

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

Please Read
 Application And
 Notes, If Any,
 Attached

BUILDING DEPARTMENT

PERMIT

Permit Number: 040865

This is to certify that Chaiklin Rebecca &/John M

has permission to 2 new decks 16'x36' w/screen wider between

AT 38-40 Eastern Promenade

003 K008001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is started or closed-in. HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. [Signature]

Health Dept. _____

Appeal Board _____

Other _____

Department Name

[Signature] 9/2/04
 Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-0865	Issue Date:	CBL: 003 K008001
-----------------------	-------------	---------------------

Location of Construction: 38-40 Eastern Promenade	Owner Name: Chaiklin Rebecca &	Owner Address: 80 Varick St # 9b	Phone: (917)414-1336
Business Name:	Contractor Name: John Murton	Contractor Address: Portland	Phone: 9174141336
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Multi Family	Zone: R-6

Past Use: 6 unit condominium	Proposed Use: 6 unit condominium with 2 new decks 16'x36'	Permit Fee: \$102.00	Cost of Work: \$9,000.00	CEO District: 1
Proposed Project Description: 2 new decks 16'x36' w/screen divider between <i>Legal use: 6 condominium dwelling units</i>		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R2 Type: 5B 9/2/04 Signature: <i>[Signature]</i>	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____		

Permit Taken By: jodinea	Date Applied For: 06/24/2004	Zoning Approval		
-----------------------------	---------------------------------	------------------------	--	--

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <i>to remain 6D.4</i> <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>OK 7/8/04</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: _____
--	--	--	---

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-0865	Date Applied For: 06/24/2004	CBL: 003 K008001
------------------------------	--	----------------------------

Location of Construction: 38-40 Eastern Promenade	Owner Name: Chaiklin Rebecca &	Owner Address: 80 Varick St # 9b	Phone: (917)414-1336
Business Name:	Contractor Name: John Murton	Contractor Address: Portland	Phone: (917) 414-1336
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Multi Family	

Proposed Use: 6 unit condominium with 2 new decks 16'x36'	Proposed Project Description: 2 new decks 16'x36' w/screen divider between
---	--

Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 07/08/2004

Note: **Ok to Issue:**

- 1) The proposed decks shall not be larger than the existing footprint of the floor directly below the decks.
- 2) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.
- 3) This property shall remain a six (6) family dwelling condominiums. Any change of use shall require a separate permit application for review and approval.

Dept: Building **Status:** Approved **Reviewer:** Mike Nugent **Approval Date:** 09/02/2004

Note: **Ok to Issue:**

Dept: Fire **Status:** Approved **Reviewer:** Lt. MacDougal **Approval Date:** 07/08/2004

Note: **Ok to Issue:**

Comments:

8/27/2004-mjn: Structural not stamped

7/16/2004-mjn: need structurals.. Is the roof system able to carry the load

—SEI—

SHELLEY ENGINEERING, INC.
STRUCTURAL CONSULTANTS

Letter of Transmittal

To: Mike Nugent

From: Craig Martin

Company: City of Portland

Date: 30 August, 2004

Address:

Job #: 2004-424

Re: 38 Eastern Promenade Deck Upgrade

Enclosed

For your use

As requested

Reviewed

Submit for approval

For review and comment

Approved as noted

Resubmit for review

• **Comments:**

Mr. Nugent,

At the request of Mr. Anthony Nicochett, please find attached 1 copy of a drawing entitled 38 Eastern Promenade Deck Support Upgrade, issued for permitting.

Sincerely,



Craig S. Martin

cc: file, Anthony Nicochett

90 BRIDGE STREET WESTBROOK, MAINE 04092 PHONE 207.854.5465 FAX 207.854.8706

WWW.SHELLEYENGINEERING.COM

Condominium Conversion and Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>38 - 40 Eastern Prom</u>		
Total Square Footage of Proposed Structure <u>1052</u>	Square Footage of Lot <u>9800</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>6504</u> Block# <u>3 K</u> Lot# <u>8</u>	Owner: <u>Anthony Nicolich</u>	Telephone: <u>917 414 1336</u>
Lessee/Buyer's Name (If Applicable) <u>Anthony Nicolich</u>	Applicant name, address & telephone: <u>917 414 1336</u> <u>Anthony Nicolich</u> <u>40 Eastern Promenade</u>	Cost Of Work: \$ <u>9000</u> Fee: \$ _____ <u>_____ units @ \$150.00 per</u> <u>unit \$ _____ + \$75.00</u> per unit CofO \$ _____ Total Fee: _____
Current use: <u>Condominium</u> number of units: <u>6</u>		
Proposed use: <u>SAME</u> number of units: <u>6</u>		
Project description: <u>2 Decks 16 x 36</u>		
Contractor's name, address & telephone: <u>John Morton</u>		
Whom should we contact when the permit is ready: <u>Call Anthony</u>		
Mailing address:		Phone: <u>917 414 1336</u>

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>[Signature]</u>	Date: <u>6/24/04</u>
--	----------------------

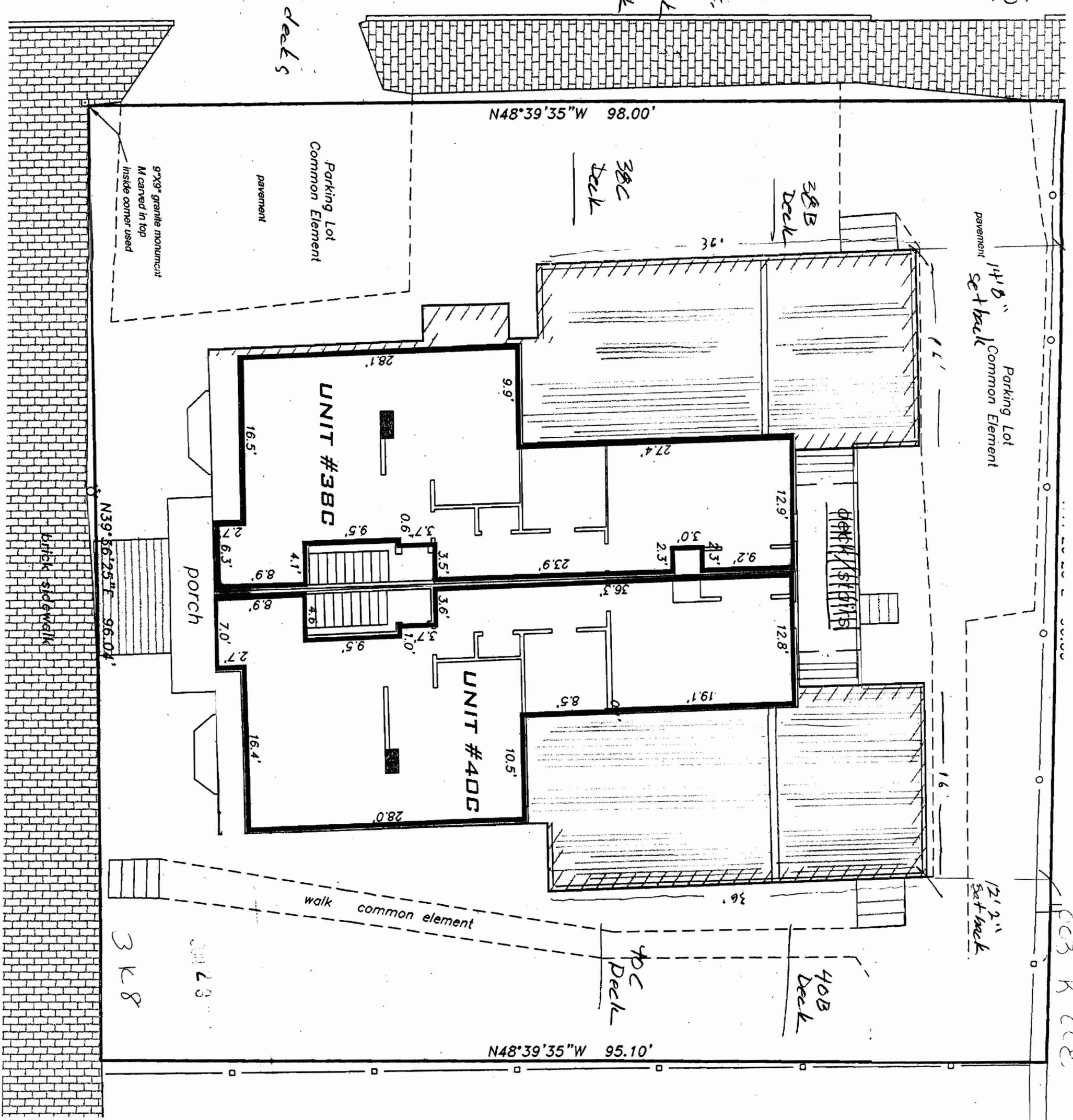
This is not a Permit, you may not commence ANY work until the Permit is issued.

CK# 1307

Roof Deck Detail / Plan View

- Rubber membrane flat roof
- All Lumber Pressure Treated
- 5Y Pine
- 2x4 sleepers 24" OC
- 5/4" x 6 decking
- 4x4 Posts not to exceed 8'0" OC, fastened w/ steel angles
- 2x4 rails Top 42" above deck
- Bottom 4" above deck
- 2x2 ballusters spaced not to exceed 4" gap.
- All fasteners coated for weather / rust resistance
- Post connection to roof sealed w/ rubber membrane
- Screen divider between unit decks for limited privacy

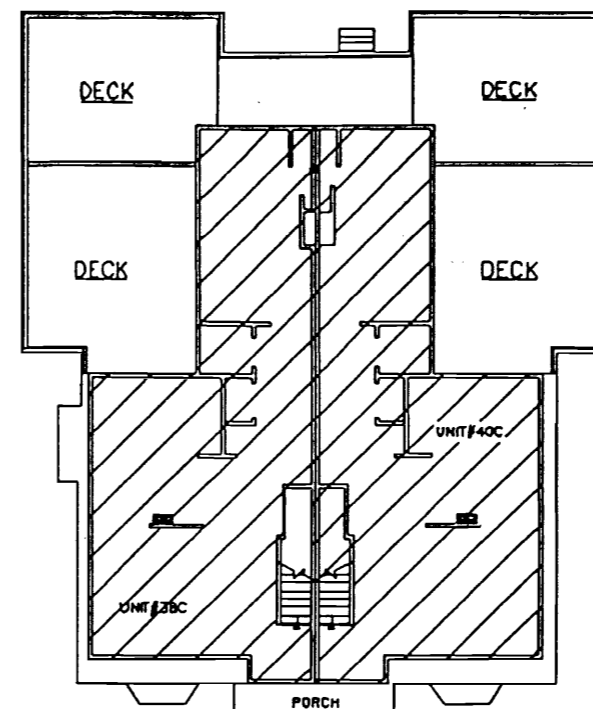
38-40 Eastern Promenade
Condominiums



CC3 K CCE



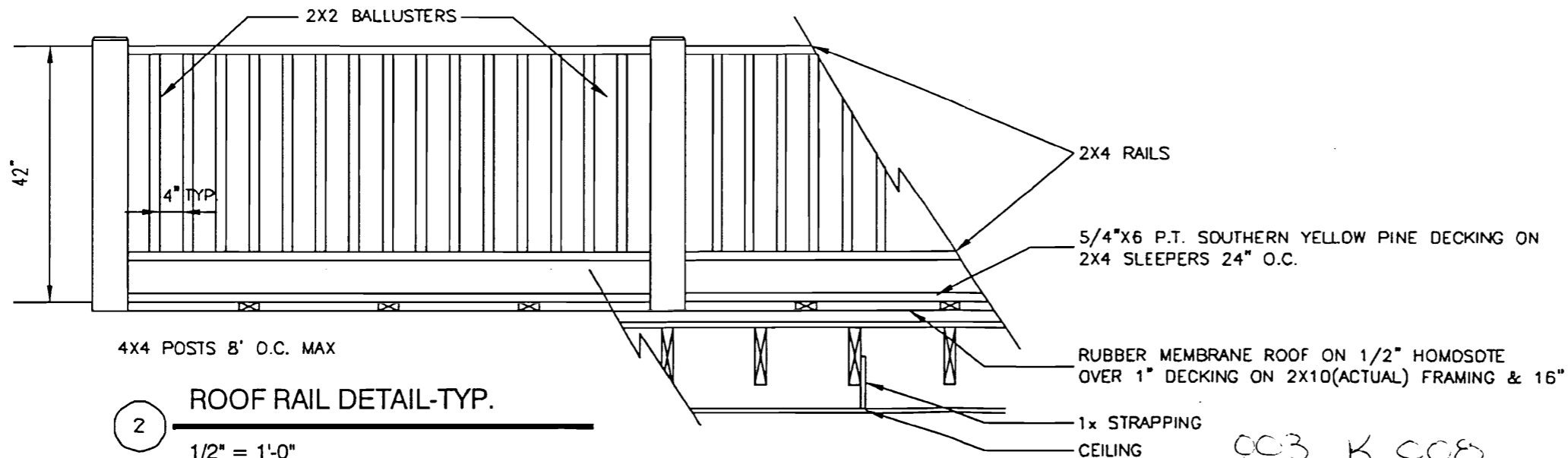
3 ELEVATION
N.T.S.



1 ROOF DECKING
N.T.S.

ROOF DECK DETAIL/PLAN VIEW

1. RUBBER MEMBRANE FLAT ROOF
2. ALL LUMBER PRESSURE TREATED SYPINE
3. 2X4 SLEEPERS 24" O.C.
4. 5/4"x6" DECKING
5. 4X4 POSTS @ 8' (±) O.C. FASTENED W/STEEL ANGLES
6. 2X4 RAILS TOP 42" ABOVE DECK
BOTTOM 4" ABOVE DECK
7. 2X2 BALLUSTERS SPACED 4" (±)
8. ALL FASTENERS COATED FOR WEATHER/ RUST RESISTANCE
9. POST CONNECTION TO ROOF SEALED W/RUBBER MEMBRANE
10. SCREEN DIVIDER BETWEEN UNIT DECKS FOR LIMITED PRIVACY
11. EXISTING ROOF FRAMING 2"x10" (ACTUAL) 16" (±) D.C. W/
1"x8" (±) SOLID WOOD DECKING - PITCHED 1/8" PER 1'-0"
12. EXISTING CONDITIONS FIELD CHECKED 12 JULY 04



2 ROOF RAIL DETAIL-TYP.
1/2" = 1'-0"

NOTES:
ALL WOOD FRAMING & PARTS PRESSURE TREATED SOUTHERN YELLOW PINE 4X4 POSTS SECURED W/METAL ANGLE, FASTENED & SEALED TO ROOF MEMBRANE
2X4 RAILS: TOP 42" FROM DECKING SURFACE
BOTTOM GAP NOT TO EXCEED 4" FROM DECKING SURFACE
ALL FASTENERS COATED FOR RESISTANCE.



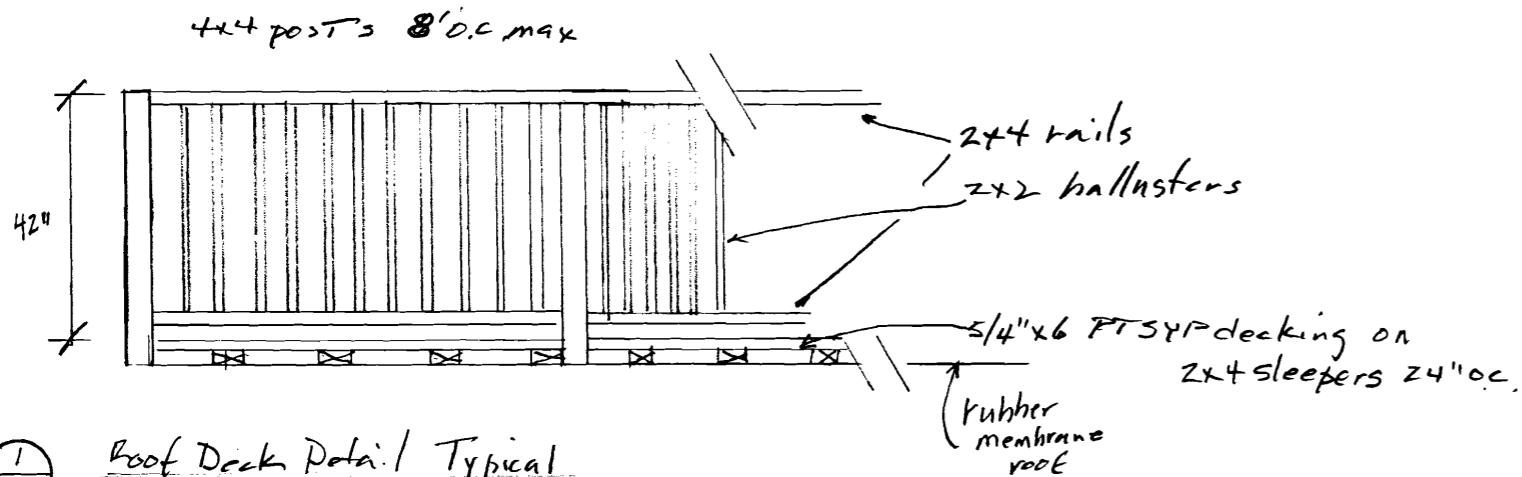
003 K 008
JUL 16 2004
RECEIVED



38-40 EASTERN PROMENADE
PORTLAND, MAINE

SHEET
A1

PROPERTY OF



⊕ Roof Deck Detail Typical

All wood framing & parts Pressure Treated SYP pine
 4x4 posts secured w/ metal angle, fastened & sealed to roof membrane
 2x4 rails: Top 42" from decking surface
 Bottom gap not to exceed 4" from decking surface
 All fasteners coated for rust resistance.

SECOND FLOOR CEILING ELEVATION = 126.8'

UNITS 38B & 40B

SECOND FLOOR ELEVATION = 117.3'

BASEMENT CEILING ELEVATION = 105.1'

BASEMENT FLOOR ELEVATION = 98.8'



THIRD FLOOR CATHEDRAL CEILING ELEVATION = 141.7'
 THIRD FLOOR CEILING ELEVATION = 136.1'

UNITS 38C & 40C

THIRD FLOOR NORTHEAST & SOUTHWEST KNEE WALL ELEVATION = 132.2'
 THIRD FLOOR SOUTHEAST KNEE WALL ELEVATION = 131.8'
 THIRD FLOOR ELEVATION = 127.9'

FIRST FLOOR CEILING ELEVATION = 116.2'

UNITS 38A & 40A

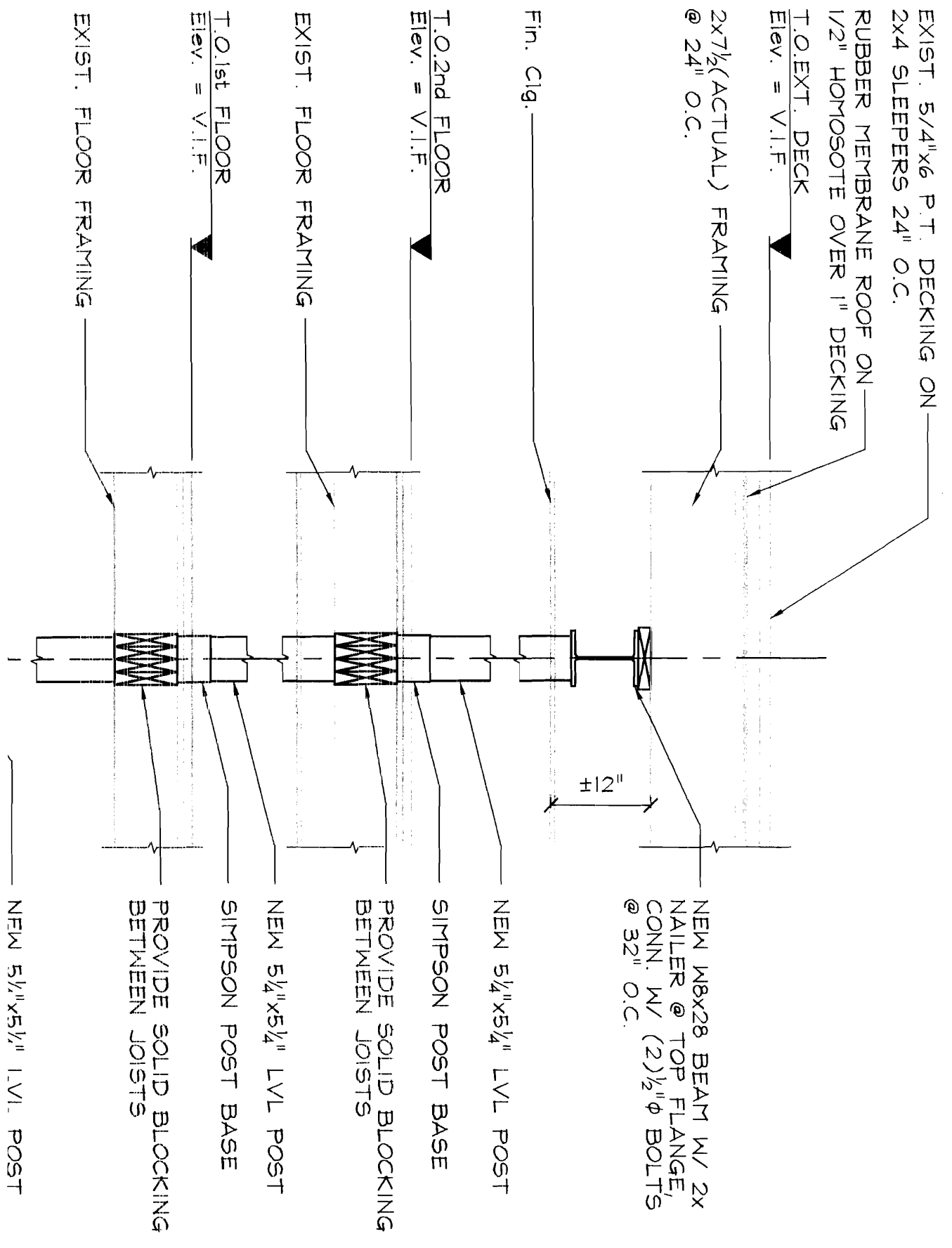
FIRST FLOOR ELEVATION = 106.2'

3k 8

38-40 Eastern Promenade
 Condominiums

NOTE: ELEVATIONS ARE REFERENCED TO CITY OF PORTLAND DATUM.
 BENCHMARK: TOP OF MONUMENT AT THE CORNER OF WILSON,
 STREET AND EASTERN PROMENADE. ELEVATION = 101.49'

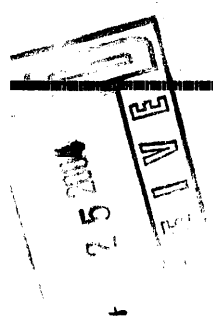
1	05/29
NO.	DATE



38 EASTERN DECK SUPPORT

PORTLAND

SEI — SHELLEY ENGINEERING, INC.
 STRUCTURAL CONSULTANTS
 90 BRIDGE STREET
 WESTBROOK, MAINE 04092
 PHONE (207) 854-5465
 FAX (207) 854-8706
 WWW.SHELLEYENGINEERING.COM



STABLE AFTER THE BUILDING IS COMPLETE. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE ERECTION PROCEDURES AND SEQUENCE TO ENSURE SAFETY OF THE STRUCTURE AND PERSONNEL DURING ERECTION. THIS INCLUDES THE ADDITION OF THE NECESSARY SHORING, SHEETING, TEMPORARY BRACING, GUYS OR TIEDOWNS. SUCH MATERIAL SHALL REMAIN THE PROPERTY OF THE CONTRACTOR AFTER COMPLETION OF THE PROJECT.

4. ALL APPLICABLE FEDERAL, STATE, AND MUNICIPAL REGULATIONS SHALL BE FOLLOWED, INCLUDING THE FEDERAL DEPARTMENT OF LABOR OCCUPATIONAL SAFETY AND HEALTH ACT.

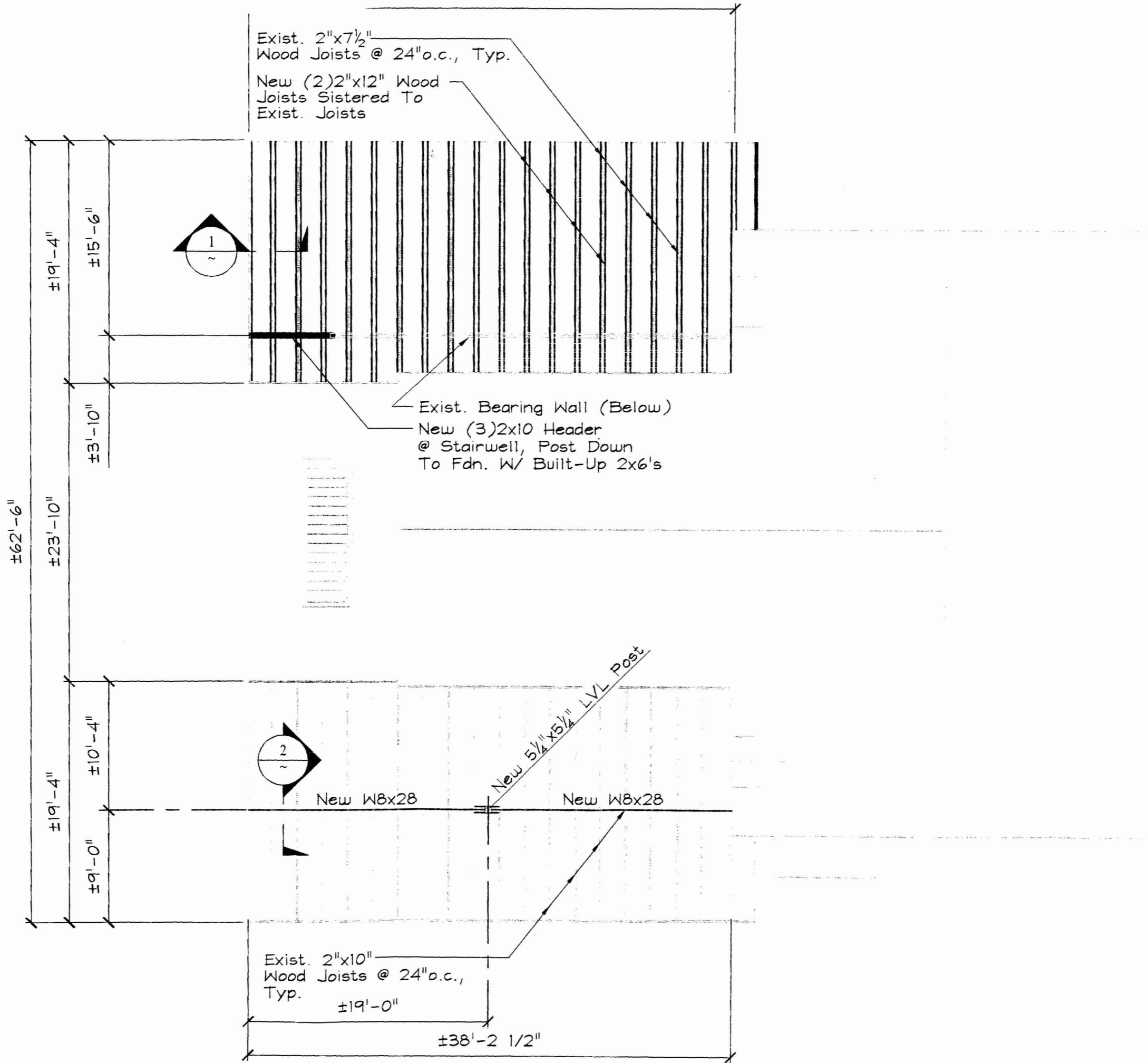
STRUCTURAL DESIGN CRITERIA:

- 1. BUILDING CODE: BOCA '99
- 2. DESIGN FLAT ROOF SNOW LOADS: 42 psf
- 3. DESIGN DECK LOADS: 40 psf

STRUCTURAL STEEL NOTES - GENERAL

- 1. STRUCTURAL STEEL FABRICATION, ERECTION, AND CONNECTION DESIGN SHALL CONFORM TO AISC "SPECIFICATION FOR THE DESIGN, FABRICATION, AND ERECTION OF STRUCTURAL STEEL" 9th EDITION.
- 2. ALL STEEL SHAPES AND PLATES TO BE ASTM A36 UNLESS NOTED OTHERWISE. ALL WF SHAPES SHALL BE A572 / A992 Gr.50
- 3. STEEL BEAMS AND COLUMNS SHALL BE CUT FROM FULL LENGTH STOCK. UNAUTHORIZED SPLICES WILL BE CAUSE FOR REJECTION.
- 4. STRUCTURAL STEEL SHALL BE PAINTED WITH A SHOP APPLIED COAT OF THE FABRICATOR'S RUST INHIBITIVE PRIMER.

<p>ROMINADE UPGRADE</p>		<p>MAINE</p>						
<p>DRN BY: CRAIG MARTIN</p> <p>CHK'D BY: PATRICK JORDAN</p> <p>DATE: 18 AUGUST, 2004</p> <p>SCALE: AS NOTED</p> <p>JOB NO.: 2004-424</p>	<p style="text-align: center;">THIS DR</p> <p><input checked="" type="checkbox"/> NOT FOR CONSTRUCT</p> <p style="text-align: center;">CURRI</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 10%; text-align: center;">#</td> <td style="width: 10%; text-align: center;">DATE</td> <td style="width: 80%;"></td> </tr> <tr> <td style="text-align: center;">A</td> <td style="text-align: center;">25Aug04</td> <td></td> </tr> </table>	#	DATE		A	25Aug04		
#	DATE							
A	25Aug04							



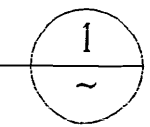
EXTERIOR WALL



EXIST. 5/4"x6 P.T.
DECKING ON 2x4
SLEEPERS @ 24" O.C.
2x7 1/2 (ACTUAL)
FRAMING @ 24" O.C.
RUBBER MEMBRANE
ROOF ON 1/2" HOMOSOTE
OVER 1" DECKING

NEW (2)2x12 ROOF JOISTS,
SISTERED TO EXIST.
JOISTS, FASTEN W/
(3)11d NAILS @ 12"O.C.

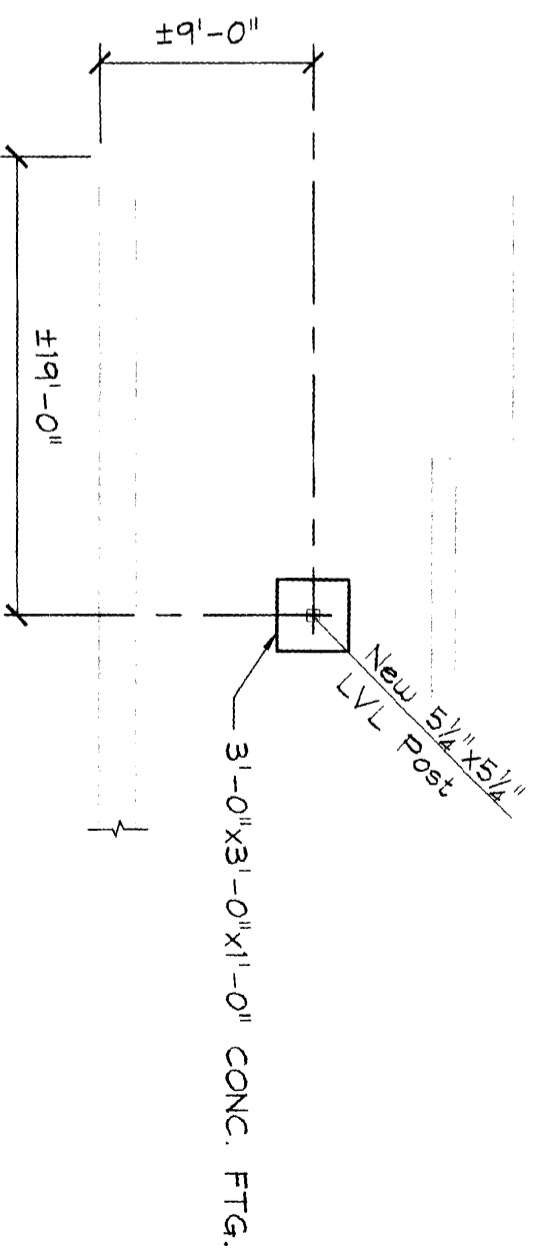
SECTION
SCALE: 3/4" = 1'-0"

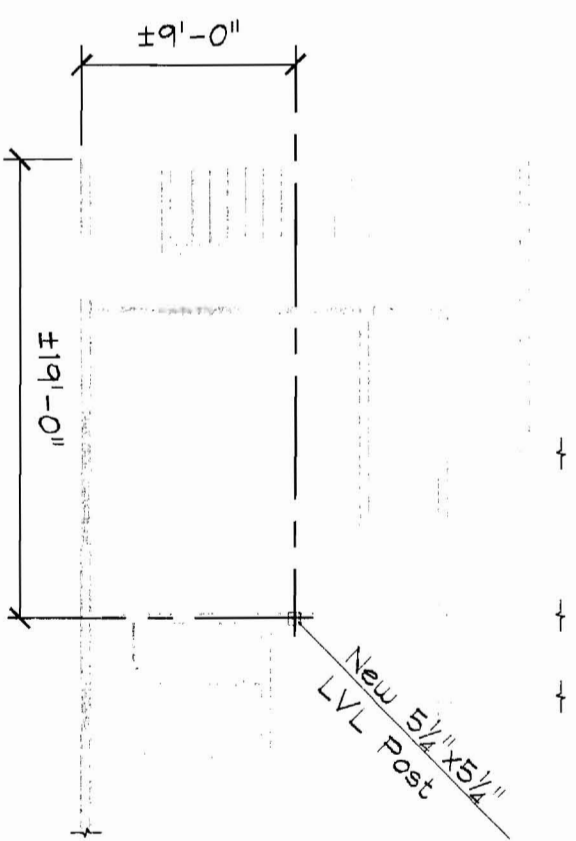


SE
+
mg, Inc.

PART. BASEMENT PLAN

SCALE: 1/8" = 1'-0"



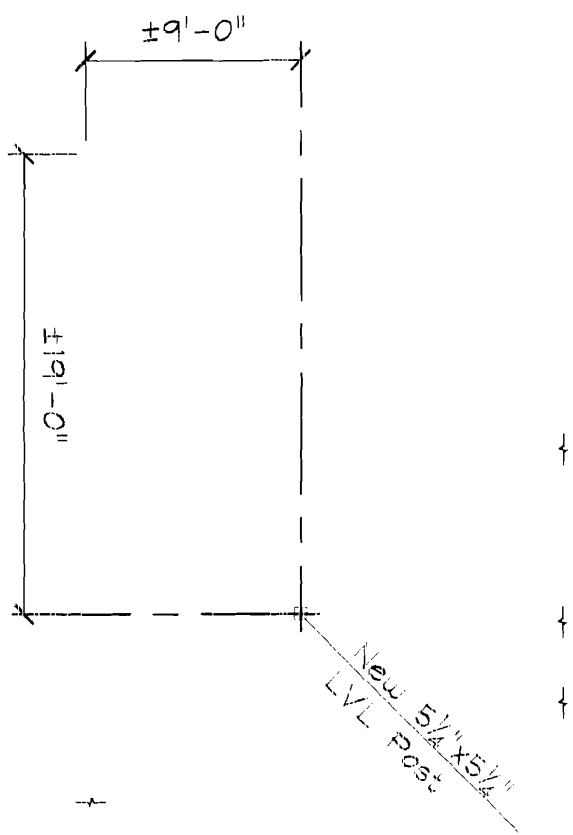


RT. FIRST FLOOR FRAMING PLAN

1/8" = 1'-0"

PART. SECOND FLOOR FRAMING PLAN

SCALE: 1/8" = 1'-0"





CITY OF PORTLAND, MAINE
Department of Building Inspections

_____ 20 _____

Received from _____

Location of Work _____

Cost of Construction \$ _____

Permit Fee \$ _____

Building (I1) _____ Plumbing (I5) _____ Electrical (I2) _____ Site Plan (U2) _____

Other _____

CBL: _____

Check #: _____

Total Collected \$ _____

THIS IS NOT A PERMIT

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

WHITE - Applicant's Copy

YELLOW - Office Copy

PINK - Permit Copy