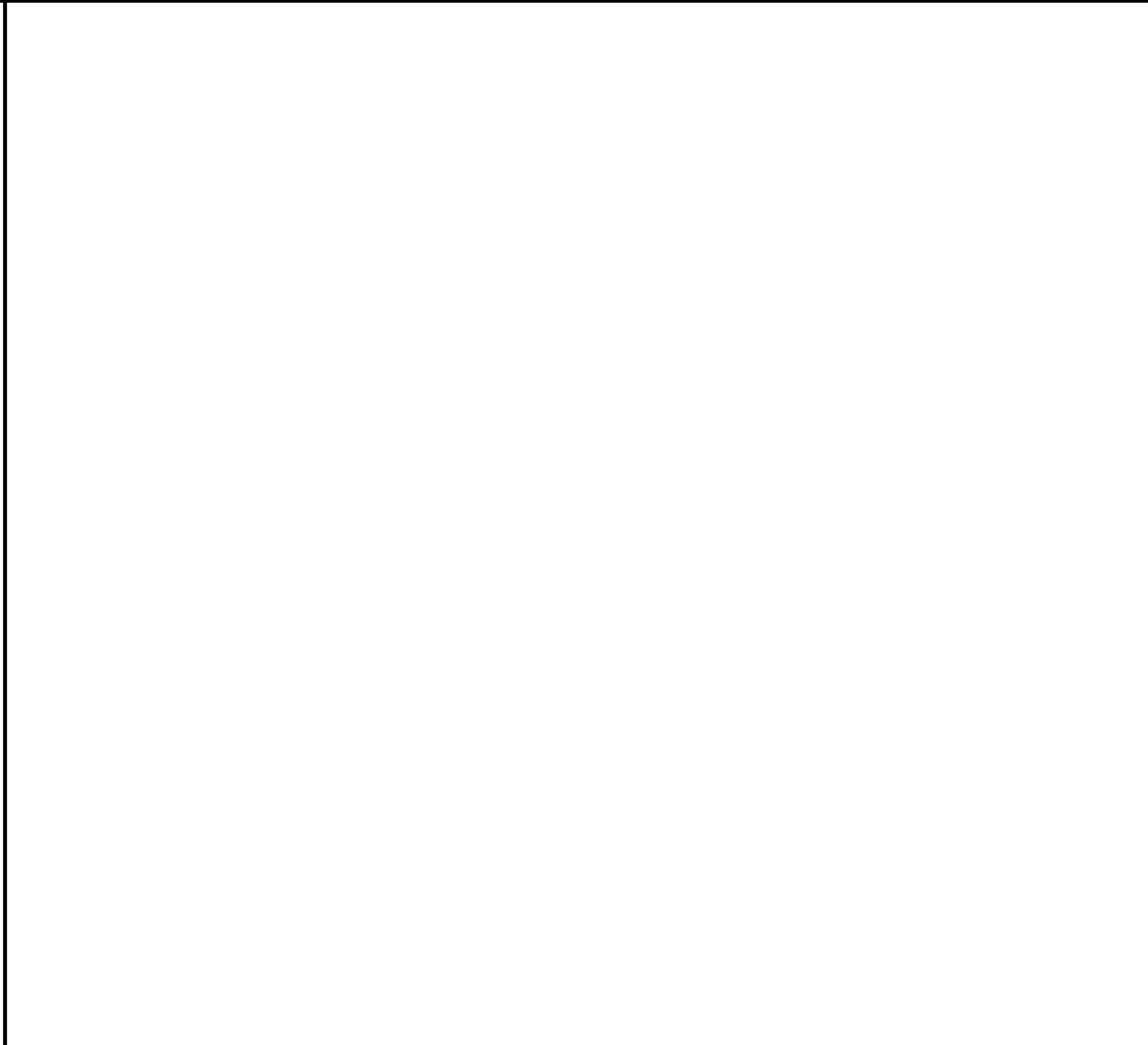
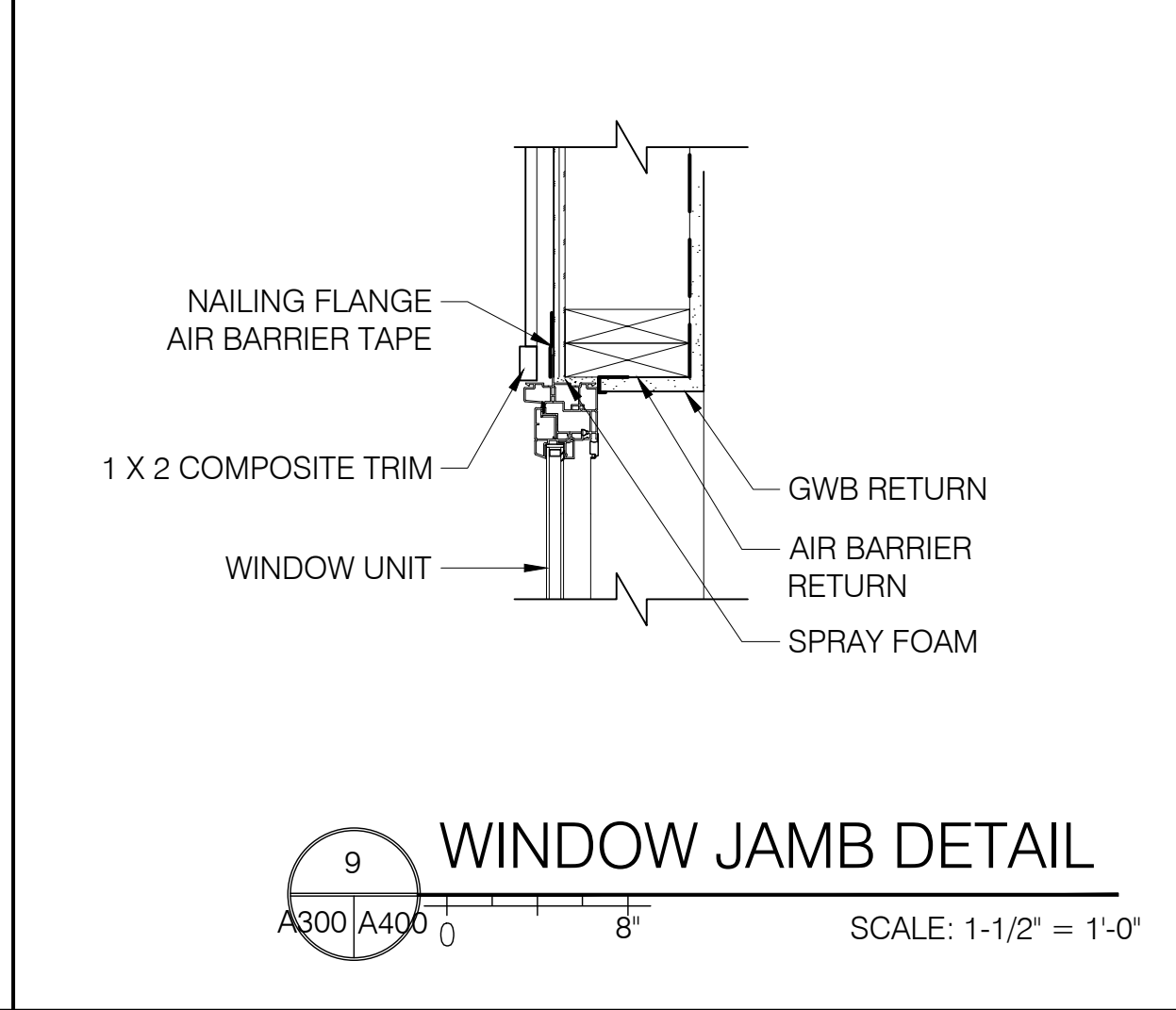
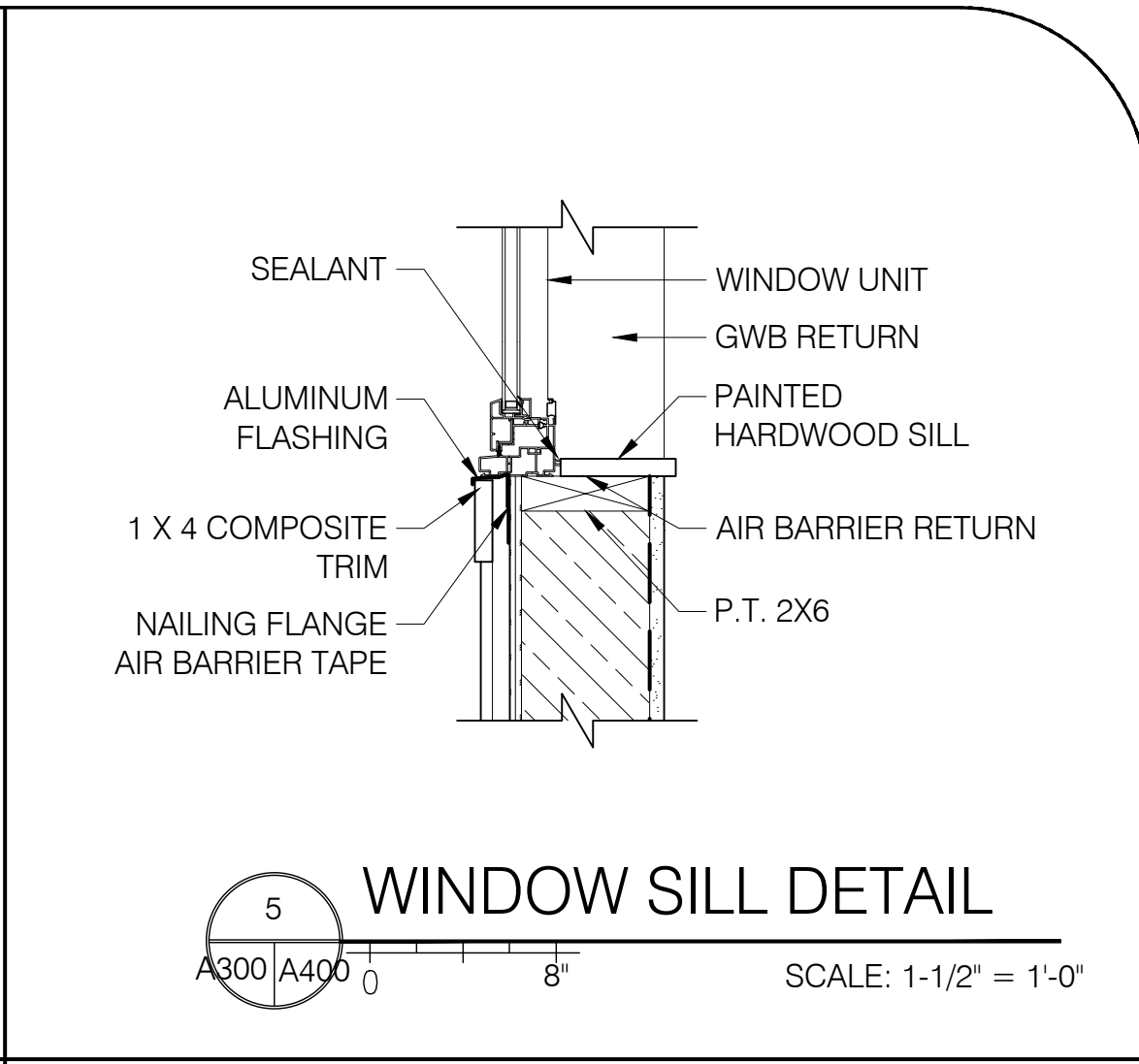
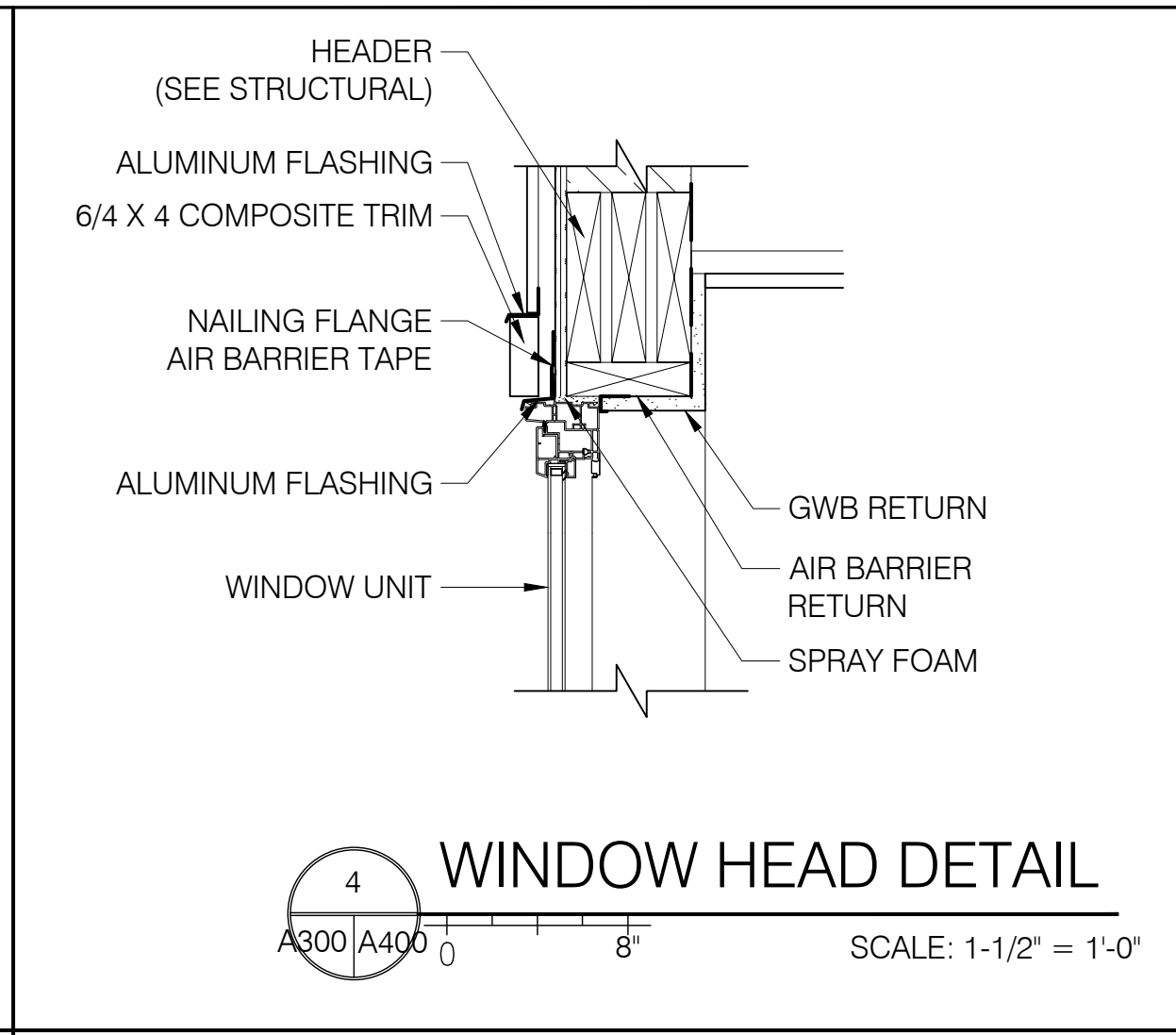
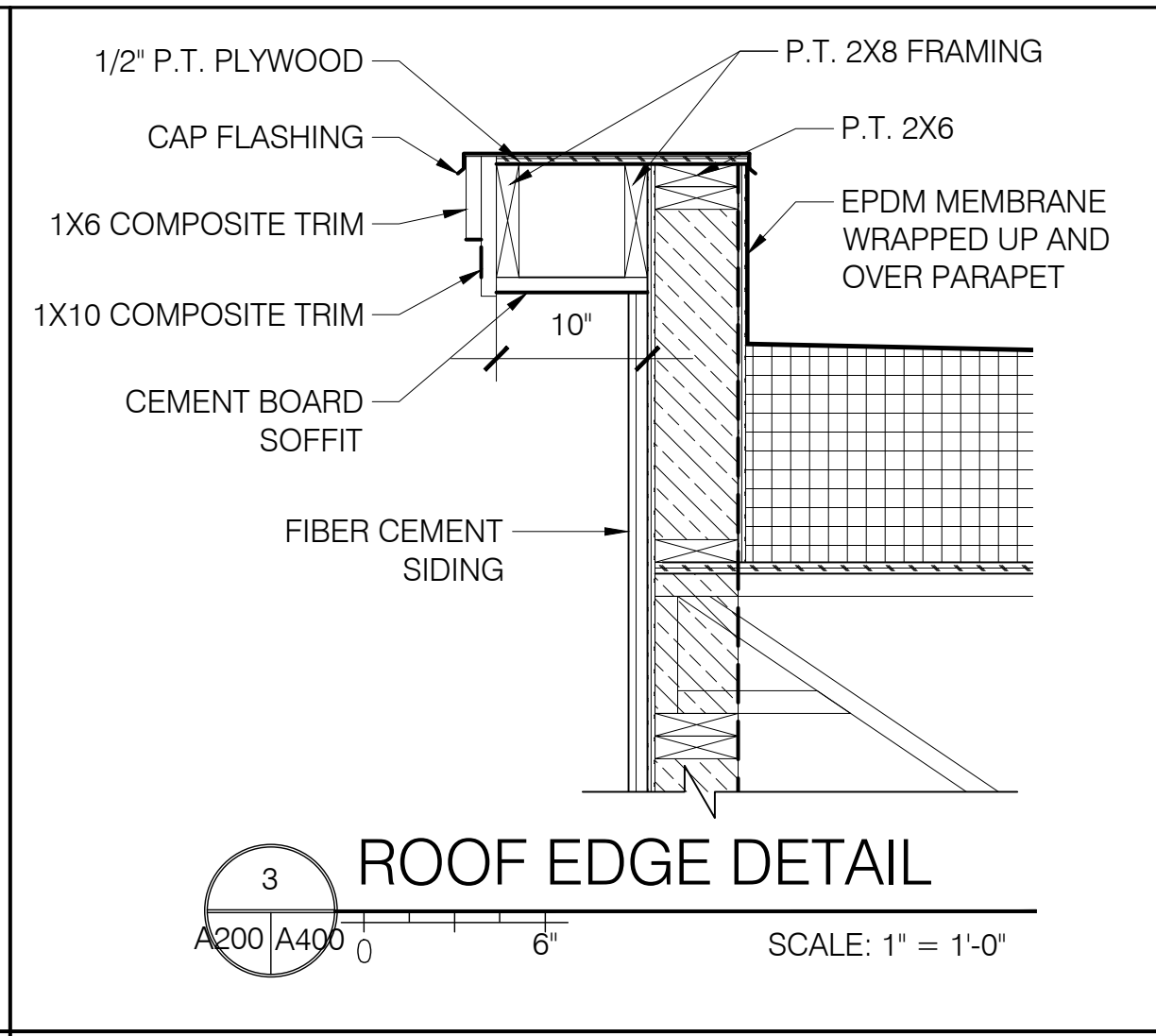
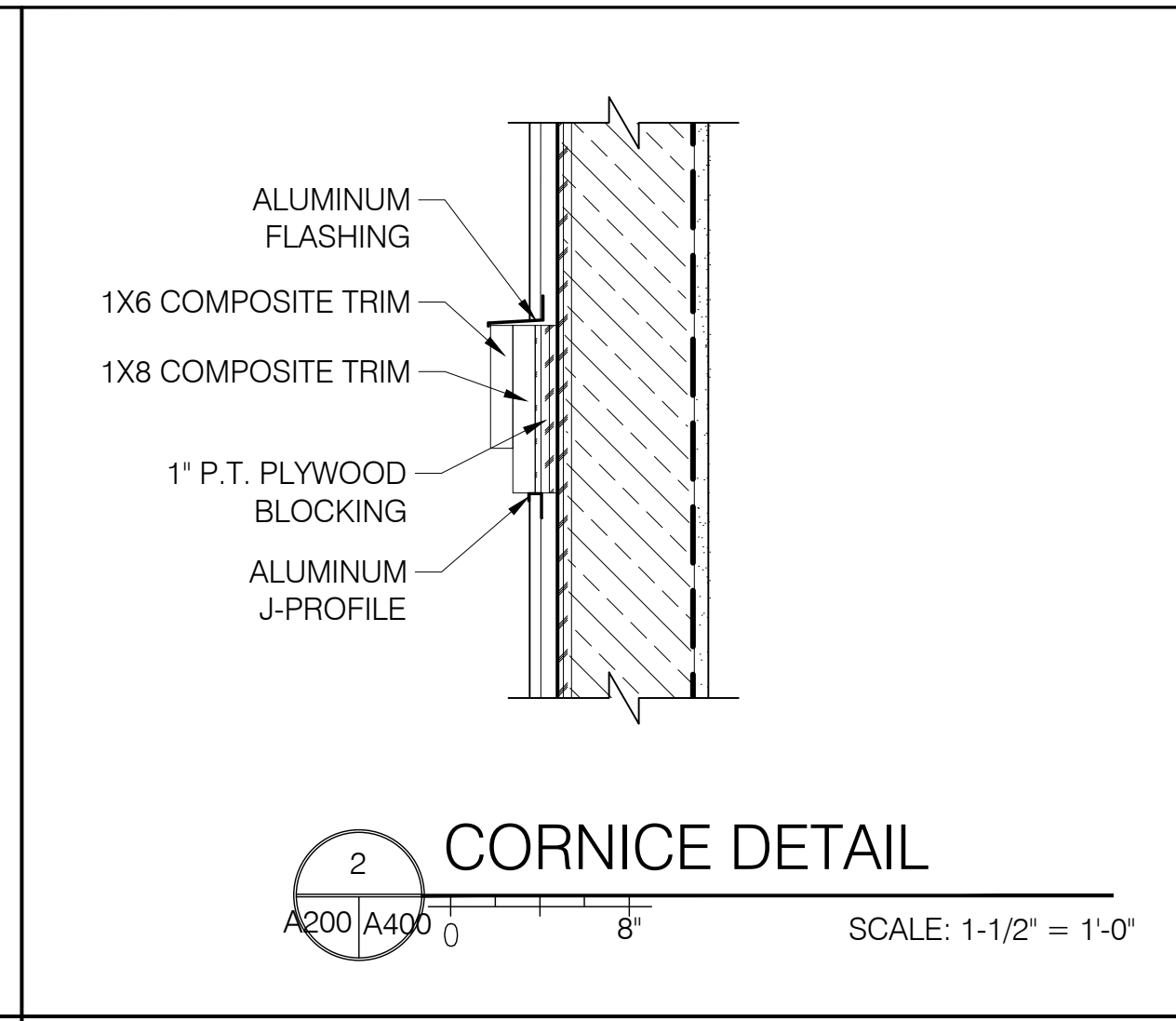
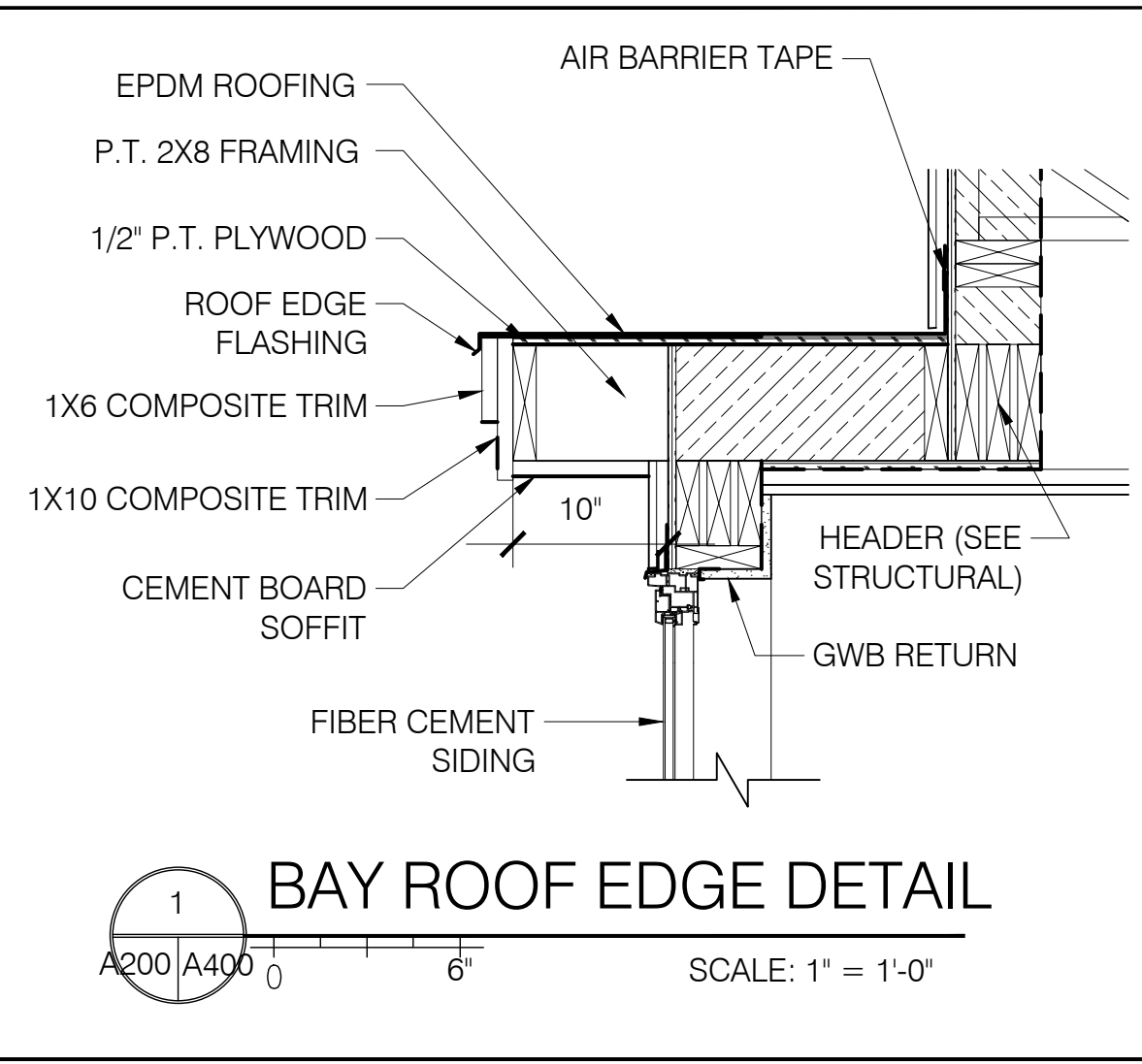


8 TYPICAL 2-BEDROOM BATH
A101 | A400 0 2'-0" SCALE: 1/2" = 1'-0"



9 TYPICAL 1-BEDROOM BATH
A101 | A400 0 2'-0" SCALE: 1/2" = 1'-0"

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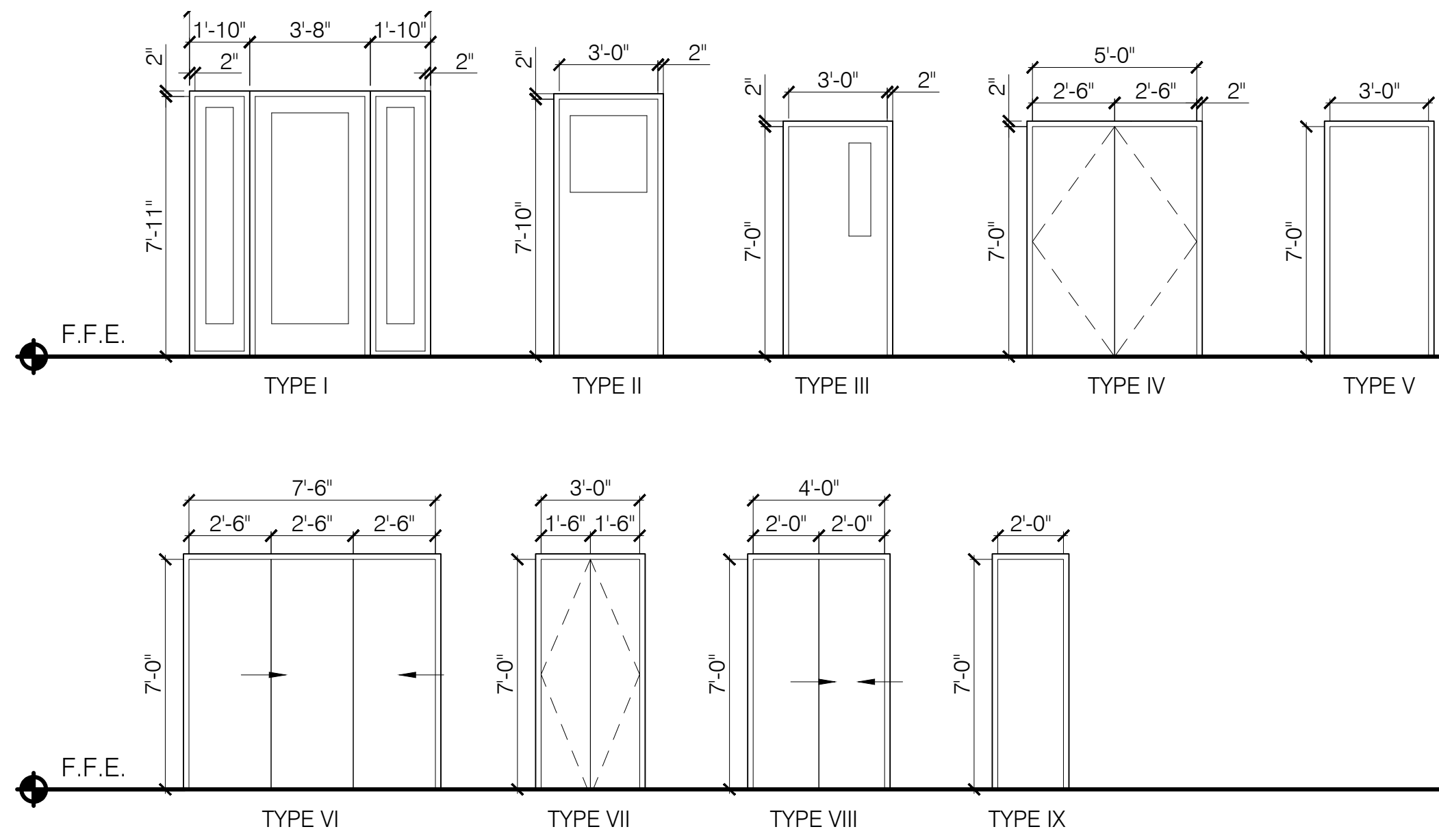


Issue Date 2/19/16
Drawn By EAC
Project No. 14036
Project Name 65 MUNJOY STREET
Sheet Scale 1/4" = 1'-0"
Sheet Title DETAILS
Revisions
 1 -
 2 -
 3 -
 4 -
 5 -
Design Development
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500
A
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DOOR TYPES



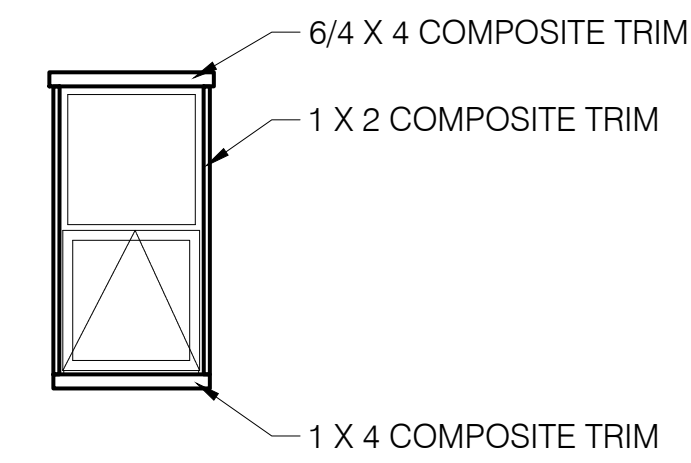
HARDWARE SCHEDULE				
HARDWARE SET	HARDWARE TYPE	FINISH	MANUFACTURER	NOTES
A	KEYED ENTRY ONLY ELECTRONIC LATCH PANICBAR EXIT LOCKSET	BRUSHED NICKEL	SCHLAGE	1, 2
B	DEADBOLT LOCKSET KEYED ENTRY LOCKSET	BRUSHED NICKEL	SCHLAGE	1
C	CLOSER DEADBOLT	BRUSHED NICKEL	SCHLAGE	1
D	BYPASS DOOR BRACKETS BYPASS DOOR BUMPER BYPASS DOOR GUIDES BYPASS DOOR PULLS TOP MOUNT ROLLERS	BRUSHED NICKEL	??	
E	DOUBLE DUMMY KNOBS BALL CATCHES	BRUSHED NICKEL	??	
F	PRIVACY LOCKSET	BRUSHED NICKEL	SCHLAGE	1
G	PASSAGE LOCKSET	BRUSHED NICKEL	SCHLAGE	1
H	FLUSH PULLS POCKET DOOR TRACK PRIVACY POCKET DOOR LOCK	BRUSHED NICKEL	??	
I	CLOSER LATCH ASSEMBLY	BRUSHED NICKEL	SCHLAGE	1

NOTES:
 1. ALL DOOR HANDLES TO BE ADA COMPLIANT LEVER HANDLES.
 2. DOOR LOCK ELECTRONICALLY CONNECTED TO CALL SYSTEM. ELECTRONIC LATCH TO BE COORDINATED W/ CALL SYSTEM BY ELECTRICAL CONTRACTOR.

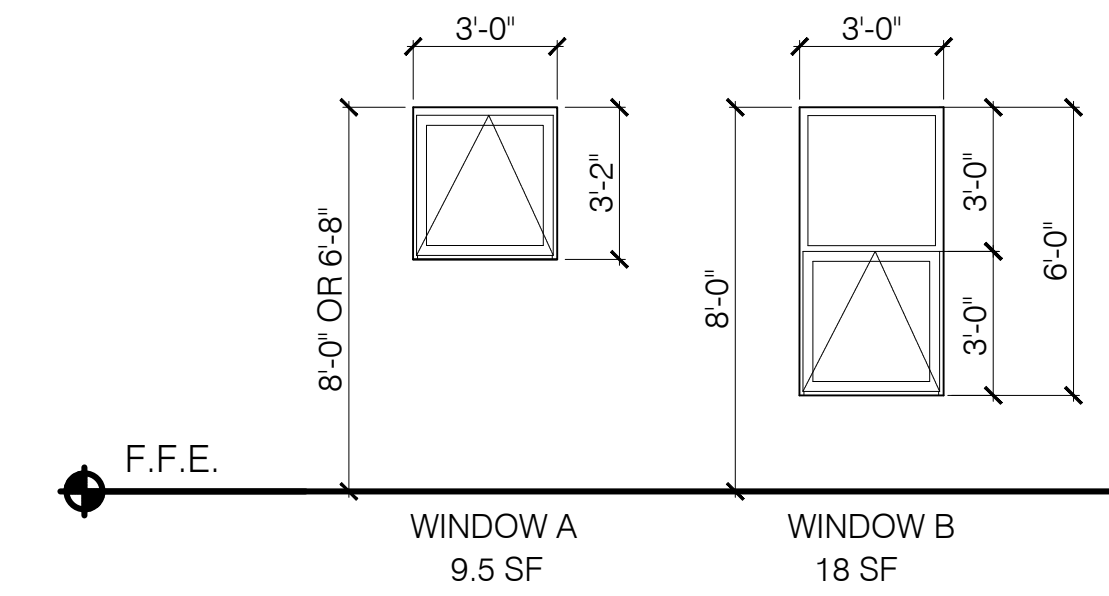
DOOR SCHEDULE														
NO.	LOCATION		DOOR SIZE (IN)			TYPE	MAT'L	FINISH	FIRE RATING	HARDWARE SET	FRAME		MANUFACTURER	NOTES
	FROM	TO	W	HT	THK						MAT'L	FINISH		
100	EXTERIOR	ENTRY	36	95	1-3/4	I	INSULATED ALUMINUM	CUSTOM COLOR	-	A	ALUMINUM	BRONZE ANODIZED	KAWNEER	
101	ELECTRICAL	COVERED PARKING	72	84	1-3/4	IV	INSULATED HOLLOW METAL	FACTORY FINISH	-	B	HM	FACTORY FINISH	?	
102	UTILITY	COVERED PARKING	60	84	1-3/4	IV	INSULATED HOLLOW METAL	FACTORY FINISH	-	B	HM	FACTORY PRIMED	?	
103	UTILITY	COVERED PARKING	60	84	1-3/4	IV	INSULATED HOLLOW METAL	FACTORY FINISH	-	B	HM	FACTORY PRIMED	?	
104	UTILITY	COVERED PARKING	60	84	1-3/4	IV	INSULATED HOLLOW METAL	FACTORY FINISH	-	B	HM	FACTORY PRIMED	?	
105	COVERED PARKING	STAIR	36	84	1-3/4	III	INSULATED HOLLOW METAL	BRONZE ANODIZED	1-HR	A	HM	FACTORY PRIMED	?	
106	EXTERIOR	COVERED PARKING	36	95	1-3/4	II	INSULATED HOLLOW METAL	BRONZE ANODIZED	-	I	HM	FACTORY PRIMED	?	
107	STAIR	UNIT #11 ENTRY	36	84	1-3/4	V	SOLID SLAB	CLEAR	1-HR	C	HM	FACTORY PRIMED	MASONITE	
108	UNIT #11 ENTRY	UNIT #11 CLOSET	90	84	1-3/4	VI	SOLID SLAB	PAINTED	-	D	WOOD	PAINTED	MASONITE	
109	UNIT #11 LIVING	UNIT #11 LAUNDRY	36	84	1-3/4	V	SOLID SLAB	PAINTED	-	E	WOOD	PAINTED	MASONITE	
110	UNIT #11 LAUNDRY	UNIT #11 BATH	36	84	1-3/4	V	SOLID SLAB	PAINTED	-	F	WOOD	PAINTED	MASONITE	
111	UNIT #11 BATH	UNIT #11 LINEN CLOSET	24	84	1-3/4	IX	SOLID SLAB	PAINTED	-	G	WOOD	PAINTED	MASONITE	
112	UNIT #11 LIVING	UNIT #11 BEDROOM	36	84	1-3/4	V	SOLID SLAB	PAINTED	-	F	WOOD	PAINTED	MASONITE	
113	UNIT #11 BEDROOM	UNIT #11 CLOSET	90	84	1-3/4	VI	SOLID SLAB	PAINTED	-	D	WOOD	PAINTED	MASONITE	
114	STAIR	ENTRY CORRIDOR	36	84	1-3/4	III	SOLID SLAB	CLEAR	1-HR	I	HM	FACTORY PRIMED	MASONITE	
115	ENTRY CORRIDOR	UNIT #10	36	84	1-3/4	V	SOLID SLAB	CLEAR	1-HR	C	HM	FACTORY PRIMED	MASONITE	
116	UNIT #10 ENTRY	UNIT #10 CLOSET	24	84	1-3/4	IX	SOLID SLAB	PAINTED	-	G	WOOD	PAINTED	MASONITE	
117	UNIT #10 ENTRY	UNIT #10 CLOSET	48	84	1-3/4	VIII	SOLID SLAB	PAINTED	-	D	WOOD	PAINTED	MASONITE	
118	UNIT #10 BATH	UNIT #10 LINEN CLOSET	48	84	1-3/4	VIII	SOLID SLAB	PAINTED	-	D	WOOD	PAINTED	MASONITE	
119	UNIT #10 LIVING	UNIT #10 BATH	36	84	1-3/4	V	SOLID SLAB	PAINTED	-	H	WOOD	PAINTED	MASONITE	
120	UNIT #10 LIVING	UNIT #10 LAUNDRY	36	84	1-3/4	V	SOLID SLAB	PAINTED	-	E	WOOD	PAINTED	MASONITE	
121	UNIT #10 LIVING	UNIT #10 BEDROOM	36	84	1-3/4	V	SOLID SLAB	PAINTED	-	F	WOOD	PAINTED	MASONITE	
122	UNIT #10 BEDROOM	UNIT #10 CLOSET	48	84	1-3/4	VIII	SOLID SLAB	PAINTED	-	D	WOOD	PAINTED	MASONITE	
200	STAIR	UNIT #21 ENTRY	36	84	1-3/4	V	SOLID SLAB	CLEAR	1-HR	C	HM	FACTORY PRIMED	MASONITE	
201	UNIT #21 ENTRY	UNIT #21 CLOSET	90	84	1-3/4	VI	SOLID SLAB	PAINTED	-	D	WOOD	PAINTED	MASONITE	
202	UNIT #21 LIVING	UNIT #21 POWDER	36	84	1-3/4	V	SOLID SLAB	PAINTED	-	H	-	PAINTED	MASONITE	
203	UNIT #21 LIVING	UNIT #21 LAUNDRY	36	84	1-3/4	V	SOLID SLAB	PAINTED	-	E	WOOD	PAINTED	MASONITE	
204	UNIT #21 LIVING	UNIT #21 BEDROOM #1	36	84	1-3/4	V	SOLID SLAB	PAINTED	-	F	WOOD	PAINTED	MASONITE	
205	UNIT #21 BEDROOM #1	UNIT #21 BEDROOM #1 CLOSET	90	84	1-3/4	VI	SOLID SLAB	PAINTED	-	D	WOOD	PAINTED	MASONITE	
206	UNIT #21 LIVING	UNIT #21 BEDROOM #2	36	84	1-3/4	V	SOLID SLAB	PAINTED	-	F	WOOD	PAINTED	MASONITE	
207	UNIT #21 BEDROOM #2	UNIT #21 BEDROOM #2 CLOSET	90	84	1-3/4	VI	SOLID SLAB	PAINTED	-	D	WOOD	PAINTED	MASONITE	
208	UNIT #21 LIVING	UNIT #21 BEDROOM #3	36	84	1-3/4	V	SOLID SLAB	PAINTED	-	F	WOOD	PAINTED	MASONITE	
209	UNIT #21 BEDROOM #3	UNIT #21 BEDROOM #3 CLOSET	90	84	1-3/4	VI	SOLID SLAB	PAINTED	-	D	WOOD	PAINTED	MASONITE	
210	UNIT #21 LIVING	UNIT #21 BATH	36	84	1-3/4	V	SOLID SLAB	PAINTED	-	F	WOOD	PAINTED	MASONITE	
211	UNIT #21 BATH	UNIT #21 LINEN CLOSET	24	84	1-3/4	IX	SOLID SLAB	PAINTED	-	G	WOOD	PAINTED	MASONITE	
212	STAIR	UNIT #20	36	84	1-3/4	V	SOLID SLAB	CLEAR	1-HR	C	HM	FACTORY PRIMED	MASONITE	
213	UNIT #20 LIVING	UNIT #20 CLOSET	90	84	1-3/4	VI	SOLID SLAB	PAINTED	-	D	WOOD	PAINTED	MASONITE	
214	UNIT #20 LIVING	UNIT #20 BEDROOM #1	36	84	1-3/4	V	SOLID SLAB	PAINTED	-	F	WOOD	PAINTED	MASONITE	
215	UNIT #20 BEDROOM #1	UNIT #20 BEDROOM #1 CLOSET	48	84	1-3/4	VIII	SOLID SLAB	PAINTED	-	D	WOOD	PAINTED	MASONITE	
216	UNIT #20 BATH	UNIT #20 LINEN CLOSET	36	84	1-3/4	VII	SOLID SLAB	PAINTED	-	E	WOOD	PAINTED	MASONITE	
217	UNIT #20 LIVING	UNIT #20 BATH	36	84	1-3/4	V	SOLID SLAB	PAINTED	-	H	WOOD	PAINTED	MASONITE	
218	UNIT #20 LIVING	UNIT #20 LAUNDRY	36	84	1-3/4	V	SOLID SLAB	PAINTED	-	E	WOOD	PAINTED	MASONITE	
219	UNIT #20 LIVING	UNIT #20 BEDROOM #2	36	84	1-3/4	V	SOLID SLAB	PAINTED	-	F	WOOD	PAINTED	MASONITE	
220	UNIT #20 BEDROOM #2	UNIT #20 BEDROOM #2 CLOSET	48	84	1-3/4	VIII	SOLID SLAB	PAINTED	-	D	WOOD	PAINTED	MASONITE	
221	STAIR	UNIT #22 KITCHEN	36	84	1-3/4	V	SOLID SLAB	CLEAR	1-HR	C	HM	FACTORY PRIMED	MASONITE	
222	UNIT #22 KITCHEN	UNIT #22 PANTRY	36	84	1-3/4	VII	SOLID SLAB	PAINTED	-	E	WOOD	PAINTED	MASONITE	
223	UNIT #22 LIVING	UNIT #22 CLOSET	48	84	1-3/4	VIII	SOLID SLAB	PAINTED	-	D	WOOD	PAINTED	MASONITE	
224	UNIT #22 LIVING	UNIT #22 BATH	36	84	1-3/4	V	SOLID SLAB	PAINTED	-	F	WOOD	PAINTED	MASONITE	
225	UNIT #22 BATH	UNIT #22 LAUNDRY	36	84	1-3/4	V	SOLID SLAB	PAINTED	-	E	WOOD	PAINTED	MASONITE	
226	UNIT #22 BATH	UNIT #22 LINEN	24	84	1-3/4	IX	SOLID SLAB	PAINTED	-	G	WOOD	PAINTED	MASONITE	
227	UNIT #22 LIVING	UNIT #22 BEDROOM	36	84	1-3/4	V	SOLID SLAB	PAINTED	-	F	WOOD	PAINTED	MASONITE	
228	UNIT #22 BEDROOM	UNIT #22 BEDROOM CLOSET	90	84	1-3/4	VI	SOLID SLAB	PAINTED	-	D	WOOD	PAINTED	MASONITE	
300	STAIR	UNIT #31 ENTRY	36	84	1-3/4	V	SOLID SLAB	CLEAR	1-HR	C	HM	FACTORY PRIMED	MASONITE	
301	UNIT #31 ENTRY	UNIT #31 CLOSET	90	84	1-3/4	VI	SOLID SLAB	PAINTED	-	D	WOOD	PAINTED	MASONITE	
302	UNIT #31 LIVING	UNIT #31 POWDER	36	84	1-3/4	V	SOLID SLAB	PAINTED	-	H	WOOD	PAINTED	MASONITE	
303	UNIT #31 LIVING	UNIT #31 LAUNDRY	36	84	1-3/4	V	SOLID SLAB	PAINTED	-	E	WOOD	PAINTED	MASONITE	
304	UNIT #31 LIVING	UNIT #31 BEDROOM #1	36	84	1-3/4	V	SOLID SLAB	PAINTED	-	F	WOOD	PAINTED	MASONITE	
305	UNIT #31 BEDROOM #1	UNIT #31 BEDROOM #1 CLOSET	90	84	1-3/4	VI	SOLID SLAB	PAINTED	-	D	WOOD	PAINTED	MASONITE	
306	UNIT #31 LIVING	UNIT #31 BEDROOM #2	36	84	1-3/4	V	SOLID SLAB	PAINTED	-	F	WOOD	PAINTED	MASONITE	
307	UNIT #31 BEDROOM #2	UNIT #31 BEDROOM #2 CLOSET	90	84	1-3/4	VI	SOLID SLAB	PAINTED	-	D	WOOD	PAINTED	MASONITE	
308	UNIT #31 LIVING	UNIT #31 BEDROOM #3	36	84	1-3/4	V	SOLID SLAB	PAINTED	-	F	WOOD	PAINTED	MASONITE	
309	UNIT #31 BEDROOM #3	UNIT #31 BEDROOM #3 CLOSET	90	84	1-3/4	VI	SOLID SLAB	PAINTED	-	D	WOOD	PAINTED	MASONITE	
310	UNIT #31 LIVING	UNIT #31 BATH	36	84	1-3/4	V	SOLID SLAB	PAINTED	-	F	WOOD	PAINTED	MASONITE	
311	UNIT #31 BATH	UNIT #31 LINEN CLOSET	24	84	1-3/4	IX	SOLID SLAB	PAINTED	-	G	WOOD	PAINTED	MASONITE	
312	STAIR	UNIT #30	36	84	1-3/4	V	SOLID SLAB	CLEAR	1-HR	C	HM	FACTORY PRIMED	MASONITE	
313	UNIT #30 LIVING	UNIT #30 CLOSET	90	84	1-3/4	VI	SOLID SLAB	PAINTED	-	D	WOOD	PAINTED	MASONITE	
314	UNIT #30 LIVING	UNIT #30 BEDROOM #1	36	84	1-3/4	V	SOLID SLAB	PAINTED	-	F	WOOD	PAINTED	MASONITE	
315	UNIT #30 BEDROOM #1	UNIT #30 BEDROOM #1 CLOSET	48	84	1-3/4	VIII	SOLID SLAB	PAINTED	-	D	WOOD	PAINTED	MASONITE	
316	UNIT #30 BATH	UNIT #30 LINEN CLOSET	36	84	1-3/4	VII	SOLID SLAB	PAINTED	-	E	WOOD	PAINTED	MASONITE	
317	UNIT #30 LIVING	UNIT #30 BATH	36	84	1-3/4	V	SOLID SLAB	PAINTED	-	H	WOOD	PAINTED	MASONITE	
318	UNIT #30 LIVING	UNIT #30 LAUNDRY	36	84	1-3/4	V	SOLID SLAB	PAINTED	-	E	WOOD	PAINTED	MASONITE	
319	UNIT #30 LIVING	UNIT #30 BEDROOM #2	36	84	1-3/4	V	SOLID SLAB	PAINTED	-	F	WOOD	PAINTED	MASONITE	
320	UNIT #30 BEDROOM #2	UNIT #30 BEDROOM #2 CLOSET	48	84	1-3/4	VIII	SOLID SLAB	PAINTED	-	D	WOOD	PAINTED	MASONITE	
321	STAIR	UNIT #32 KITCHEN	36	84	1-3/4	V	SOLID SLAB	CLEAR	1-HR	C	HM	FACTORY PRIMED	MASONITE	
322	UNIT #32 KITCHEN	UNIT #32 PANTRY	36	84	1-3/4	VII	SOLID SLAB	PAINTED	-	E	WOOD	PAINTED	MASONITE	
323	UNIT #32 LIVING	UNIT #32 CLOSET	48	84	1-3/4	VIII	SOLID SLAB	PAINTED	-	D	WOOD	PAINTED	MASONITE	
324	UNIT #32 LIVING	UNIT #22 BATH	36	84	1-3/4	V	SOLID SLAB	PAINTED	-	F	WOOD	PAINTED	MASONITE	
325	UNIT #32 BATH	UNIT #22 LAUNDRY	36	84	1-3/4	V	SOLID SLAB	PAINTED	-	E	WOOD	PAINTED	MASONITE	
326	UNIT #32 BATH	UNIT #22 LINEN	24	84	1-3/4	IX	SOLID SLAB	PAINTED	-	G	WOOD	PAINTED	MASONITE	
327	UNIT #32 LIVING	UNIT #22 BEDROOM	36	84	1-3/4	V	SOLID SLAB	PAINTED	-	F	WOOD	PAINTED	MASONITE	
328	UNIT #32 BEDROOM	UNIT #22 BEDROOM CLOSET	90	84	1-3/4	VI	SOLID SLAB	PAINTED	-	D	WOOD	PAINTED	MASONITE	

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TYPICAL EXTERIOR WINDOW TRIM



WINDOW TYPES



WINDOW SCHEDULE														NOTES			
TYPE	SIZE (IN)	MATERIAL	OPERATION	EXTERIOR FINISH	INTERIOR FINISH	GLAZING	SHGC	MIN U-FACTOR	DESIGN PRESSURE	HARDWARE FINISH	EXTERIOR TRIM	HEAD DETAIL	JAMB DETAIL	SILL DETAIL	MANUFACTURER	SERIES	NOTES
A	36 X 38	VINYL	AWNING	BRONZE	WHITE	TRIPLE-GLAZED, LOW-E, ARGON FILLED	0.21	0.35	25	WHITE	SEE TYPICAL DETAIL ABOVE	-	-	-	KHOLTECH	SELECT	1, 2, 3
B	36 X 72	VINYL	AWNING/FIXED UPPER	BRONZE	WHITE	TRIPLE-GLAZED, LOW-E, ARGON FILLED	0.21	0.35	25	WHITE	SEE TYPICAL DETAIL ABOVE	-	-	-	KHOLTECH	SELECT	1, 2, 3

- NOTES:
 1. PROVIDE W/ STANDARD INSECT SCREEN
 2. PROVIDE W/ 10 YEAR WINDOW AND GLAZING WARRANTY.
 3. INSTALL 1" WHITE VENETIAN BLINDS AT WINDOWS WITHIN UNITS.

RESIDENTIAL APPLIANCE SCHEDULE					
APPLIANCE TYPE	FIXTURE LOCATION	FINISH	MANUFACTURER	MODEL	NOTES
ELECTRIC RANGE	KITCHEN	SLATE	G.E.		
REFRIGERATOR	KITCHEN	SLATE	G.E.		
DISHWASHER	KITCHEN	SLATE	G.E.		
STACKED WASHER/DRYER	KITCHEN	SLATE	G.E.		

NOTES:

LIGHTING FIXTURE SCHEDULE					
FIXTURE #	FIXTURE TYPE	FIXTURE LOCATION	MANUFACTURER	MODEL	NOTES
A	WIDE LOW PROFILE WRAPAROUND	COVERED PARKING	COLUMBIA LIGHTING	AWN4-232-ELWU	
B	SURFACE LED DOWNLIGHT	LIVING/KITCHEN/BATH	HALO	SLD606830WH	1
C	DECORATIVE WALL SCONCE	BATH/POWDER	WAC LIGHTING	WS230-G100WT-BN	
D	LED UNDERCABINET LIGHTBAR	KITCHEN	ELCO LIGHTING	EUD12WW	
E	TRACK LIGHTING W/ PENDANT	DINING	WAC LIGHTING	J TRACK, JILL G512	
F	TRACK LIGHTING W/ LINE VOLTAGE LUMINAIRE	LIVING	WAC LIGHTING	J TRACK, MODEL 101	

NOTES:
 1. INSTALL WATERPROOF FIXTURE AT TUB.

FINISH SCHEDULE					
ROOM NAME	FLOOR	WALLS	WALL BASE	CEILING	NOTES
COVERED PARKING	ASPHALT	PTPLY	WD2X	PT	4
UTILITY	ASPHALT	PTPLY	WD2X	PT	
ELECTRICAL	ASPHALT	PTPLY	WD2X	PT	
ENTRY	CONC	PT	RWB	PT	
STAIR	CPT	PT	RWB	PT	
TYPICAL FIRST FLOOR UNIT ENTRY	CONC	PT	WD	PT	3
TYPICAL FIRST FLOOR UNIT KITCHEN	CONC	PT	WD	PT	1, 2, 3
TYPICAL FIRST FLOOR LIVING ROOM	CONC	PT	WD	PT	3
TYPICAL FIRST FLOOR UNIT BEDROOM	CPT	PT	WD	PT	
TYPICAL FIRST FLOOR UNIT BATHROOM	CONC	PT	CT	PT	2, 4, 5, 6
TYPICAL UPPER FLOOR UNIT ENTRY	ENG HWD	PT	WD	PT	
TYPICAL UPPER FLOOR UNIT KITCHEN	ENG HWD	PT	WD	PT	1, 2
TYPICAL UPPER FLOOR LIVING ROOM	ENG HWD	PT	WD	PT	
TYPICAL UPPER FLOOR UNIT BEDROOM	CPT	PT	WD	PT	
TYPICAL UPPER FLOOR UNIT BATHROOM	CT	PT	CT	PT	2, 4, 5, 6

LEGEND:
 CONC - CONCRETE
 CPT - CARPET
 CT - CERAMIC TILE
 ENG HWD - ENGINEERED HARDWOOD
 PT - PAINTED
 PTPLY - PAINTED DRYWALL WITH PLYWOOD BACKER
 RWB - RUBBER WALL BASE
 WD - 1X4 FINISH WOOD
 WD2X - 2X4 ROUGH WOOD PAINTED

NOTES:
 1. KITCHEN COUNTERTOPS TO BE SOLID SURFACE. COUNTERTOPS VENDOR TO BE SHAD'S CUSTOM COUNTERTOPS, INC.
 2. PRE-MANUFACTURED MILLWORK CABINETS PICKED FROM STANDARD COLORS
 3. CONCRETE FLOORS TO BE TINTED, TROWLED, AND WAXED.
 4. PROVIDE MOISTURE RESISTANT GYPSUM WALLBOARD AT CEILING.
 5. PROVIDE MOISTURE RESISTANT GYPSUM WALLBOARD AT WALLS.
 6. INSTALL CERAMIC TILE AT TUB SURROUND.

PLUMBING FIXTURE SCHEDULE						
FIXTURE #	FIXTURE TYPE	FIXTURE LOCATION	FINISH	MANUFACTURER	MODEL	NOTES
1	WATER CLOSET	TYPICAL BATH/POWDER	WHITE	KOHLER	K-3609	1, 2
2	UNDERMOUNT LAVATORY	TYPICAL BATH/POWDER	STAINLESS STEEL	HOUSER	CH-1800	3
3	BATH TUB	TYPICAL BATH	WHITE CAST IRON	KOHLER	K-505	4, 5, 6, 7
4	UNDERMOUNT SINK	TYPICAL KITCHEN	LUSTROUS HIGHLIGHTED SATIN	ELKAY	ELUH2115	8, 9

NOTES:
 1. COMFORT HEIGHT, ELONGATED BOWL.
 2. PROVIDE W/ KOHLER CACHET TOILET SEAT, MODEL #K-4636, WHITE FINISH.
 3. PROVIDE W/ KOHLER CORALAIS FAUCET, MODEL #K-15261, POLISHED CHROME FINISH.
 4. PROVIDE W/ KOHLER CORALAIS BATH & SHOWER TRIM SET, MODEL #K-T15601, POLISHED CHROME FINISH.
 5. PROVIDE W/ KOHLER RITE-TEMP VALVE, MODEL #K-304.
 6. PROVIDE W/ KOHLER PRESSURE BALANCING VALVE W/ SCREWDRIVER STOPS, UNIVERSAL INLET, MODEL #K-304-KS
 7. PROVIDE W/ KOHLER SLOTTED OVERFLOW BATH DRAIN, MODEL #K-7272, POLISHED CHROME FINISH.
 8. PROVIDE W/ KOHLER KITCHEN SINK FAUCET, MODEL #K-15173, POLISHED CHROME FINISH.
 9. PROVIDE W/ KOHLER SINK STRAINER, MODEL #K-8801, POLISHED CHROME FINISH.

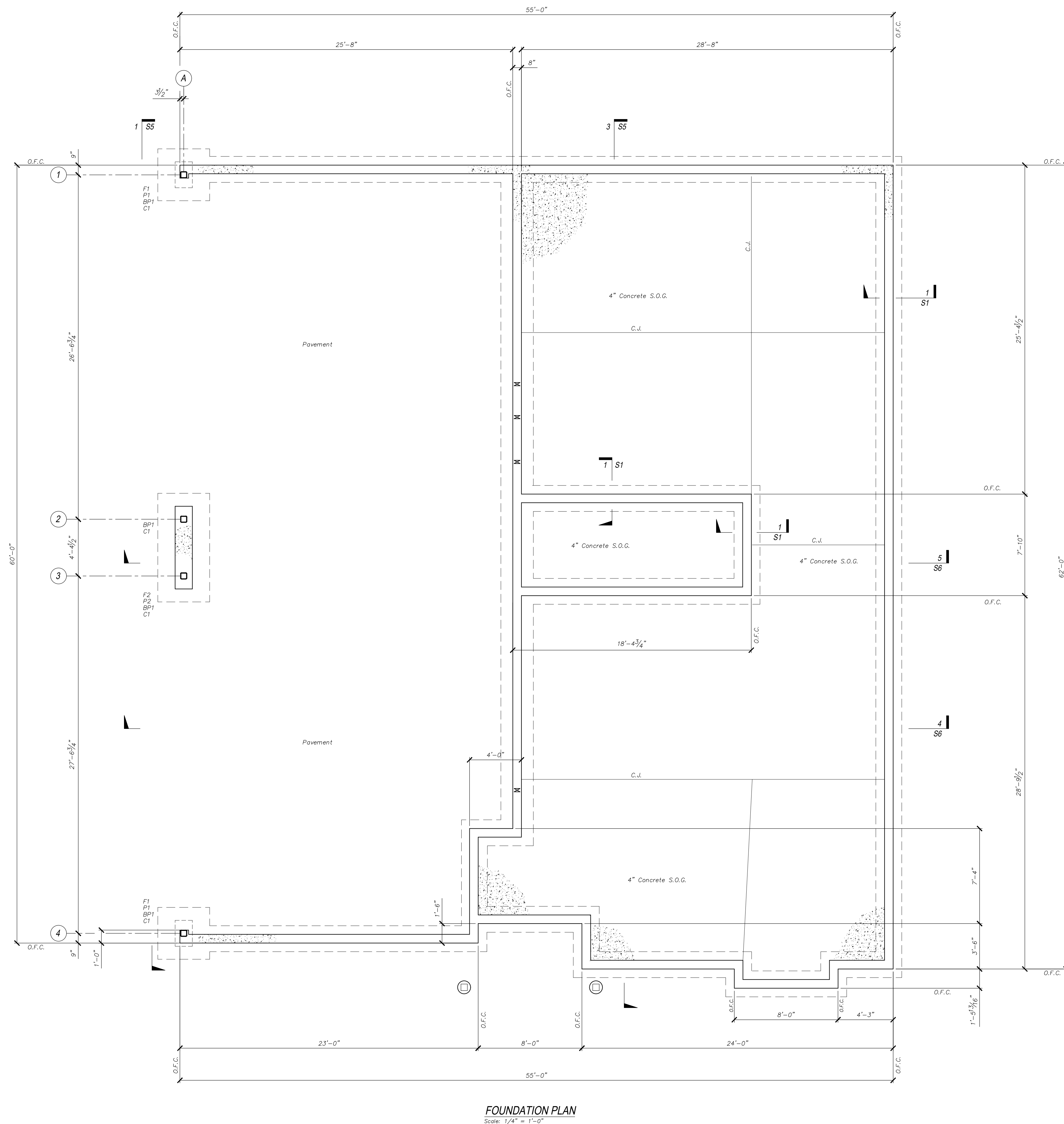
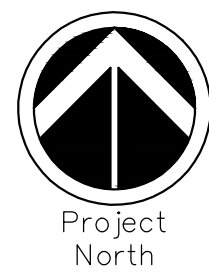
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PROJECT NO. 14036
PROJECT NAME 65 MUNJOY STREET
ADAM'S APPLE LLC

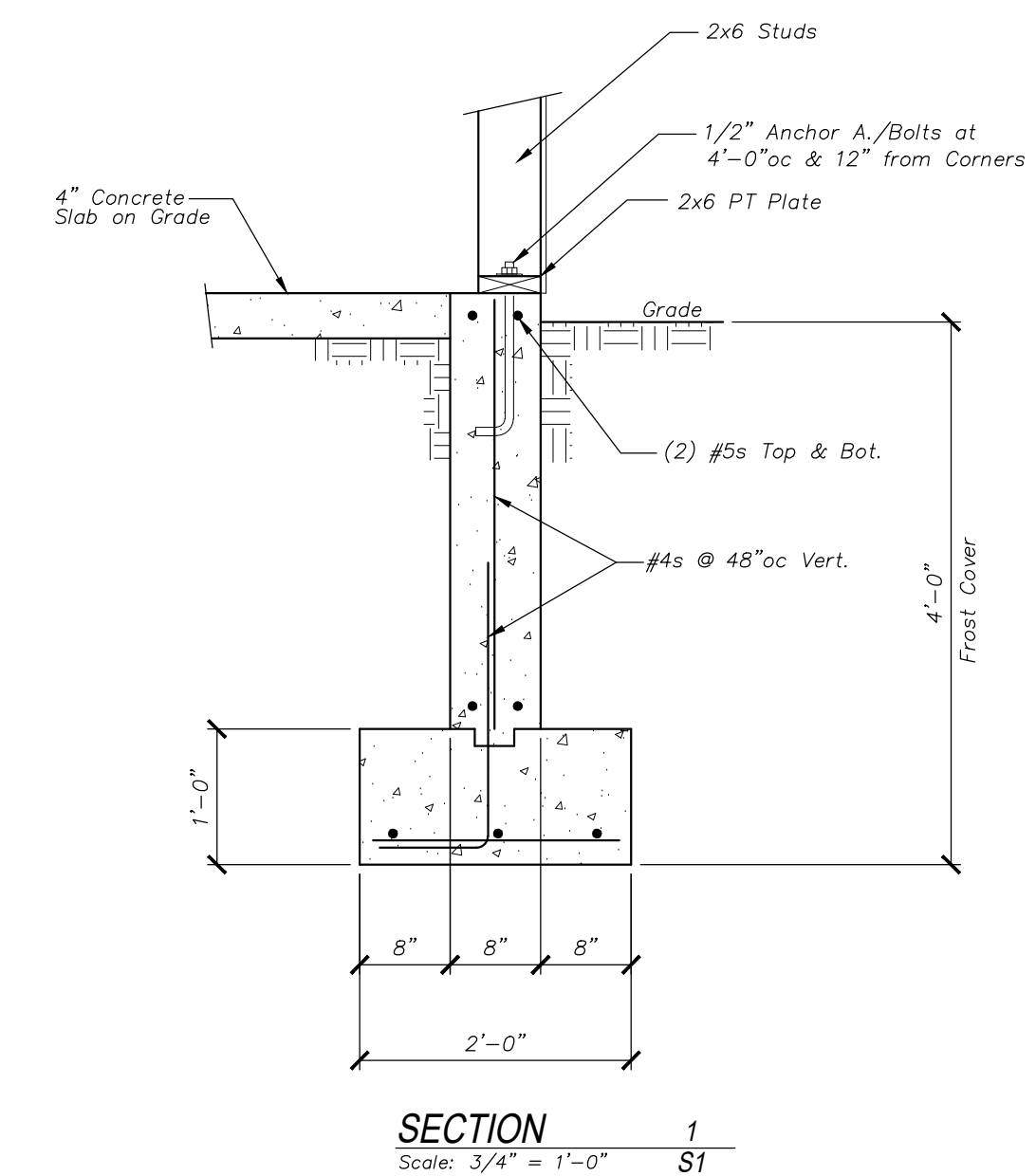
DESIGN DEVELOPMENT NOT FOR CONSTRUCTION
SCHEDULES - SHEET 2 OF 2

ISSUE DATE **2/19/16**
 SHEET SCALE **1/4" = 1'-0"**

A601



FOUNDATION PLAN
Scale: 1/4" = 1'-0"



FOUNDATION NOTES:

- FOUNDATION DESIGN BASED ON A MAXIMUM ALLOWABLE BEARING PRESSURE OF 4000 PSF, AS STATED IN THE SOILS REPORT PREPARED BY SUMMIT GEOTECHNICAL DATED JAN. 12, 2016. REFER TO THE SOILS REPORT FOR ALL SUBSURFACE REQUIREMENTS AND INFORMATION.
- DESIGN OF EXTERIOR FOUNDATIONS IS BASED ON A FROST DEPTH OF 4'-0" BELOW FINISHED GRADE.
- NO HORIZONTAL JOINT WILL BE PERMITTED IN THE WALLS OR SLABS UNLESS NOTED OTHERWISE.
- FOUNDATION CONTRACTOR SHALL SET COLUMN ANCHOR BOLTS AND LEVELING PLATES, INCLUDING GROUTING, AS PER THE STRUCTURAL STEEL CONTRACTOR'S DRAWINGS.
- EXCAVATING AND BACK FILLING AT NEW AND EXISTING FOUNDATION WALLS SHALL BE DONE SUCH THAT SYMMETRICAL LOADING SHALL BE MAINTAINED ON BOTH SIDES. WHERE DESIGN CONDITIONS REQUIRE DIFFERENT BACK FILL HEIGHTS, WALLS SHALL BE FIRMLY SHORED IN POSITION, AND SHORES SHALL REMAIN UNTIL FLOORS ARE PLACED AND PROPERLY SET, TO PROVIDE FULL SUPPORT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DESIGN, INSTALLATION, AND FINAL CLEARANCE OF ANY NEEDLING, SHORING, OR BRACING OF EXISTING STRUCTURES.

CONCRETE NOTES:

- ALL CONCRETE WORK SHALL CONFORM TO ACI-318-LATEST EDITION.
- CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS SHALL BE 3000 PSI, MAXIMUM SIZE AGGREGATE SHALL BE 3/4".
- CONCRETE TO REMAIN EXPOSED TO WEATHER SHALL BE AIR ENTRAINED.
- CONCRETE SHALL NOT BE PLACED IN WATER OR ON FROZEN GROUND.
- REINFORCING BARS SHALL CONFORM TO ASTM A615 GRADE 60. DEFORMED BARS SHALL BE DETAILED AND FABRICATED IN ACCORDANCE TO ACI-315 LATEST EDITION, AND PLACED IN ACCORDANCE WITH ACI-318.
- WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185 AND BE PROVIDED IN FLAT SHEETS.
- SPLICING OF REINFORCING BARS SHALL BE IN ACCORDANCE WITH ACI-318. SPLICES OF WWF SHALL BE 6" MINIMUM.
- ANCHOR BOLTS SHALL CONFORM TO ASTM A307.
- HOOKS NOT DIMENSIONED SHALL BE ACI STANDARD HOOKS.
- CONCRETE COVER OVER REINFORCEMENT SHALL BE AS FOLLOWS:
CONCRETE CAST AGAINST EARTH = 3"
CONCRETE EXPOSED TO EARTH OR WEATHER = 1.5"
CONCRETE NOT EXPOSED TO EARTH OR WEATHER = .75"
- SUBMIT COMPLETE REBAR SHOP DRAWINGS AND SCHEDULES SHOWING ALL DETAILS AND ELEVATIONS PRIOR TO ANY FABRICATION.
- CONCRETE CONTROL JOINT SPACING SHOWN IS AN ATTEMPT TO CONTROL THE CRACKING OF THE SLAB WHILE IT CURES. THE LAYOUT SHOWN DOES NOT WARRANT THAT ALL CRACKS WILL BE CONTROLLED.

FOUNDATION LEVEL - NOTES:

- O.F.C. = Outside Face of Concrete
- S.O.G. = Slab on Grade
- C.J. = Control Joint
- F1 = 4'x4'x12" Footing, Reinforced with (5) #5s Each Way
- F2 = 4'x 8'-4 1/2" x12" Footing, Reinforced with (5) #5s Long Way, and (9) #5s Short Way
- P1 = Column Pier, See Pier Plans
- BP1 = Column Base Plate, See Base Plate Detail
- C1 = HSS6x1/2 Column

Shelley Engineering, Inc.
Structural Consultants
P.O. Box 1030
Gray, Maine 04039
Phone (207) 667-8031
www.ShelleyEngineering.com

Design Development	2/19/16
Review	12/28/15
Issue	Date

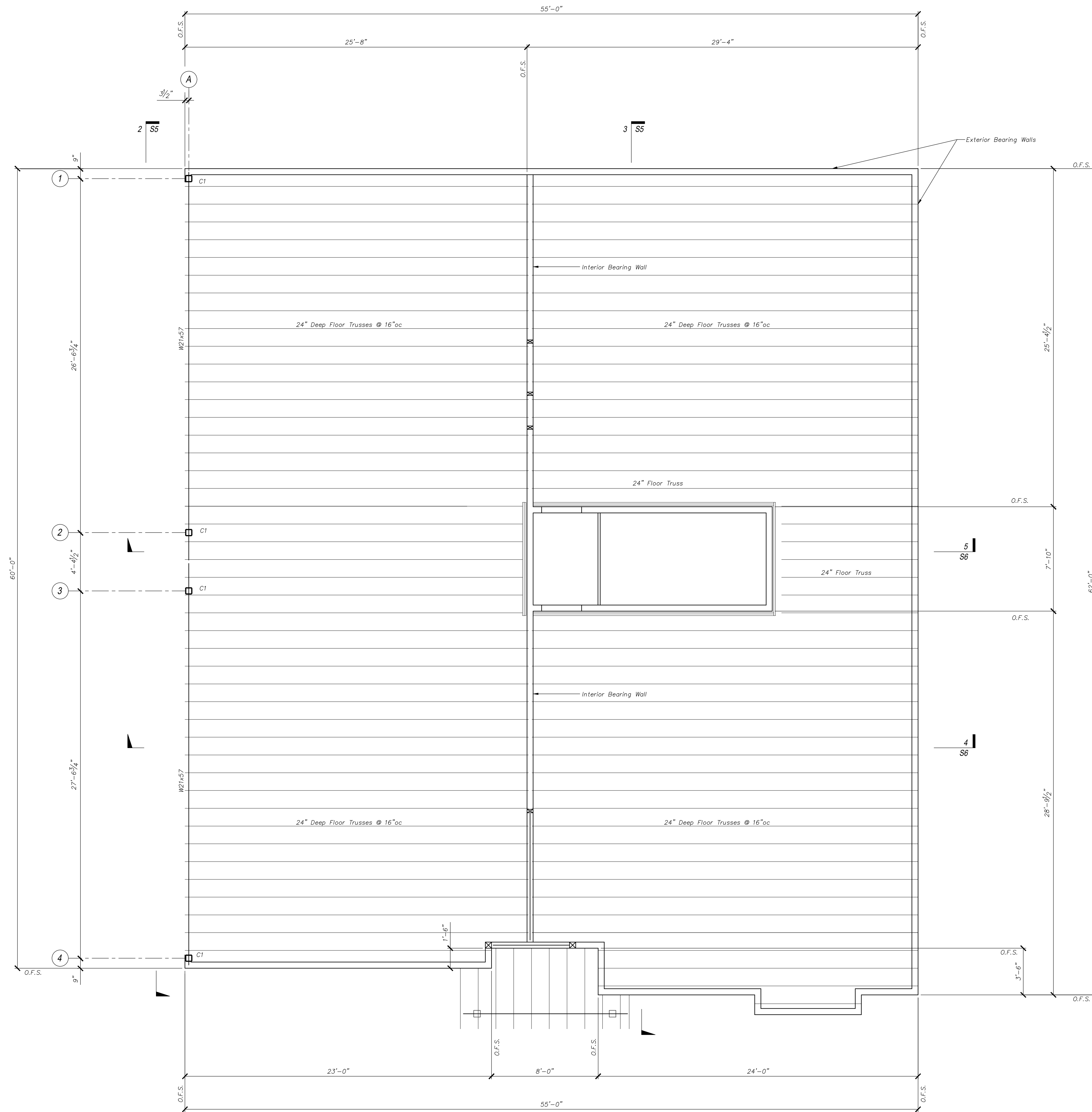
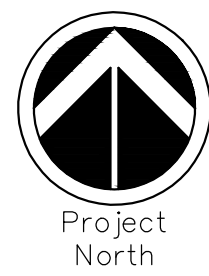
MUNJOY STREET FLATS
65 Munjoy Street

Date	10/11/15
Designed By:	TGS

SHEET TITLE:
FOUNDATION PLAN

S1 of 7

SEI Job # 2015-188



2nd FLOOR FRAMING PLAN
Scale: 1/4" = 1'-0"

GENERAL NOTES:

- STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH JOB SPECIFICATIONS AND ARCHITECTURAL, MECHANICAL, ELECTRICAL, PLUMBING, AND SITE DRAWINGS. CONSULT THESE DRAWINGS FOR LOCATIONS AND DIMENSIONS OF OPENINGS, CHASES, INSERTS, REGLETS, SLEEVES, DEPRESSIONS, AND OTHER DETAILS NOT SHOWN ON THE STRUCTURAL DRAWINGS.
- ALL DIMENSIONS AND CONDITIONS MUST BE VERIFIED IN THE FIELD. NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH THE WORK.
- THE STRUCTURE IS DESIGNED TO BE SELF SUPPORTING AND STABLE AFTER THE BUILDING IS COMPLETE. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE ERECTION PROCEDURES AND SEQUENCE TO ENSURE SAFETY OF THE STRUCTURE AND PERSONNEL DURING ERECTION. THIS INCLUDES THE ADDITION OF THE NECESSARY SHORING, SHEETING, TEMPORARY BRACING, GUYS OR TIEDOWNS. SUCH MATERIAL SHALL REMAIN THE PROPERTY OF THE CONTRACTOR AFTER COMPLETION OF THE PROJECT.
- ALL APPLICABLE FEDERAL, STATE, AND MUNICIPAL REGULATIONS SHALL BE FOLLOWED, INCLUDING THE FEDERAL DEPARTMENT OF LABOR OCCUPATIONAL SAFETY AND HEALTH ACT.

STRUCTURAL DESIGN CRITERIA:

- BUILDING CODE: 2009 EDITION OF THE INTERNATIONAL BUILDING CODE.
- DESIGN WIND LOADS - MAIN WIND FORCE RESISTING SYSTEM:
DESIGN WIND SPEED = 90 MPH
IMPORTANCE FACTOR I_w = 1.1
EXPOSURE CATEGORY = B
- SNOW:
GROUND SNOW LOAD = 60 PSF
IMPORTANCE FACTOR I_s = 1.0
EXPOSURE FACTOR, C_e = 0.7
FLAT ROOF SNOW LOAD = 42 PSF
- DESIGN SEISMIC CRITERIA:
EQUIVALENT LATERAL FORCE PROCEDURE
EXPOSURE GROUP = 1
 A_v = 0.12
 A_h = 0.12
PERFORMANCE CATEGORY = C
SITE COEFFICIENT = 1.0
 R = 6.5
 C_d = 4.0
SEISMIC RESISTING SYSTEM = LOAD BEARING LIGHT FRAMED WALLS WITH SHEAR PANELS
SEISMIC BASE SHEAR, V = $0.055 \times W$

STRUCTURAL STEEL NOTES - GENERAL:

- STRUCTURAL STEEL FABRICATION, ERECTION, AND CONNECTION DESIGN SHALL CONFORM TO AISC "SPECIFICATION FOR THE DESIGN, FABRICATION, AND ERECTION OF STRUCTURAL STEEL" 13th EDITION.
- ALL STEEL WIDE FLANGE SHAPES TO BE A572/A992 50 KSI AND STEEL PLATES TO BE ASTM A36 UNLESS NOTED OTHERWISE.
- STRUCTURAL TUBING SHALL CONFORM TO ASTM A500, GRADE B. STEEL PIPES SHALL BE A53, GRADE B.
- THE DESIGN OF CONNECTIONS NOT SHOWN ON THE DRAWINGS SHALL BE PROVIDED BY THE FABRICATOR. CONNECTIONS SHALL BE DESIGNED FOR THE FORCES SHOWN, OR IF NOT SHOWN, EACH CONNECTION SHALL BE CAPABLE OF SUPPORTING ONE HALF THE TOTAL ALLOWABLE UNIFORM LOAD CAPACITY OF THE MEMBER, PER AISC MANUAL OF STEEL CONSTRUCTION.
- ALL BOLTED CONNECTIONS SHALL BE MADE WITH 3/4" DIA. ASTM A325 HIGH STRENGTH BOLTS.
- WELDING SHALL BE IN ACCORDANCE WITH AWS D1.1 - LATEST EDITION. ALL WELDS SHALL BE MADE WITH E70XX ELECTRODES.
- STEEL BEAMS AND COLUMNS SHALL BE CUT FROM FULL LENGTH STOCK. UNAUTHORIZED SPLICES WILL BE CAUSE FOR REJECTION.
- STRUCTURAL STEEL SHALL BE PAINTED WITH A SHOP APPLIED COAT OF THE FABRICATOR'S RUST INHIBITIVE PRIMER.
- SUBMIT COMPLETE STRUCTURAL STEEL SHOP DRAWINGS FOR REVIEW PRIOR TO ANY STEEL FABRICATION.

2nd FLOOR - FRAMING NOTES:

- Floor Deck - 3/4" APA Struct-1 T+G Plywood
 - Floor Trusses - 24" Deep Engineered Open Web Wood Trusses Spaced at 16" oc, Unless Noted Otherwise on Plan. Align Floor Trusses over Studs.
 - Exterior Walls - 2x6s @ 16" oc at Floor to Floor uno
(2) 2x6 Top Plates, Joints Staggered 4ft. Min.
2x6 Bot. Plate
Sheathing - 1" Zip Panels (verify with Architect)
 - Interior Bearing Walls - (2) 2x6s @ 16" oc at Floor to Floor uno
(2) 2x6 Top Plates, Joints Staggered 4ft. Min.
2x6 Bot. Plate
Sheathing - 1/2" Plywood
 - Stairwell Walls - 2x6s @ 16" oc uno
Sheathing - 1/2" Plywood (Continuous Outside Face)
Sheetrock - 5/8" (Continuous Outside Face)
- O.F.S. = Outside Face of Stud

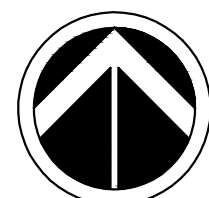
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Design Development	2/19/16
Review	12/28/15
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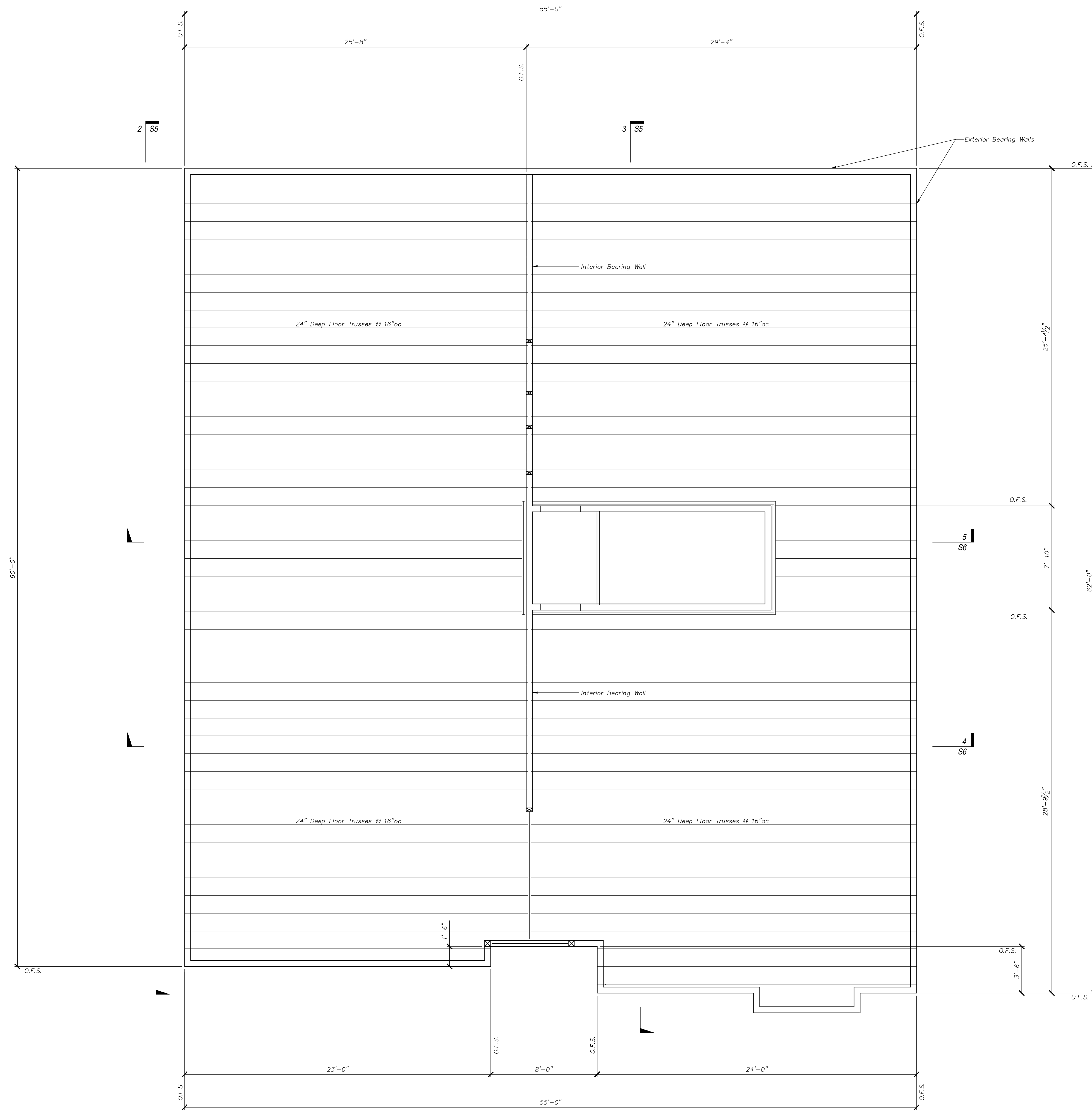
MUNJOY STREET FLATS
65 Munjoy Street
Portland
ME

Date	10/11/15
Designed By:	TGS

SHEET TITLE:
2nd FLOOR FRAMING PLAN



Project North



3rd FLOOR FRAMING PLAN
Scale: 1/4" = 1'-0"

WOOD FRAMING NOTES:

- STRUCTURAL LUMBER: No. 2 SPRUCE PINE FIR OR BETTER.
F_b = 750 PSI F_v = 70 PSI
F_c = 975 PSI E = 1100000 PSI
- DESIGN CODE: NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION BY THE NATIONAL FOREST PRODUCTS ASSOCIATION.
- FASTENERS: COMPLY WITH RECOMMENDED FASTENING SCHEDULE OF THE INTERNATIONAL BUILDING CODE, 2009 EDITION, UNLESS SHOWN OTHERWISE ON THE DRAWINGS.
- NAILING REQUIREMENTS FOR PLYWOOD ROOF DECK:
PROVIDE 8d NAILS AS FOLLOWS UNLESS SHOWN OTHERWISE:
8d NAILS @ 6" o.c. ALONG PANEL EDGES
8d NAILS @ 12" o.c. ALONG INTERMEDIATE MEMBERS
- SPIKE TOGETHER ALL FRAMING MEMBERS WHICH ARE BUILT-UP USING MULTIPLE 2x LUMBER.
- PROVIDE GALVANIZED METAL TIES EQUAL TO SIMPSON H2.5 HURRICANE TIES BETWEEN ROOF TRUSSES AND SUPPORTING MEMBERS EA. SIDE OF TRUSSES ON OPPOSITE SIDES OF SUPPORTING MEMBERS, UNLESS SHOWN OTHERWISE. HOLD DOWN ANCHORS AT ALL GIRDER TRUSSES TO BE SPECIFIED DURING WOOD TRUSS SHOP DRAWING REVIEW BY ENGINEER OF RECORD.
- PROVIDE PRESSURE TREATED LUMBER FOR ALL LUMBER IN CONTACT WITH MASONRY OR CONCRETE.
- ROOF SHEATHING: 5/8" APA RATED SHEATHING, EXTERIOR OR STRUCTURAL I OR II RATED SHEATHING, SPAN RATING 32/16. INSTALL SHEETS WITH FACE GRAIN DIRECTION PERPENDICULAR TO SUPPORTING MEMBERS.
- HEADER SIZES SUBJECT TO CHANGE BY ENGINEER OF RECORD AFTER WOOD TRUSS SHOP DRAWING REVIEW, DEPENDING ON EXACT LOCATIONS OF GIRDER TRUSSES BY WOOD TRUSS MANUFACTURER.

WOOD TRUSS NOTES:

- DESIGN CRITERIA:
 - SNOW LOAD - SEE DESIGN CRITERIA NOTES
 - LIVE LOAD - SEE DESIGN CRITERIA NOTES
 - DEAD LOAD
TOP AND BOTTOM CHORDS = 10 PSF EACH + TRUSS WEIGHT
 - WIND LOAD
PER STRUCTURAL DESIGN CRITERIA
 - LOAD COMBINATIONS
PER THE 2009 INTERNATIONAL BUILDING CODE
 - ALLOWABLE DEFLECTION = L/360
- MATERIALS:
 - STRESS GRADED LUMBER, METAL PLATE CONNECTORS
 - APPLICABLE SPECIFICATIONS:
 - NATIONAL DESIGN SPECIFICATIONS FOR STRESS GRADE LUMBER AND ITS FASTENING (NDS).
 - MOST RECENT AISC STANDARDS.
 - DESIGN SPECIFICATIONS FOR LIGHT METAL PLATE CONNECTED WOOD TRUSSES, TPI LATEST EDITION.
 - BRACING:
 - TRUSS MANUFACTURER SHALL SPECIFY ALL BRACING FOR BOTH TEMPORARY CONSTRUCTION LOADING AND FOR PERMANENT LATERAL SUPPORT OF COMPRESSION MEMBERS, AS WELL AS ERECTION PROCEDURES.
 - ALL FABRICATED TRUSSES SHALL RECEIVE THE TPI MARK OF APPROVAL IN ACCORDANCE WITH THE TRUSS PLATE INSTITUTE PROCEDURES.
 - THE TRUSS CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AND CALCULATIONS PREPARED UNDER THE DIRECTION OF, AND STAMPED BY AN ENGINEER REGISTERED IN THE STATE IN WHICH THE PROJECT IS LOCATED.

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O.F.S. = Outside Face of Stud

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Design Development	2/19/16
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65 Munjoy Street
Portland ME

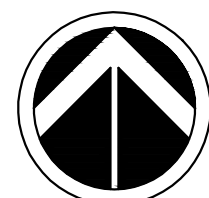
Date	10/11/15
Designed By:	TGS

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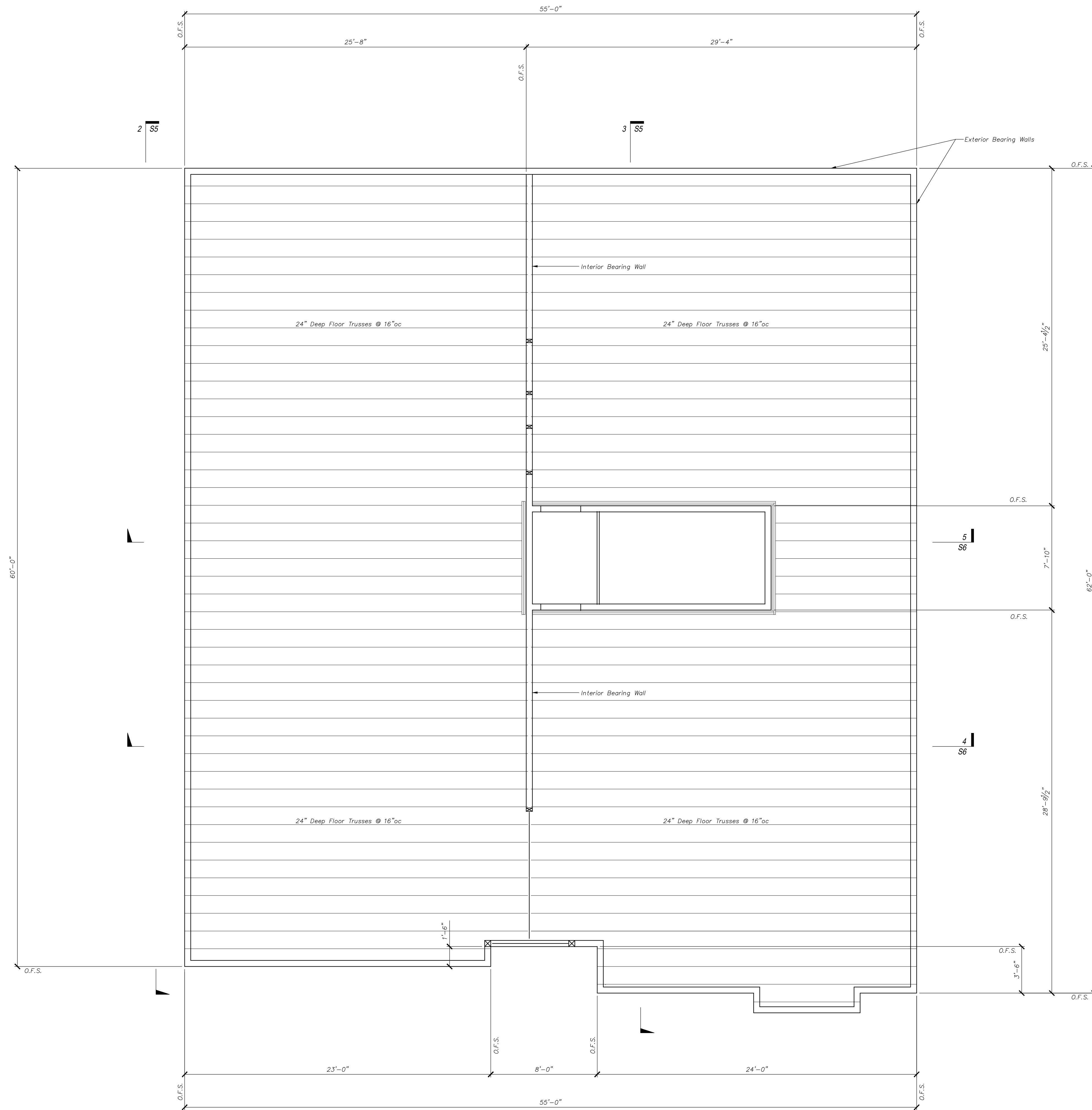
3rd FLOOR FRAMING PLAN

S4 of 7

SEI Job # 2015-188



Project North



3rd FLOOR FRAMING PLAN
Scale: 1/4" = 1'-0"

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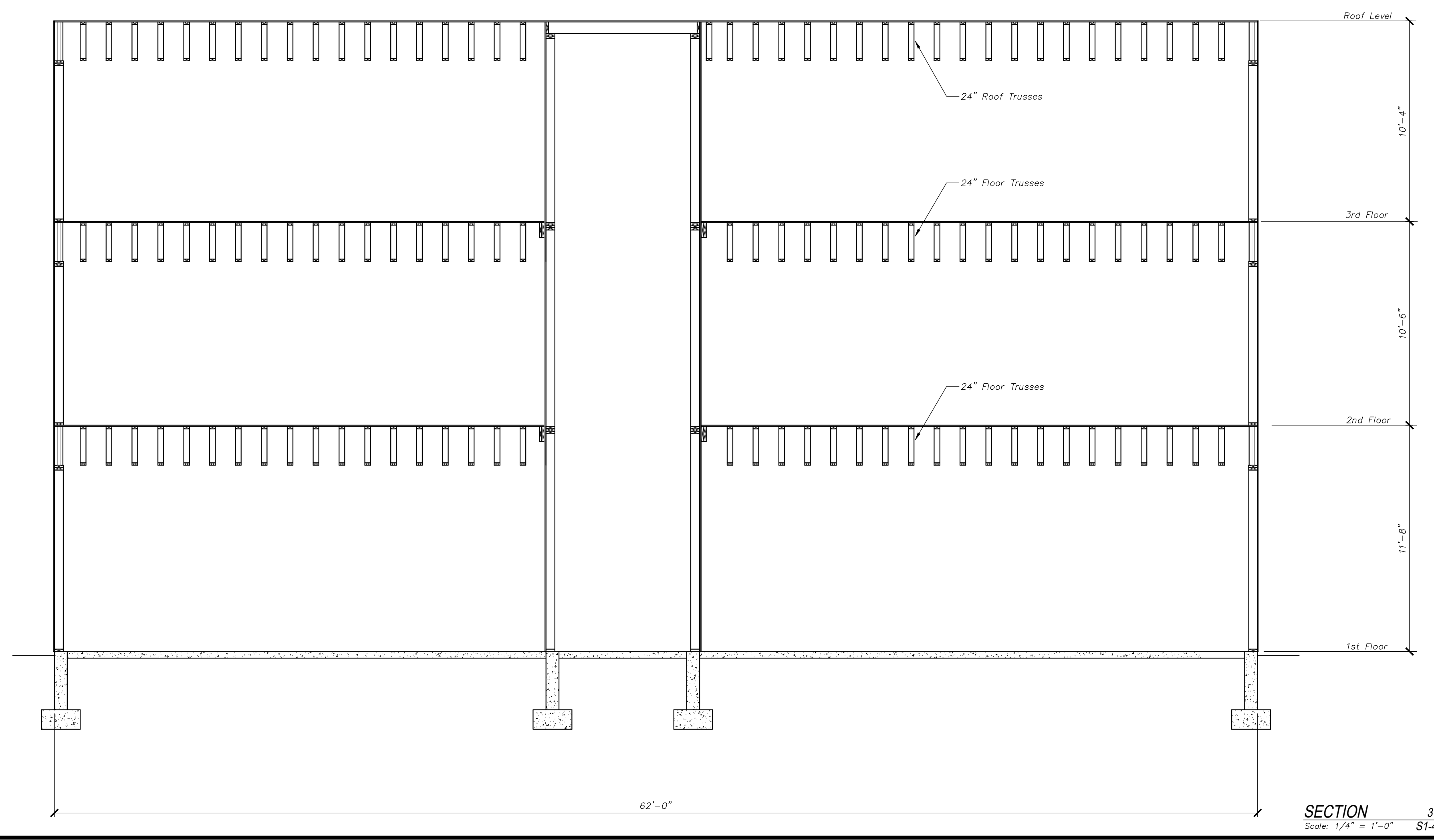
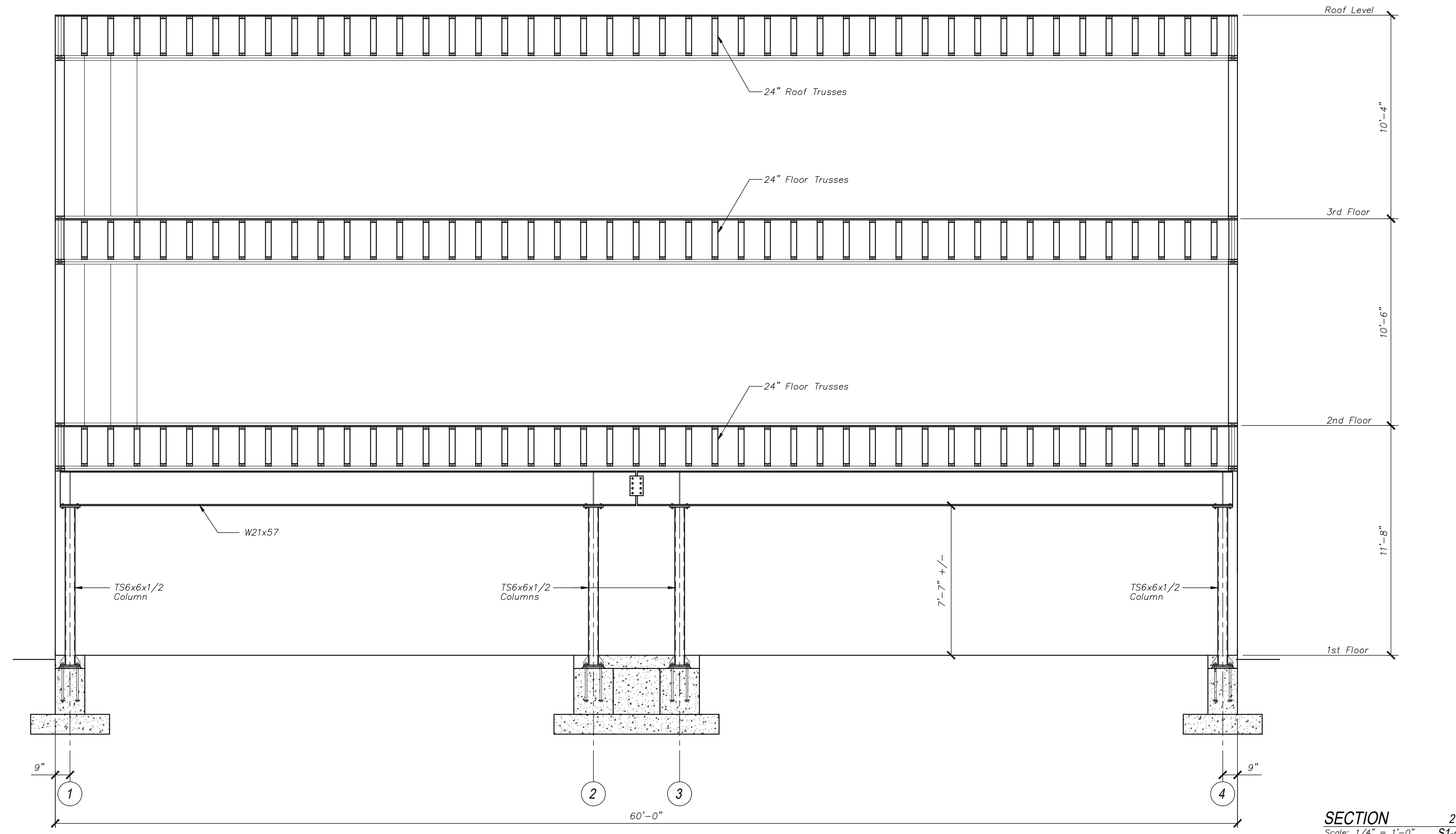
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Designed By:	TGS

SHEET TITLE:

3rd FLOOR FRAMING PLAN

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SEI Job # 2015-188



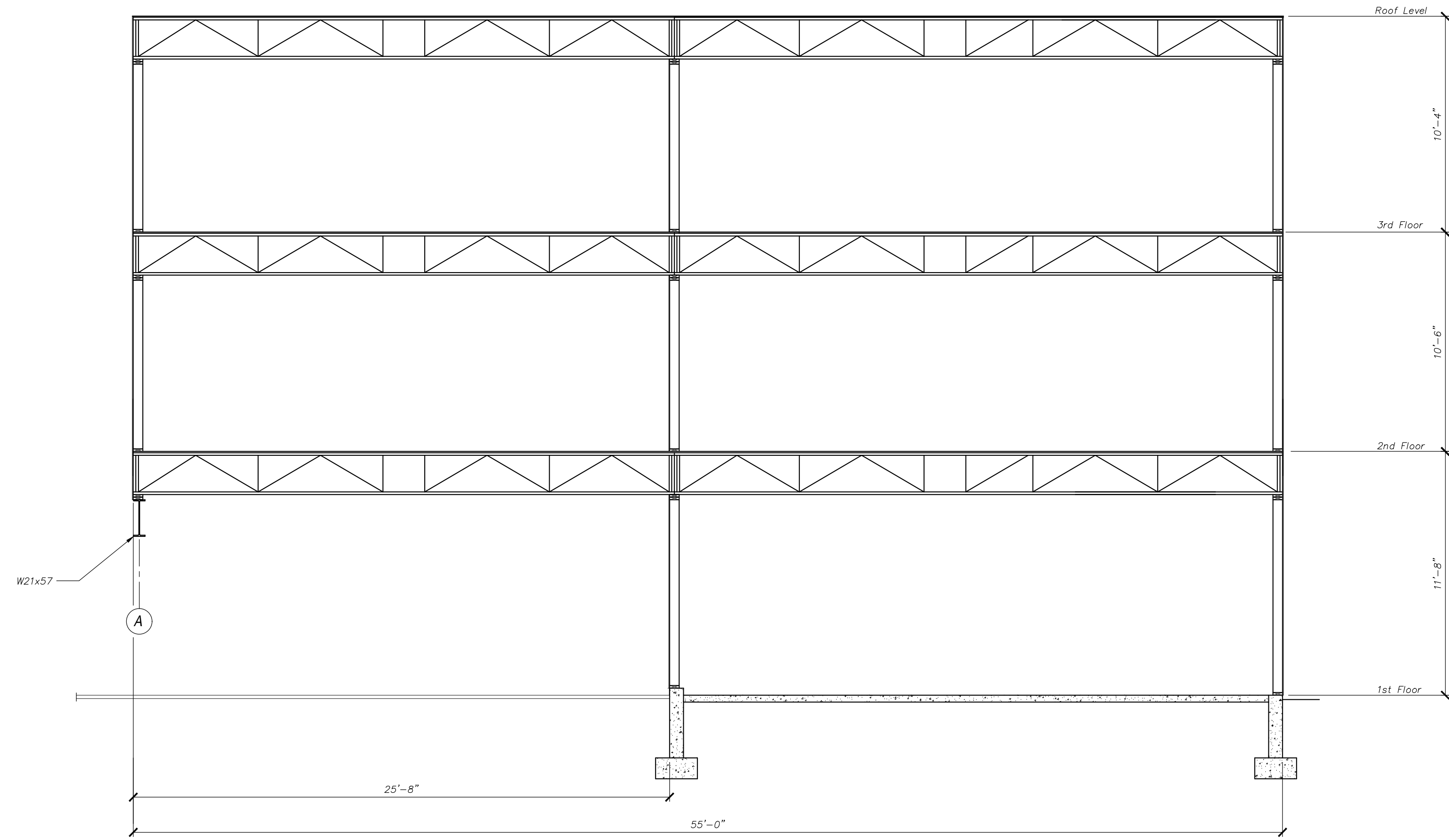
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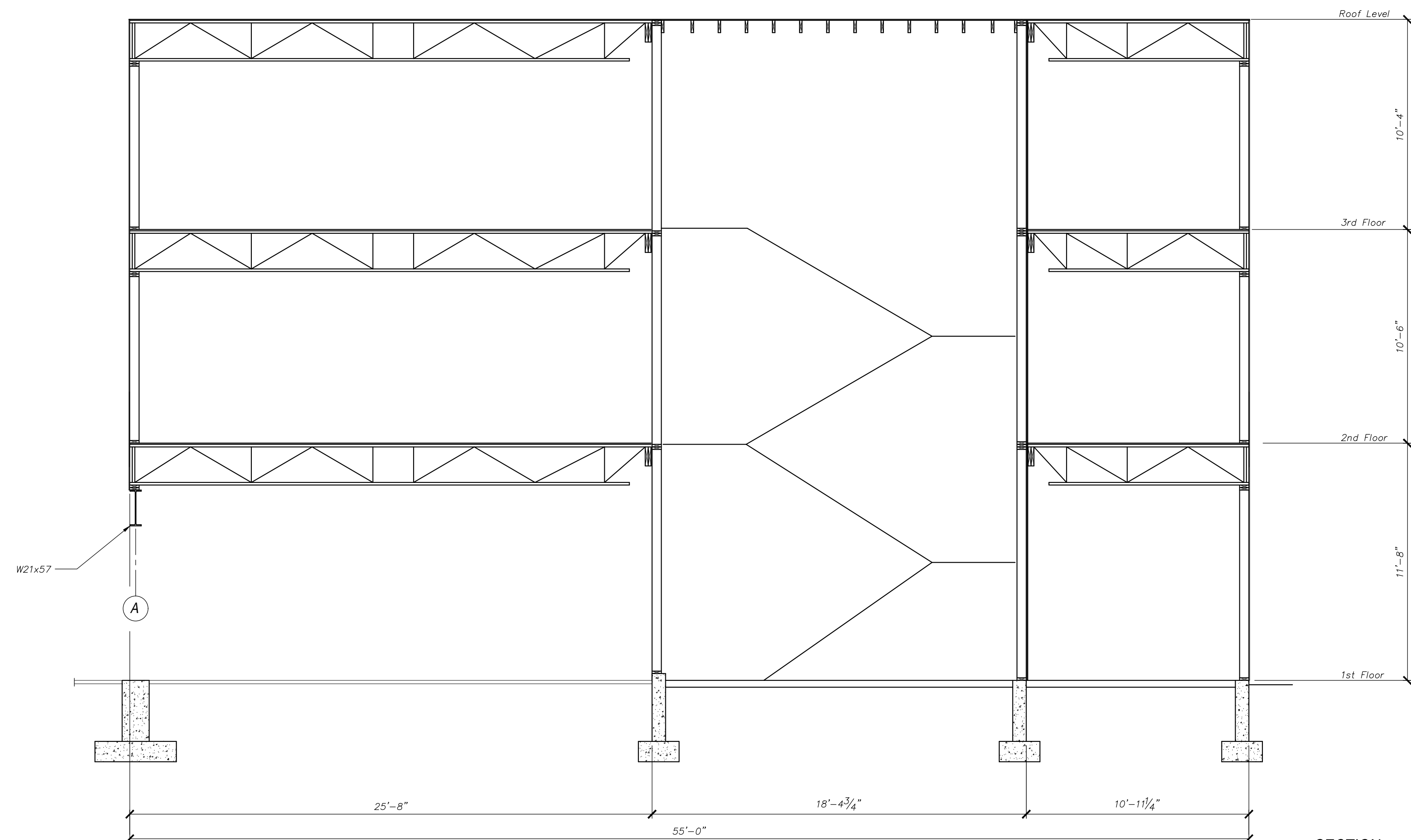
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SHEET TITLE:
 BUILDING
 SECTIONS 3-4
 S5 of 7
 SEI Job # 2015-188



SECTION 4
Scale: 1/4" = 1'-0"
S1-4



SECTION 5
Scale: 1/4" = 1'-0"
S1-4

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SHEET TITLE:
SECTIONS
S6 of 8
SEI Job # 2015-188