

Revised to include changes requested by Portland Code Office

Drawing:

12 Vesper Street - East Elevation, Existing

Date: May 10, '11

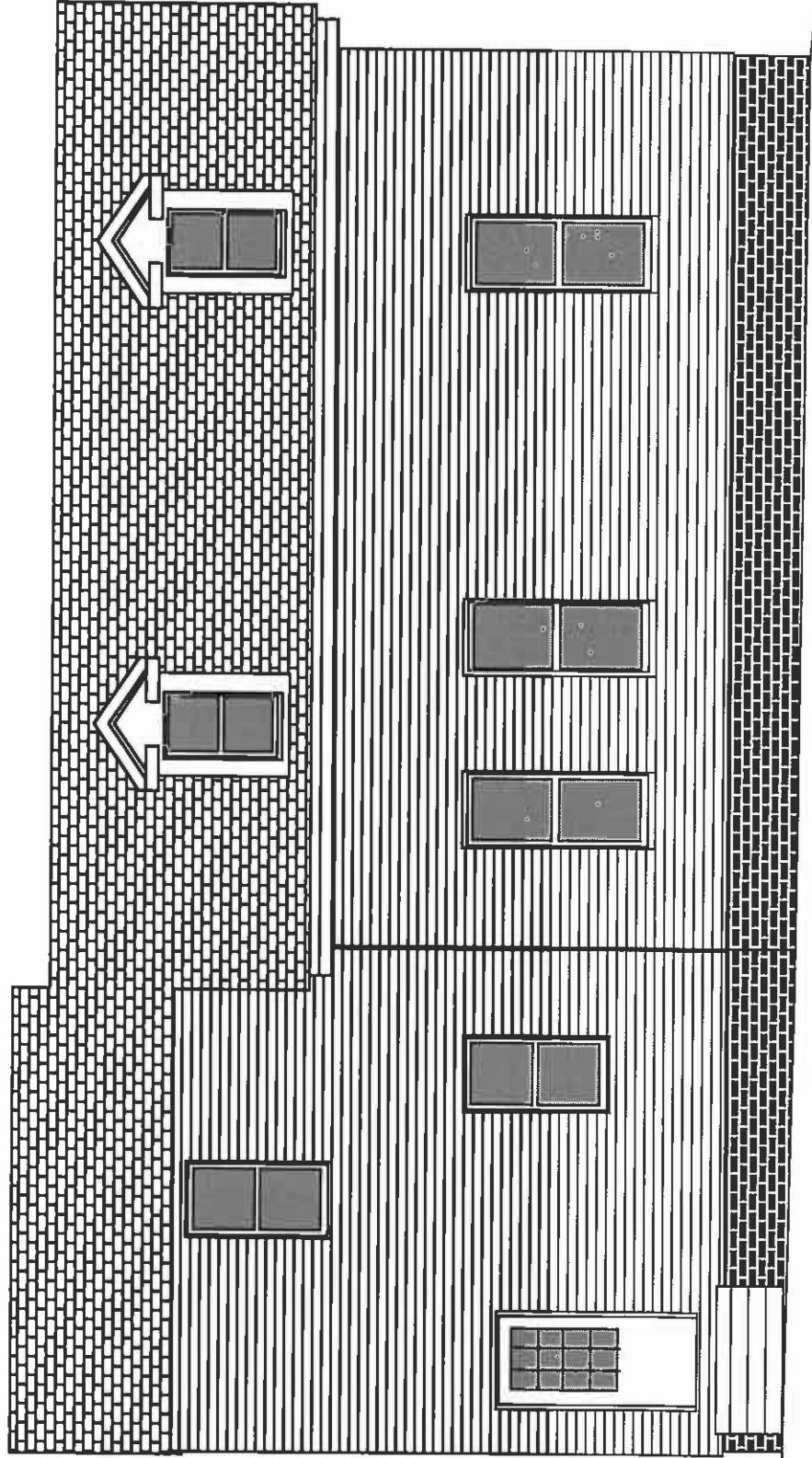
Scale: 1" = 6'

Whole Home Resource

3 Tide Mill Lane, Scarborough, ME 04074

WholeHomeResource.com

207.883.6050



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Scale: 1" = 6'

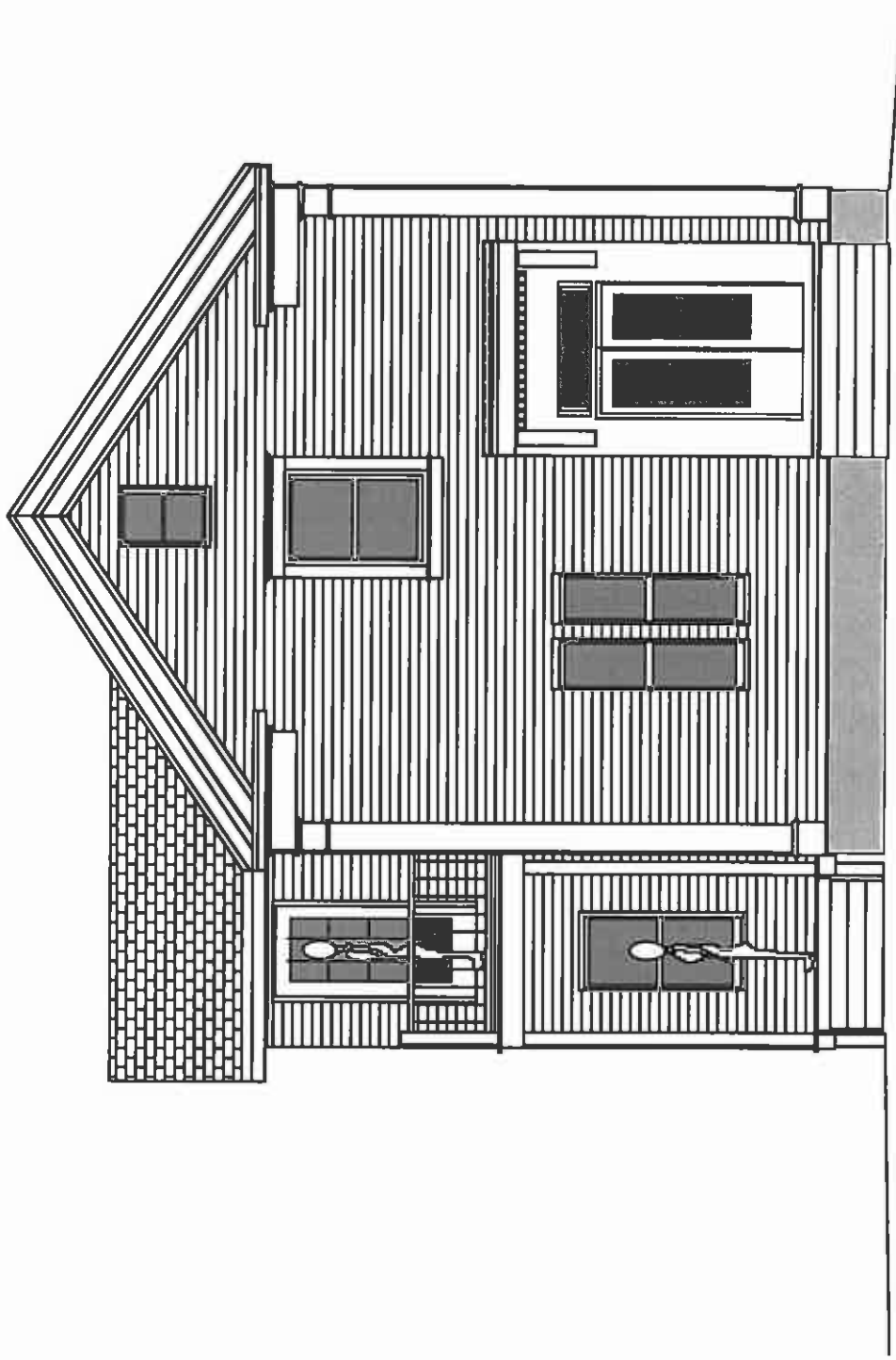
Date: May 10, '11

Drawing: 12 Vesper Street - South Elevation, Existing

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Drawing:

12 Vesper Street - East Elevation, Proposed

Date:

May 10, '11

Scale:

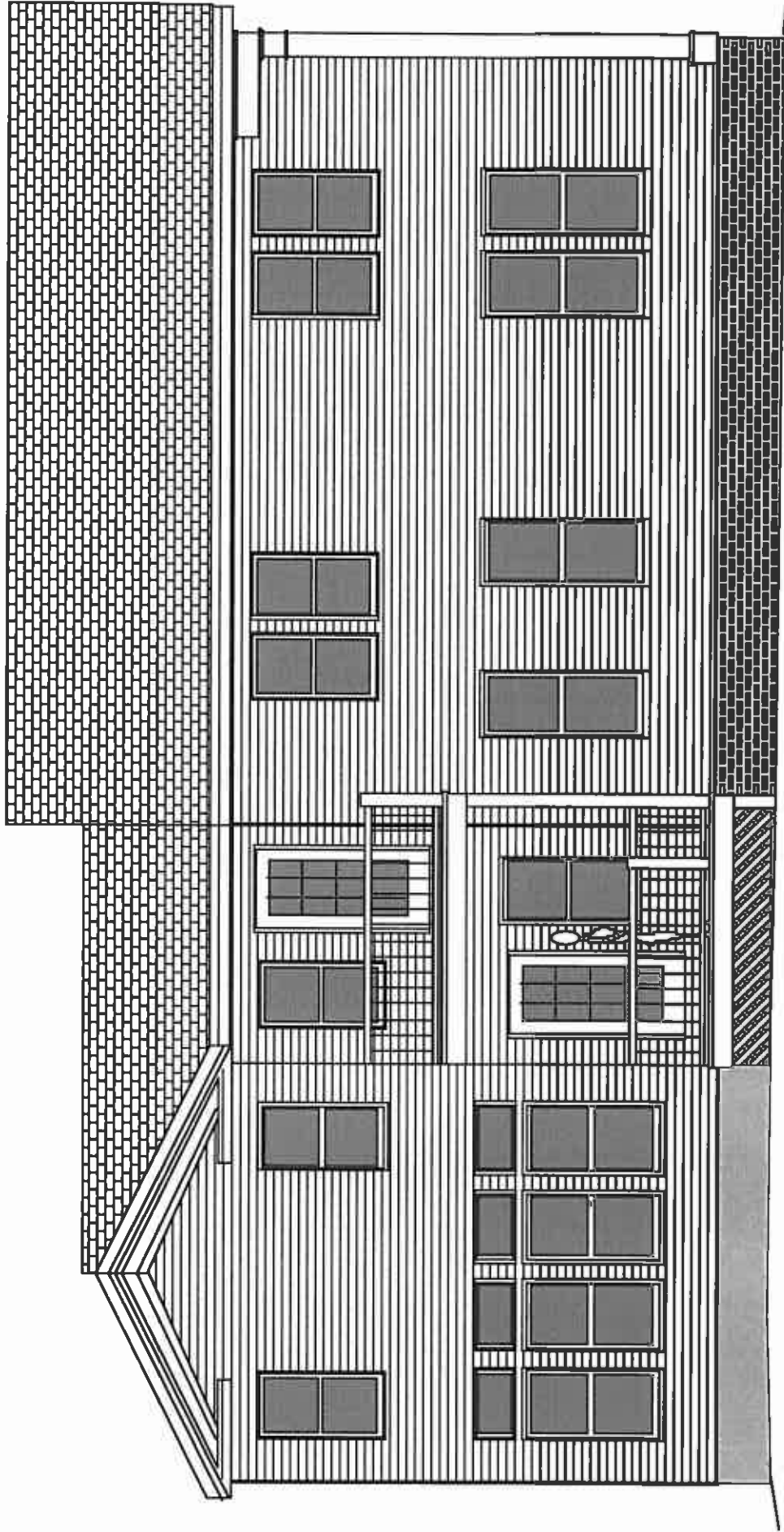
1" = 6'

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12 Vesper Street - South Elevation, Proposed

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1" = 6'

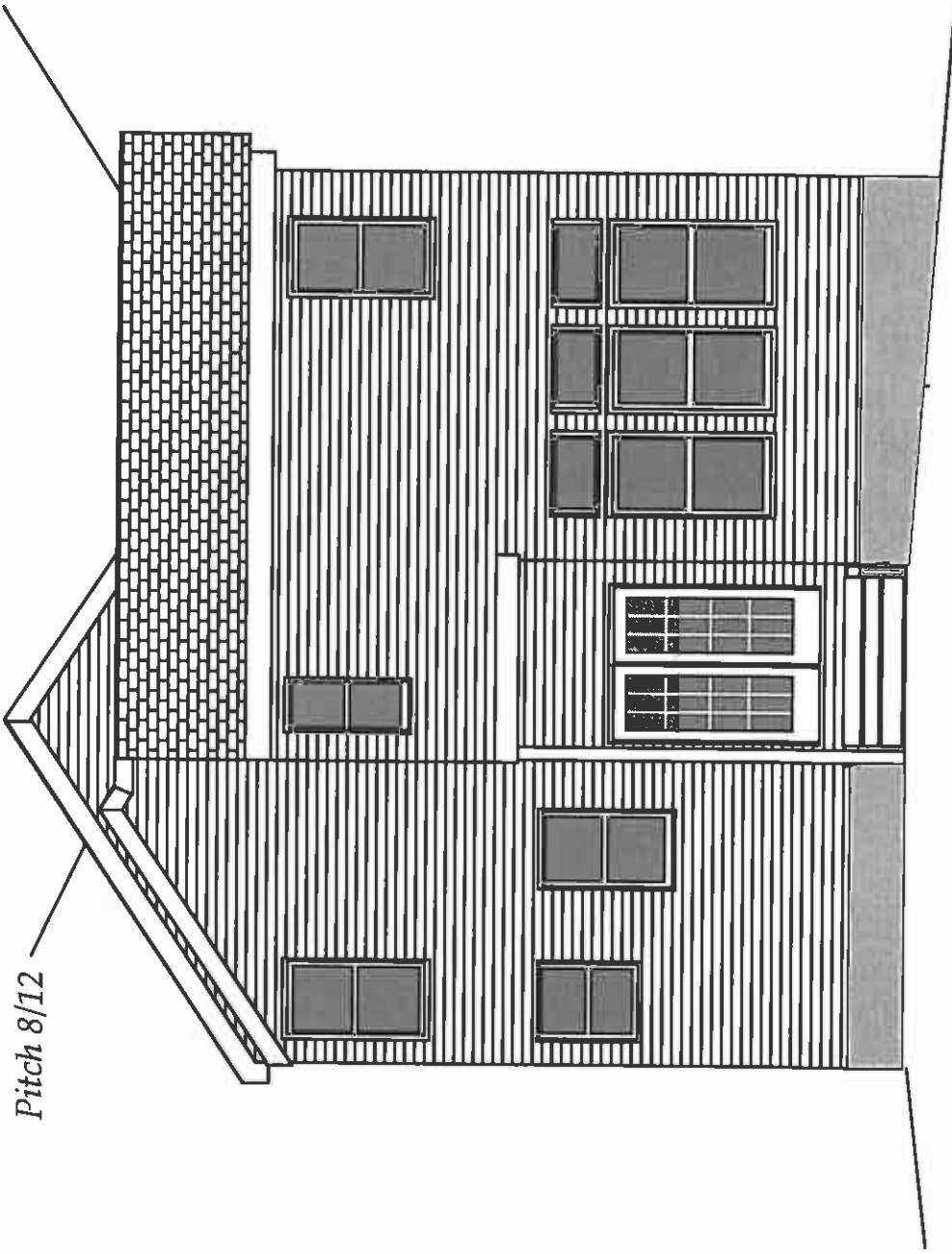
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Pitch 6/12



Pitch 8/12

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Drawing: 12 Vesper Street - West Elevation, Proposed

Date: May 10, '11

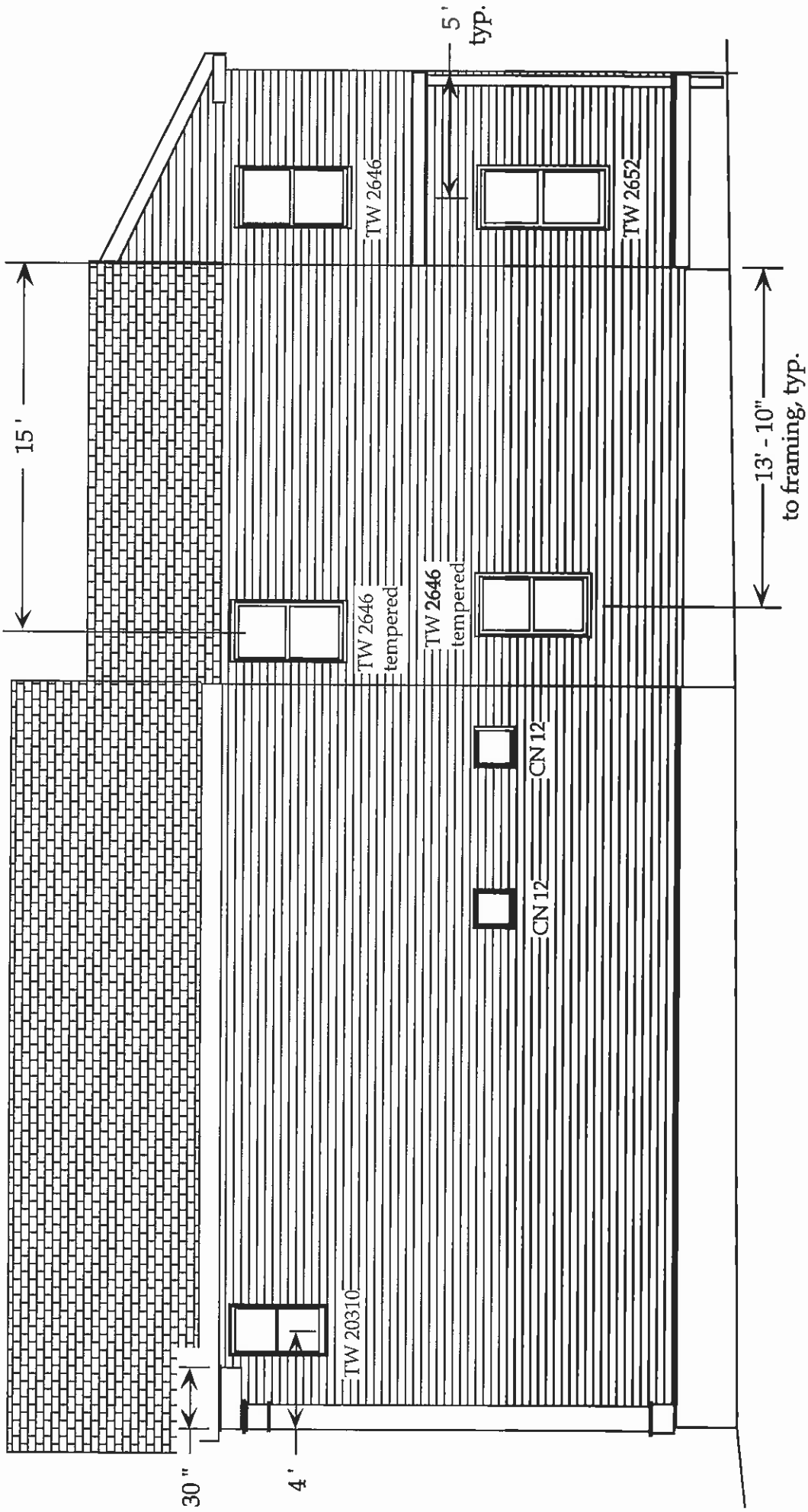
Scale: 1" = 6'

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Drawing:

12 Vesper Street - North Elevation

Date:

May 10, '11

Scale:

1" = 6'

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Renovate existing structure

General Demolition

1. Demo. interior finish, wiring & plumbing (Note: save molded window & door trim, and doors for possible reuse. Front stairs & front doors to be retained and protected from damage.)
2. Remove interior wood wall sheathing and existing kitchen constructed in rear of house
3. Demo. unused, nonstructural, interior walls per Floor Plan drawing (Note: structure under front stairs to be examined after finish is removed, before demolition of this structure for bathroom framing)

Heating System

1. Remove chimney, remove/replace heating system w/ direct vent, forced hot water (radiator locations To Be Determined)

Roof Reconstruction

1. Demo. roof, rebuild raised roof per drawings, install pull down stair in 2nd floor hallway
2. Northwest wall to be Fire Separation Wall, 1 hr. Rated construction

Rear Stair Demolition / Reconstruction

1. Remove rear stairway, reframe floor, support with post to footing in cellar floor. Rebuild stair, framing, interior finish. Drawings to be provided

Construction

1. Build interior walls per drawings.
2. Install girders in bearing walls, per drawings, support through floor to posts, on 24 x 24 x 8" footings in cellar
3. Install headers in non-bearing walls, per drawings
4. Install new wiring system, per drawings to be provided
5. Rough-in new plumbing and wiring per drawing
6. Sprinkler system per Portland Code, sprinkler head required over each window on northwest wall
7. Insulate exterior walls, existing cellar walls, and roofs with closed cell spray foam. (**Note:** exposed foam in cellar to be fire retardant or have fire retardant coating.)
8. Install new windows (Andersen 400 or equiv.), close-in unused window openings, per drawings
9. Northwest wall of structure to be Fire Separation Wall, 1 hr. Rated construction per Portland Code
10. Install GWB in front section of house, edge & center bead in rear of house and trim, per drawings

Construct Addition

1. Build 2 story addition with porches and entry per drawings

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Drawing:

12 Vesper Street - Project Scope

Date:

May 10, '11

Scale:

1" = 6'

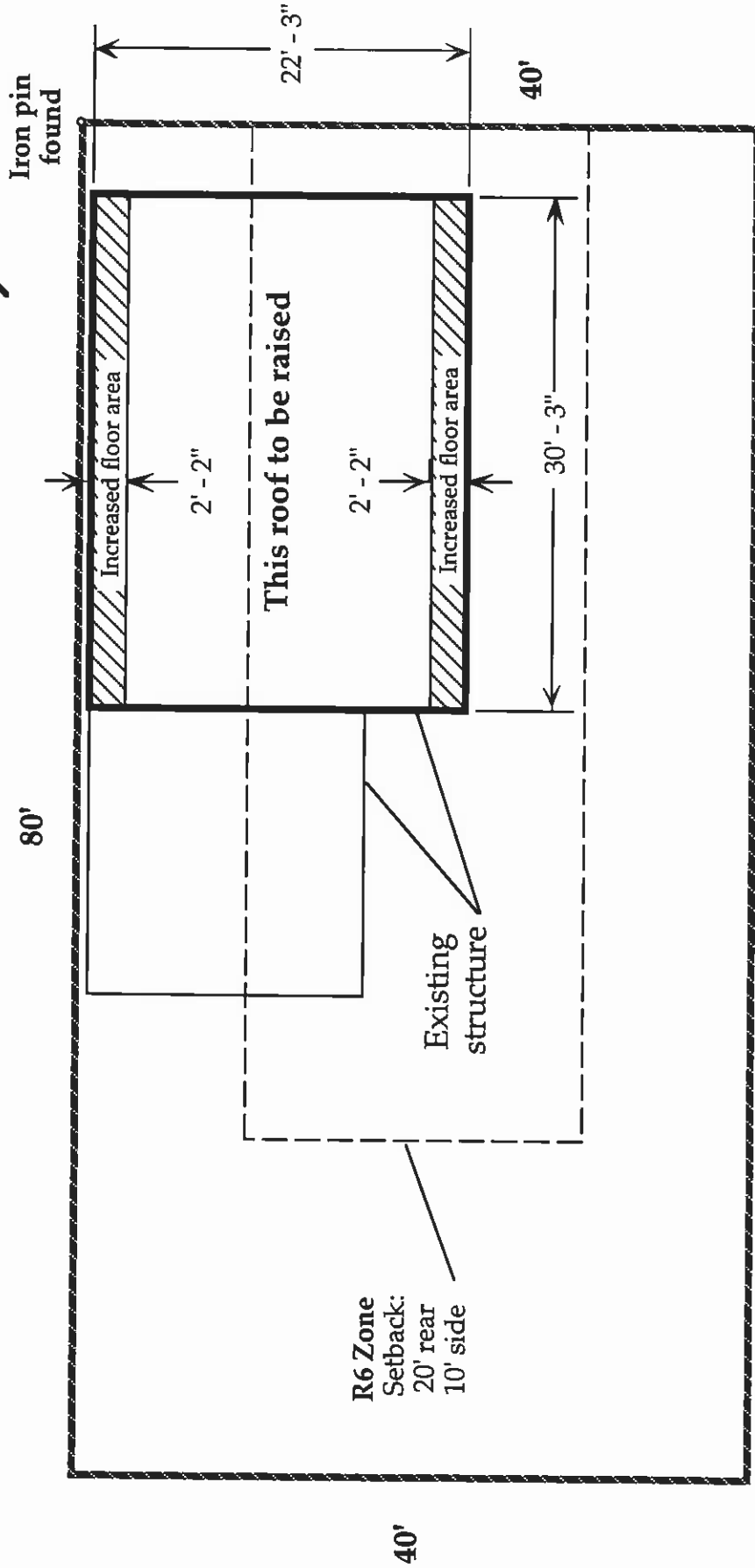
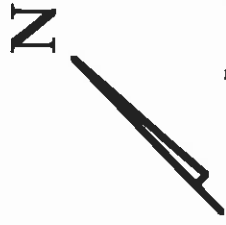
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Existing structure, ground floor = 949.5 sqft. total area
 Max. floor area increase allowed = 80% x 949.5 = 759.6 sqft. increased area allowed
 Proposed floor area increase = 2' - 2" x 30' - 3" x 2 = 131.1sqft proposed increase



80'

Owner:
 Amy Alward
 20 Morning Street
 Portland, ME 04010
 207-767-3334
 CBL 003 K006001

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Drawing: 12 Vesper Street - Increased Volume Worksheet, Plan

Date: May 10, '11

Scale: 1" = 10'

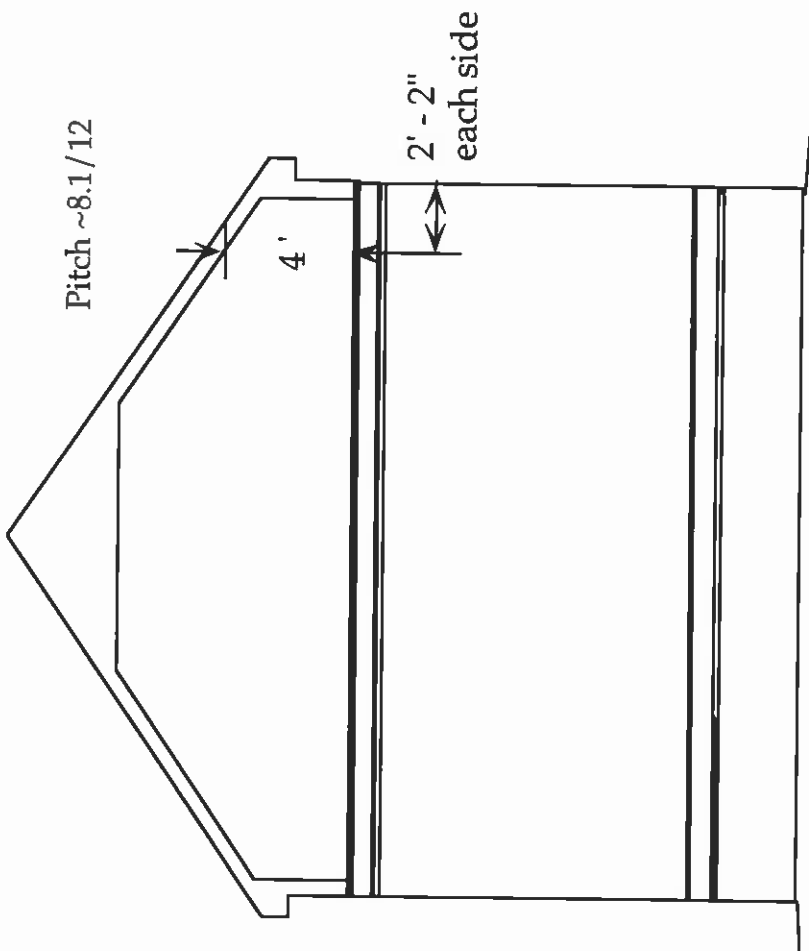
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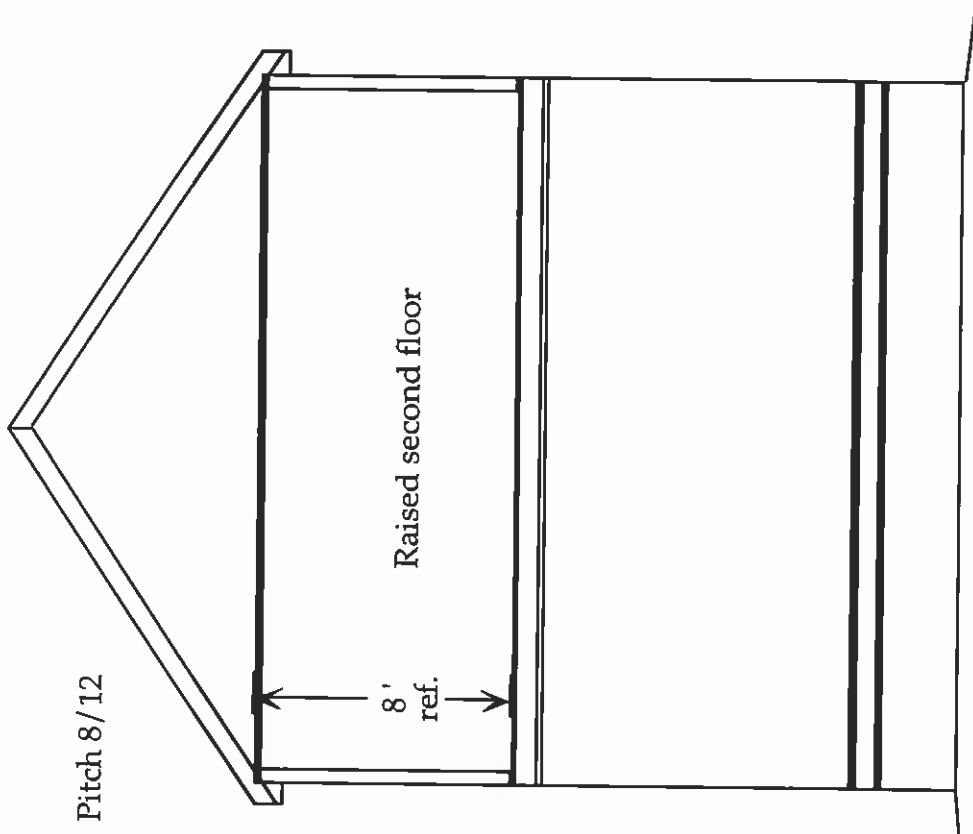
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Vesper Street



Existing Section

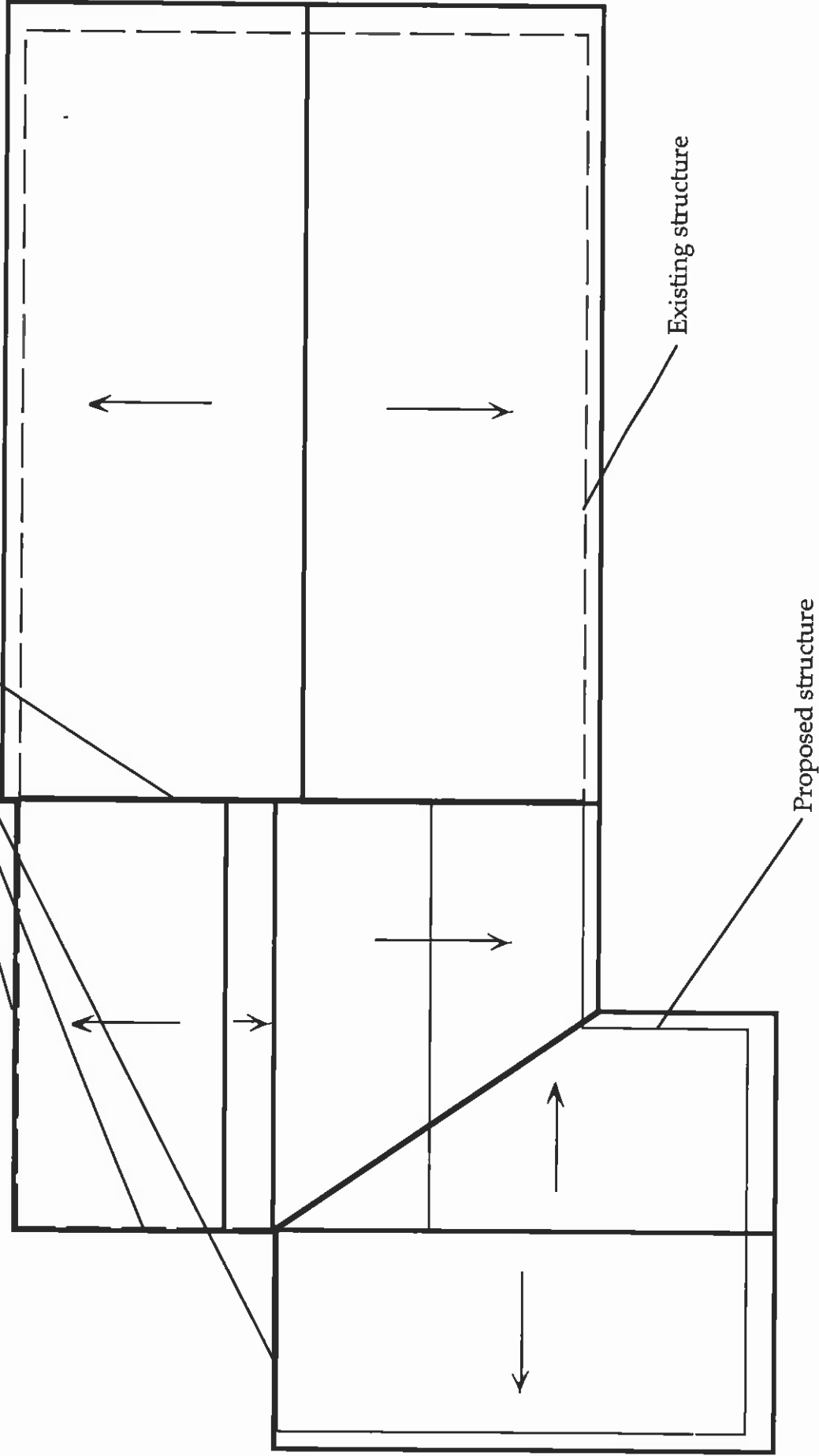


Proposed Section

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Drawing: 12 Vesper Street - Increased Volume Worksheet, Sections
 Date: May 10, '11
 Scale: 1" = 6'

Note: No overhang,
fascia trim only



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Drawing:

12 Vesper Street - Roof Plan

Date:

May 10, '11

Scale:

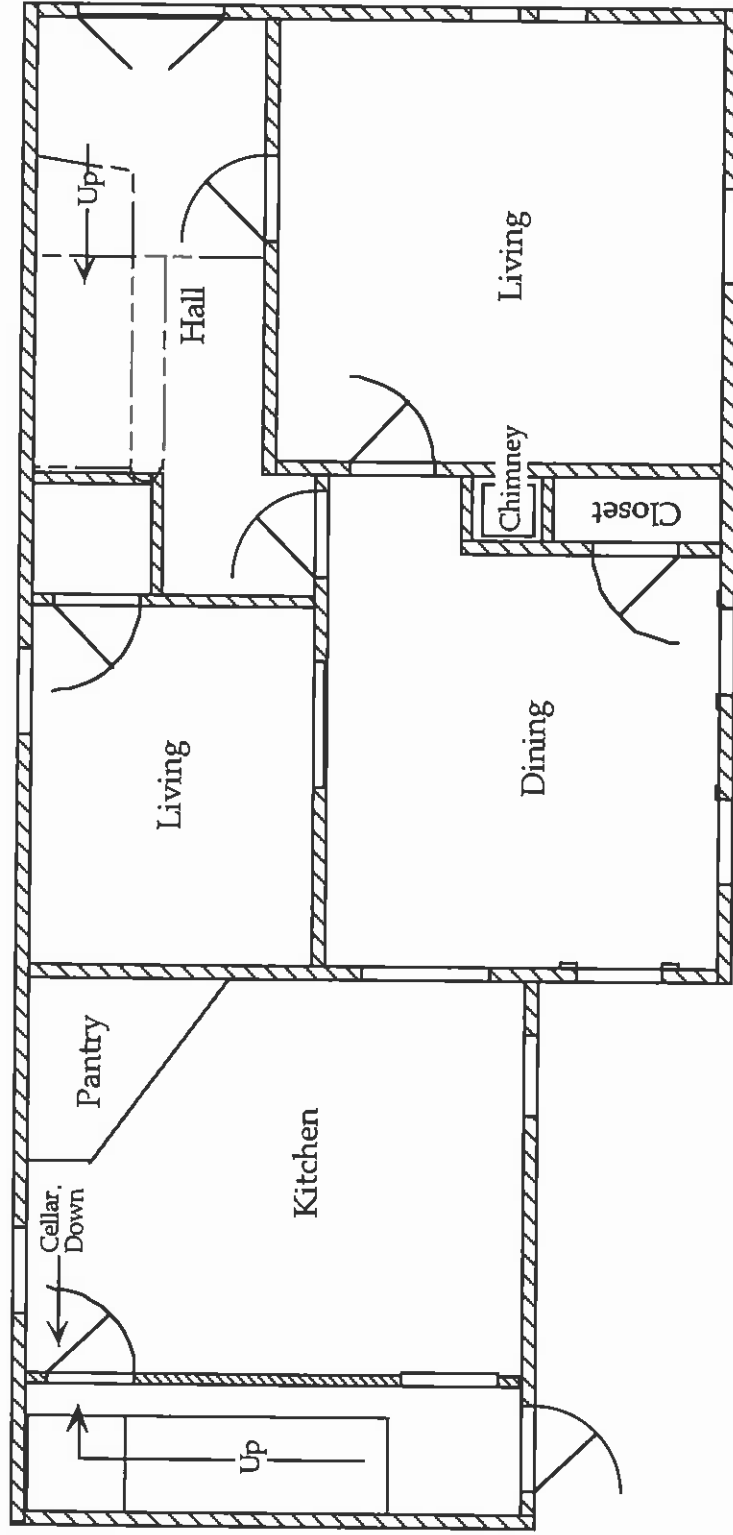
1" = 6'

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Drawing:

12 Vesper Street - First Floor Plan, Existing

Date: May 10, '11

Scale:

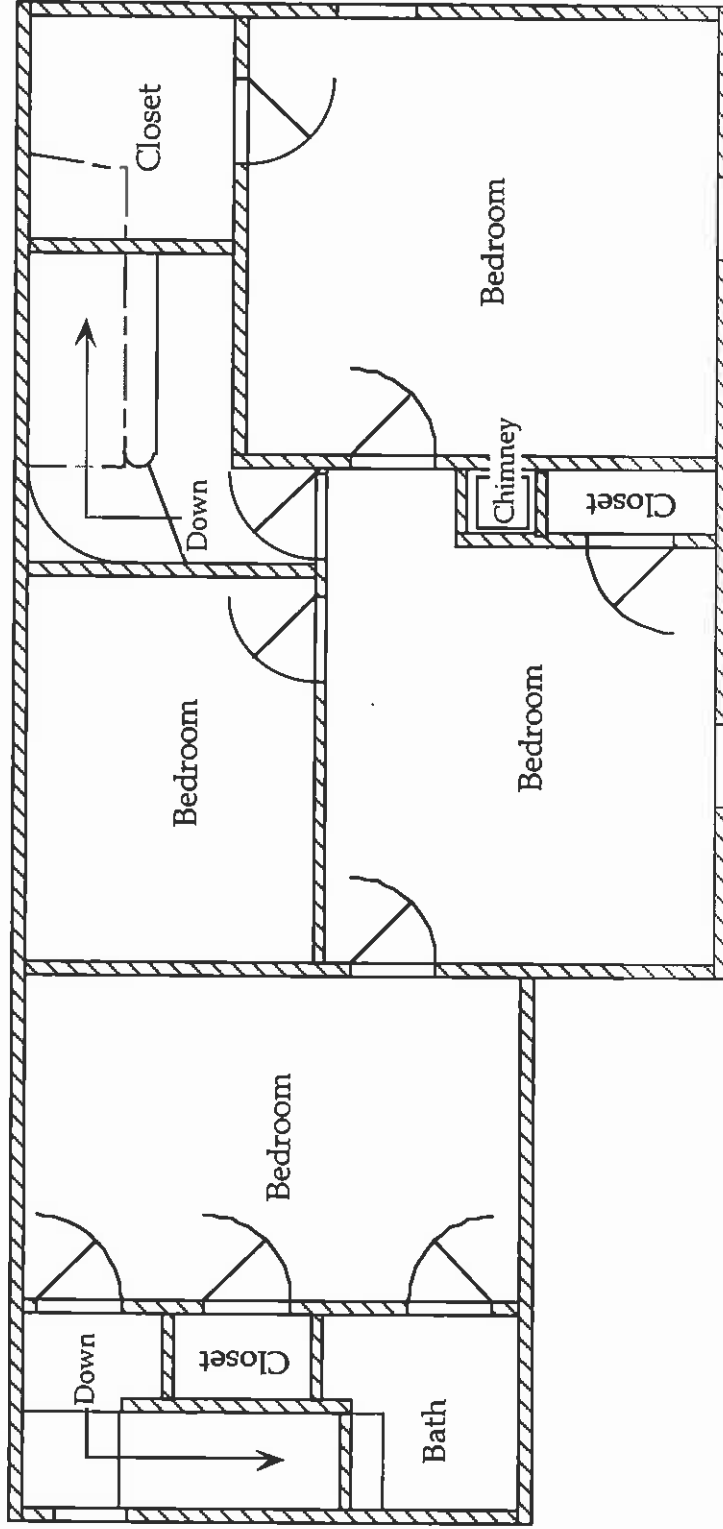
1" = 6'

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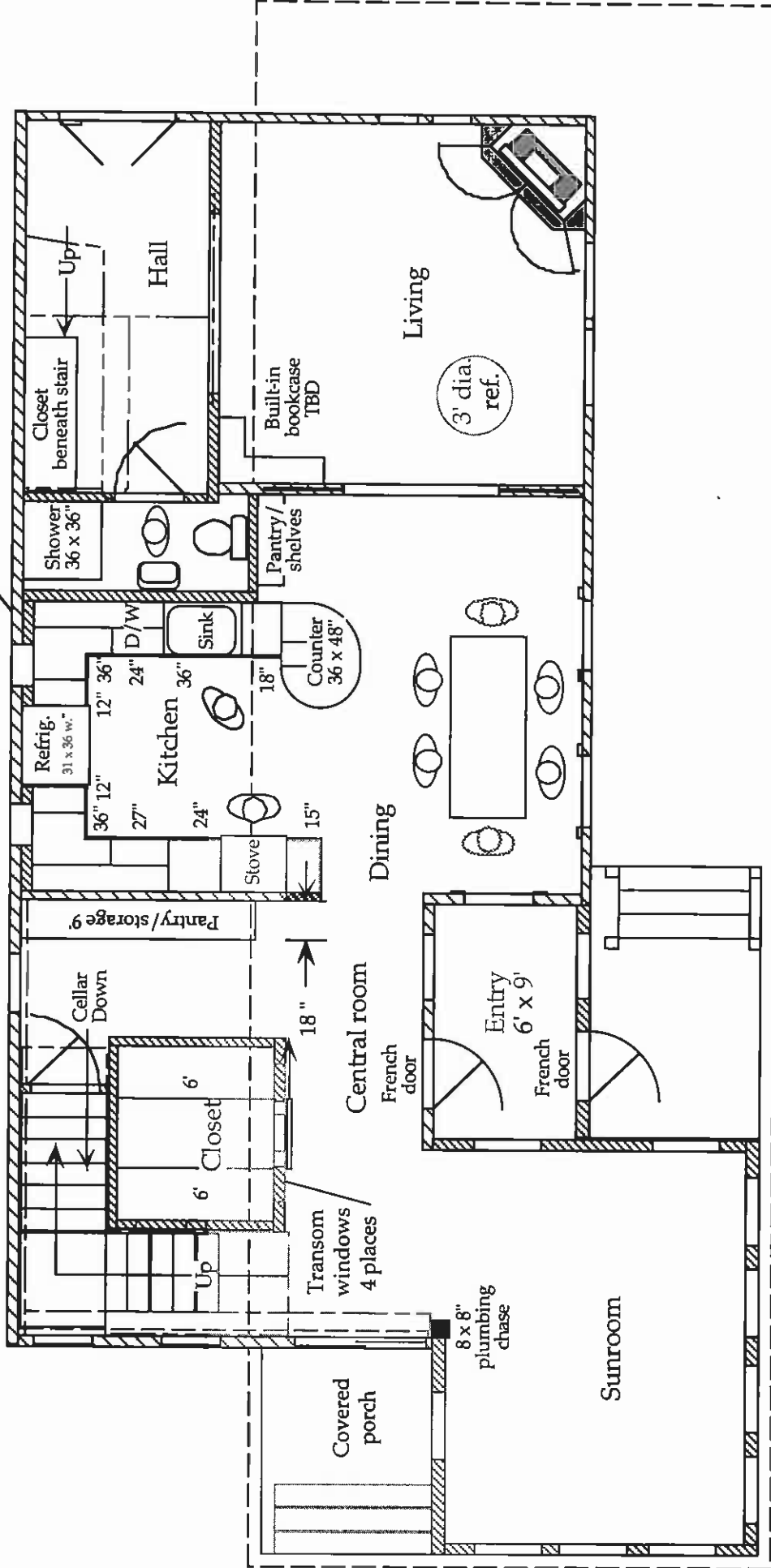


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Drawing: 12 Vesper Street - Second Floor Plan, Existing Date: May 10, '11 Scale: 1" = 6'

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Fire Separation Wall, 1 hr. rated, two sides, this side of structure



▨ Existing walls

▨ Proposed walls

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Drawing:

12 Vesper Street - First Floor Plan

Date: May 10, '11

Scale:

1" = 6'

Whole Home Resource

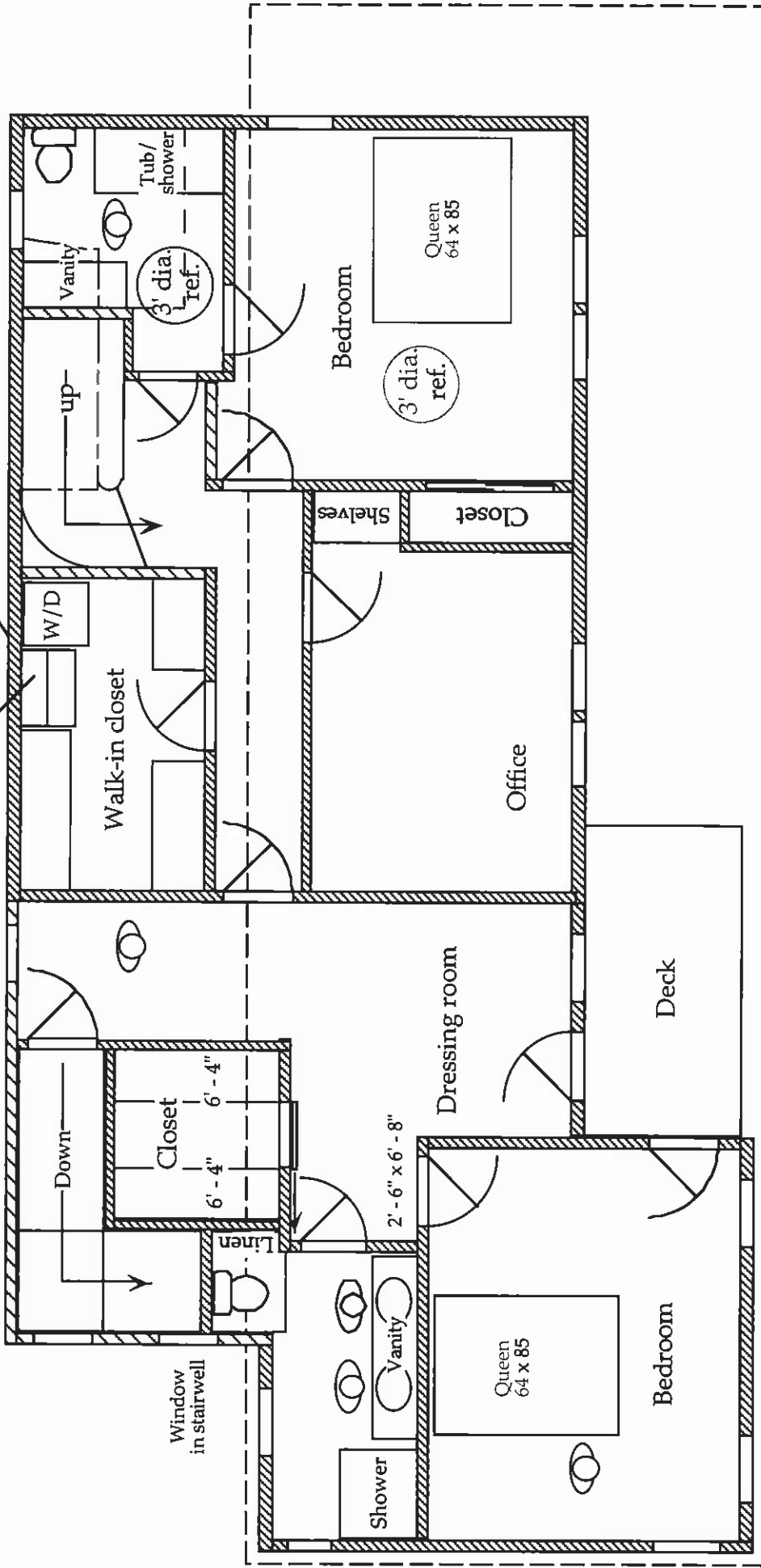
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Fire Separation Wall, 1 hr. rated, two sides, this side of structure

Counter/cabinets



Existing walls

Proposed walls

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Drawing:

12 Vesper Street - Second Floor Plan

Date:

May 10, '11

Scale:

1" = 6'

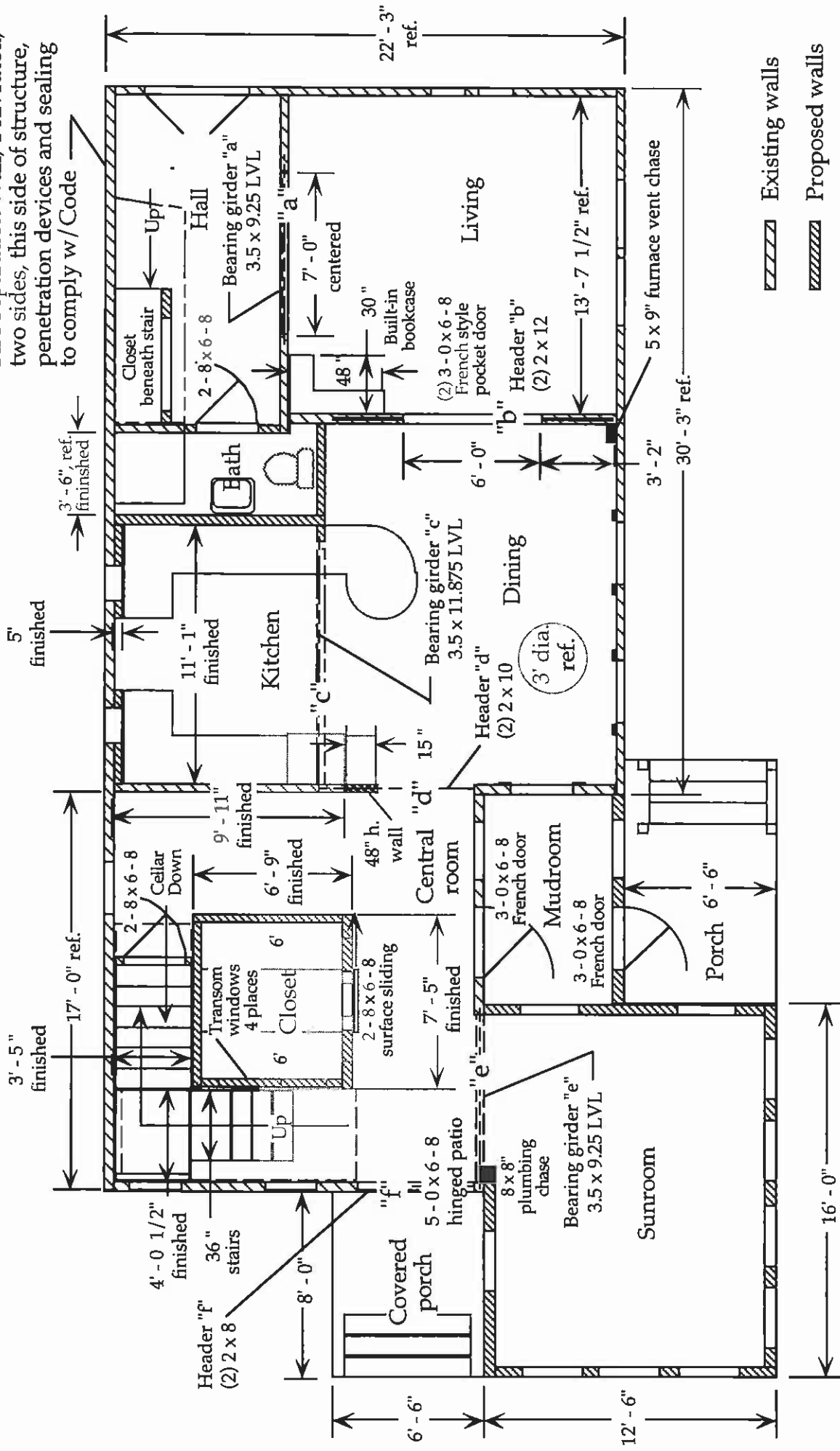
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Fire Separation Wall, 1 hr. rated, two sides, this side of structure, penetration devices and sealing to comply w/Code



Existing walls
Proposed walls

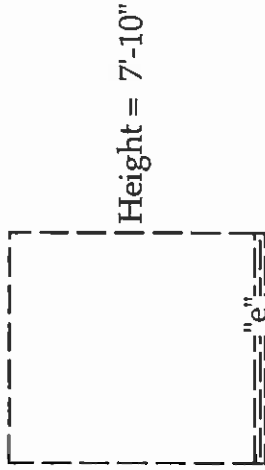
Note: Sprinkler system throughout to meet Portland Code, sprinkler head req'd at each window in Fire Separation Wall

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Drawing: 12 Vesper Street - First Floor Dimensions Date: May 10, '11 Scale: 1" = 6'

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Girder "e"



2nd floor
 live = 40 lb/sqft x 7.83' = 313.2 lb/linft
 dead = 14.5 lb/sqft x = 113.5 lb/linft

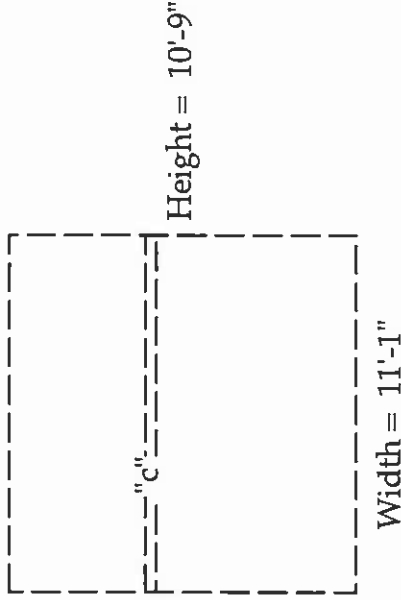
Roof
 live = 50 lb/sqft x 7.83' = 391.5 lb/linft
 dead = 8.5 lb/sqft x 9.25' = 78.6 lb/linft
 length, roof = 9' - 4"

2nd floor ceiling
 live = 20 lb/sqft x 7.83' = 156.6 lb/linft
 dead = 11.5 lb/sqft x 7.83' = 90 lb/linft

Exterior wall = 18 lb/sqft x 8' = 144 lb/linft

live = 861 lb/linft
 dead = 426.1 lb/linft
 Total = 1287.1 lb/linft

Girder "c"



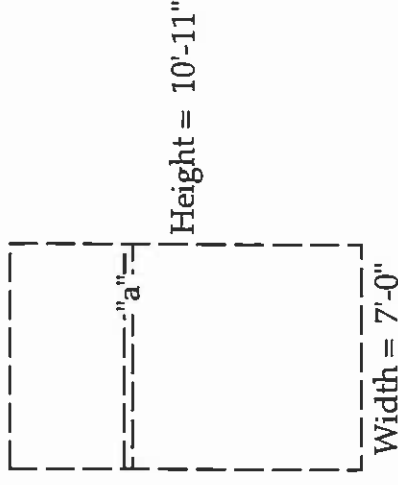
2nd floor
 live = 40 lb/sqft x 10.75' = 430 lb/linft
 dead = 14.5 lb/sqft x 10.75' = 155.9 lb/linft

2nd floor ceiling
 live = 20 lb/sqft x 10.75' = 215 lb/linft
 dead = 11.5 lb/sqft x 10.75' = 123.6 lb/linft

Interior wall =
 dead = 20 lb/sqft x 10.75' = 215 lb/linft

live = 645 lb/linft
 dead = 495.5 lb/linft
 Total = 1139.5 lb/linft

Girder "a"



2nd floor
 live = 40 lb/sqft x 10.92' = 436.8 lb/linft
 dead = 14.5 lb/sqft x 10.92' = 158.3 lb/linft

2nd floor ceiling
 live = 20 lb/sqft x 10.92' = 218.4 lb/linft
 dead = 11.5 lb/sqft x 10.92' = 125.6 lb/linft

Interior wall =
 dead = 20 lb/sqft x 10.92' = 218.4 lb/linft

live = 655.2 lb/linft
 dead = 502.3 lb/linft
 Total = 1157.5 lb/linft

3.5 x 9.25 GP Lam LVL (1446 lb/linft rated) 3.5 x 11.875 GP Lam LVL (1328 lb/linft rated) 3.5 x 9.25 GP Lam LVL (1398 lb/linft rated)

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Drawing:

12 Vesper Street - Girder Worksheet, First Floor

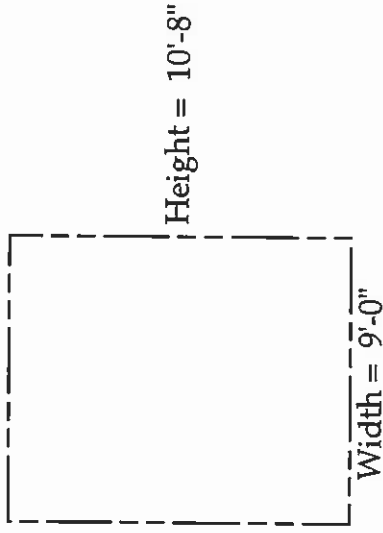
Date:

May 10, '11

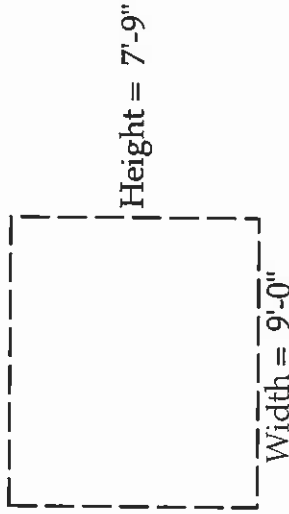
Scale:

None

Girder "g"



Gable roof
live = $50 \text{ lb/sqft} \times 10.66' = 533 \text{ lb/linft}$
dead = $8.5 \text{ lb/sqft} \times 10.66 = 90.6 \text{ lb/linft}$
2nd floor ceiling
dead = $6.5 \text{ lb/sqft} \times 10.66' = 69.3 \text{ lb/linft}$



Shed roof
live = $50 \text{ lb/sqft} \times 7.75' = 387.5 \text{ lb/linft}$
dead = $8.5 \text{ lb/sqft} \times 7.75 = 66.7 \text{ lb/linft}$
Total = 1147.1 lb/linft

3.5 x 11.25 GP Lam LVL (1398 lb/linft rated)

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Drawing:

12 Vesper Street - Girder Worksheet, Second Floor

Date: May 10, '11

Scale: None

Whole Home Resource

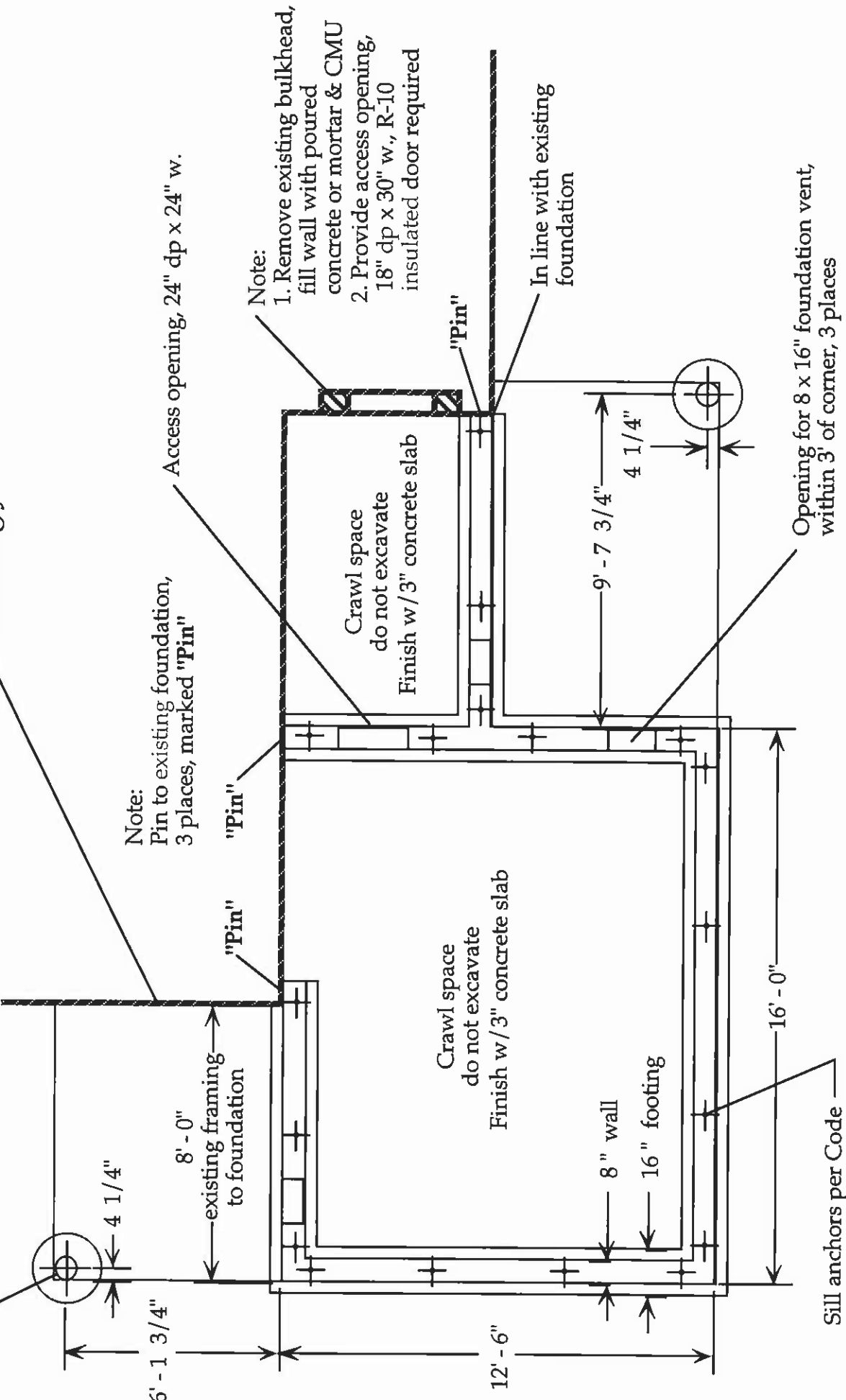
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Pier:
Concrete, steel reinforced,
8" dia, 24" dia footing, w/HD
galvanized post anchor, 2 places

Existing foundation



Note:
Pin to existing foundation,
3 places, marked "Pin"

Note:

1. Remove existing bulkhead, fill wall with poured concrete or mortar & CMU
2. Provide access opening, 18" dp x 30" w., R-10 insulated door required

Access opening, 24" dp x 24" w.

Crawl space
do not excavate
Finish w/3" concrete slab

Crawl space
do not excavate
Finish w/3" concrete slab

In line with existing
foundation

Opening for 8 x 16" foundation vent,
within 3' of corner, 3 places

Sill anchors per Code

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Drawing:

12 Vesper Street - Foundation Plan, Addition

Date: May 10, '11

Scale:

1" = 4'

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Existing structure

Note:
3/4" hardwood flooring to be installed over existing flooring

14 7/8" finished floor to top of foundation

2' min. to 3" slab

8" dp. footing, pin or key to wall

Grade
4' - 0" min. grade to footing

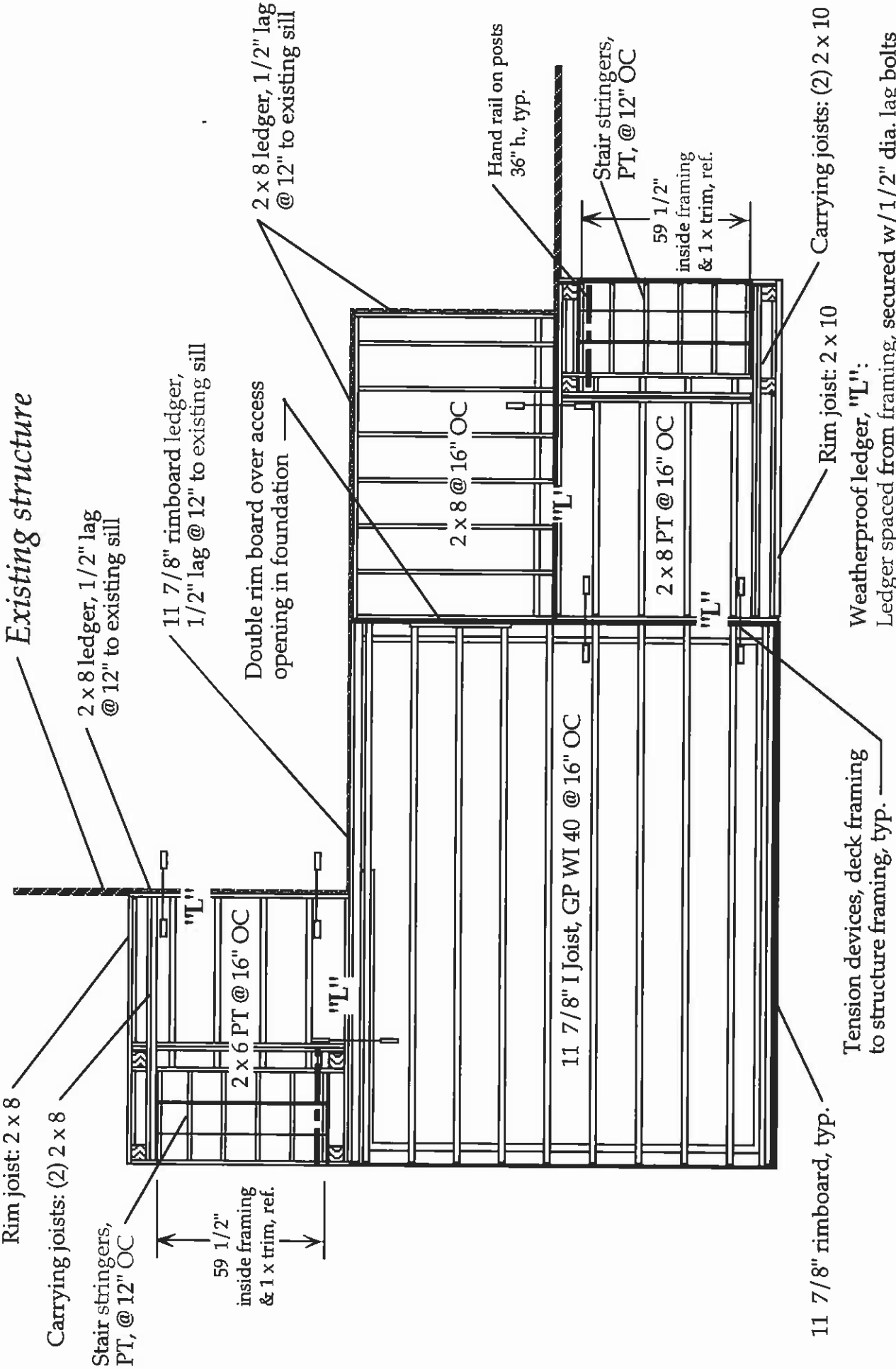
Foundation:
Sill anchor: 1/2" bolt or strapping, spacing per Code
Wall: 8" thk. concrete, steel reinforce, pin and bond to existing wall, openings per drawing
Footing: 8" dp. x 16" w., concrete, steel reinforce, pin or key to existing wall
Floor: 3" concrete, 6 mil polyethylene vapor barrier beneath

Pier: 8" dia, "Bigfoot", or equiv., 2 places

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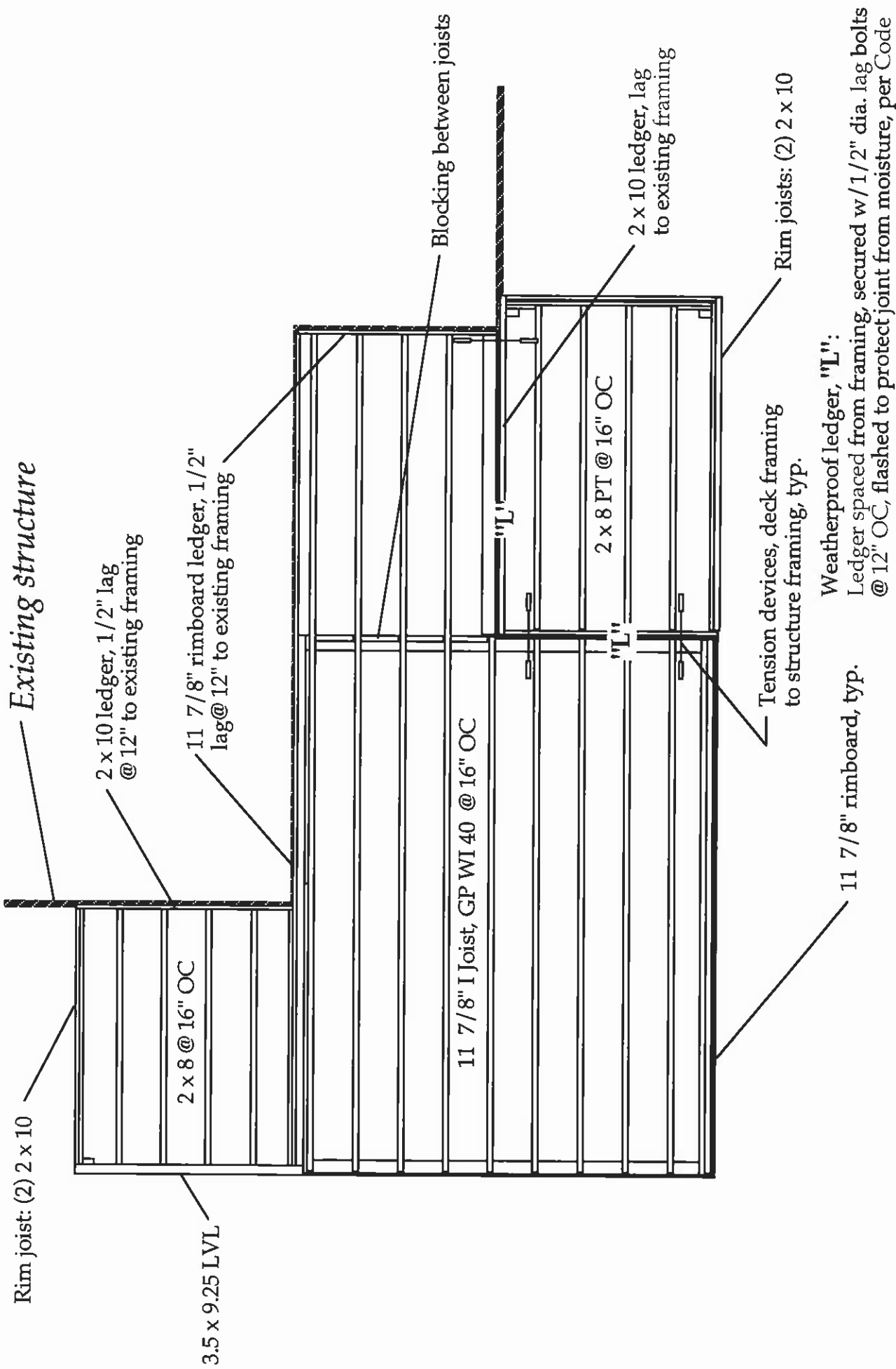
Drawing: 12 Vesper Street - Foundation Elevation, Addition Date: May 10, '11 Scale: 1" = 4'

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Drawing:	12 Vesper Street - Framing Plan, Addition, First Floor	Date:	May 10, '11	Scale:	1" = 4'
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Drawing: 12 Vesper Street - Framing Plan, Addition, Second Floor Date: May 10, '11 Scale: 1" = 4'

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Weatherproof ledger, "L":
Ledger spaced from framing, secured w/1/2" dia. lag bolts @ 12" OC, flashed to protect joint from moisture, per Code

Tension devices, deck framing to structure framing, typ.

Rim joists: (2) 2 x 10

2 x 10 ledger, lag to existing framing

Blocking between joists

11 7/8" rimboard ledger, 1/2" lag @ 12" to existing framing

2 x 10 ledger, 1/2" lag @ 12" to existing framing

Existing structure

Rim joist: (2) 2 x 10

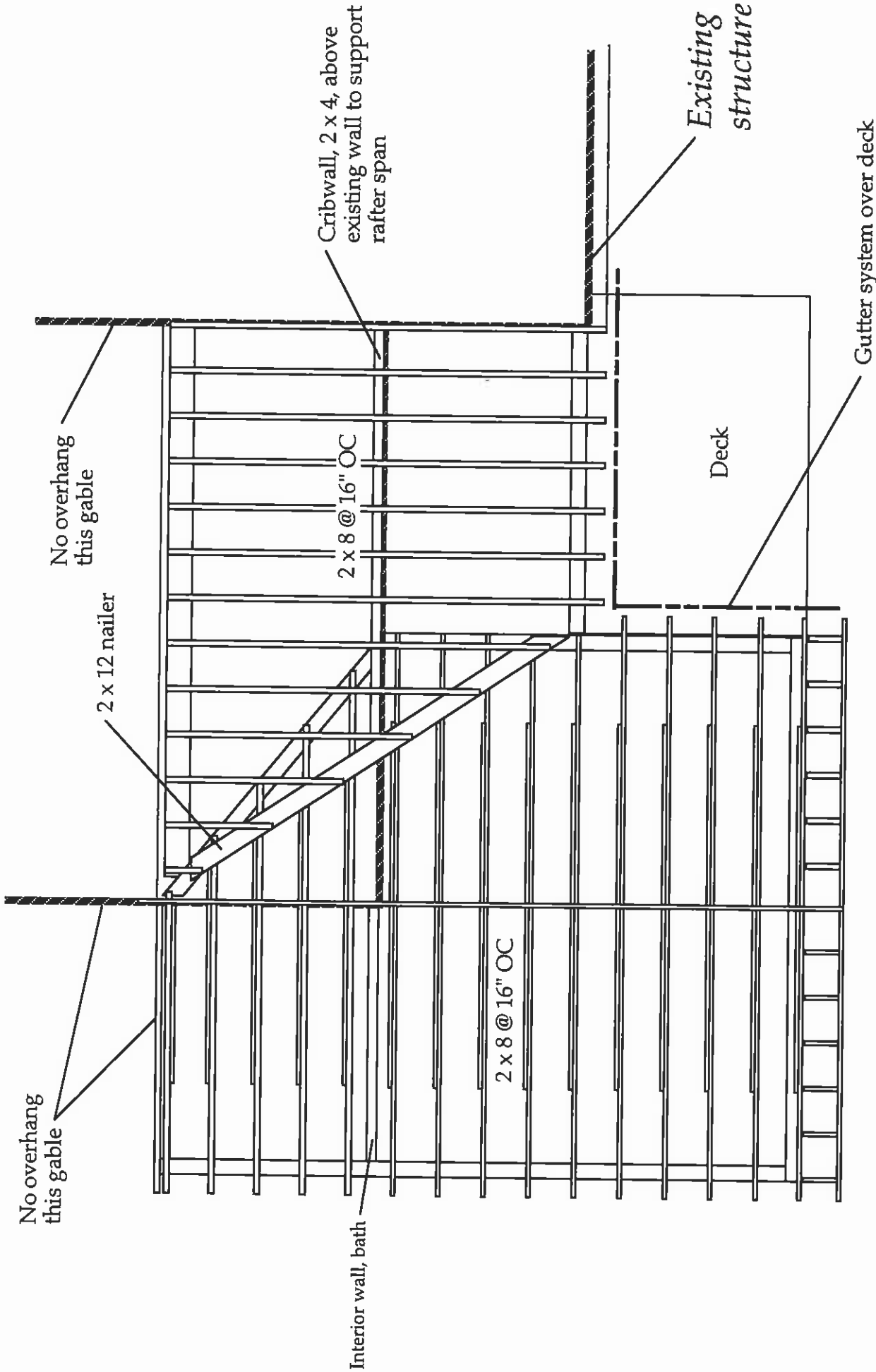
2 x 8 @ 16" OC

11 7/8" I Joist, GP WI 40 @ 16" OC

2 x 8 PT @ 16" OC

11 7/8" rimboard, typ.

3.5 x 9.25 LVL



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Drawing: 12 Vesper Street - Framing Plan, Addition, Roof

Date: May 10, '11

Scale: 1" = 4'

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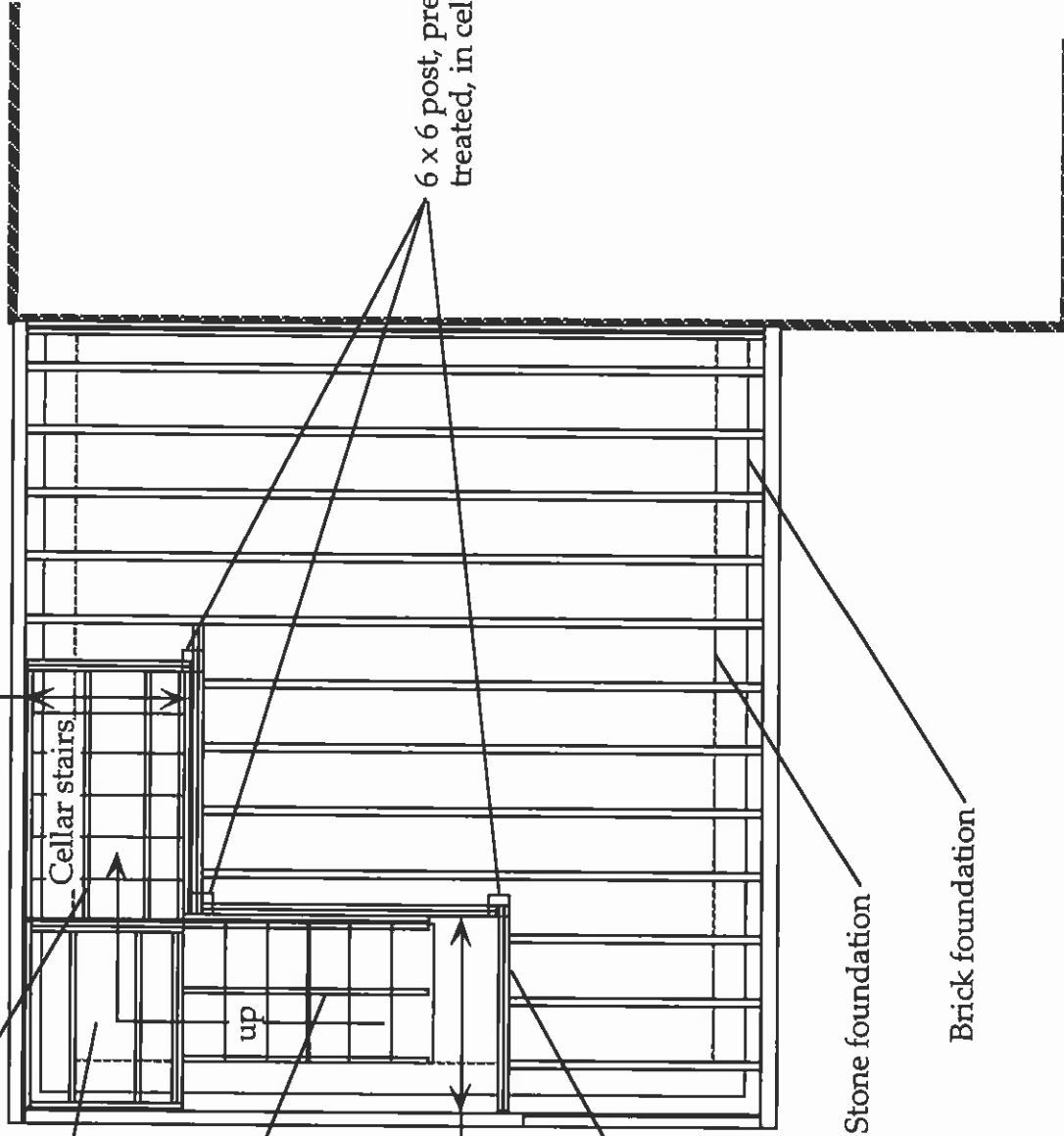
(4) 2 x 12 stringers, typ. 42" ref.

Landing

(3) 2 x 12 stringers

49.5" ref.

(2) 2 x 10 double joist all around stairwell



6 x 6 post, pressure treated, in cellar, 3 places

Stone foundation

Brick foundation

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Drawing:

12 Vesper Street - Framing, Renovation, First Floor

Date:

May 10, '11

Scale:

1" = 4'

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(4) 2 x 12 stringers, typ.
42" ref.

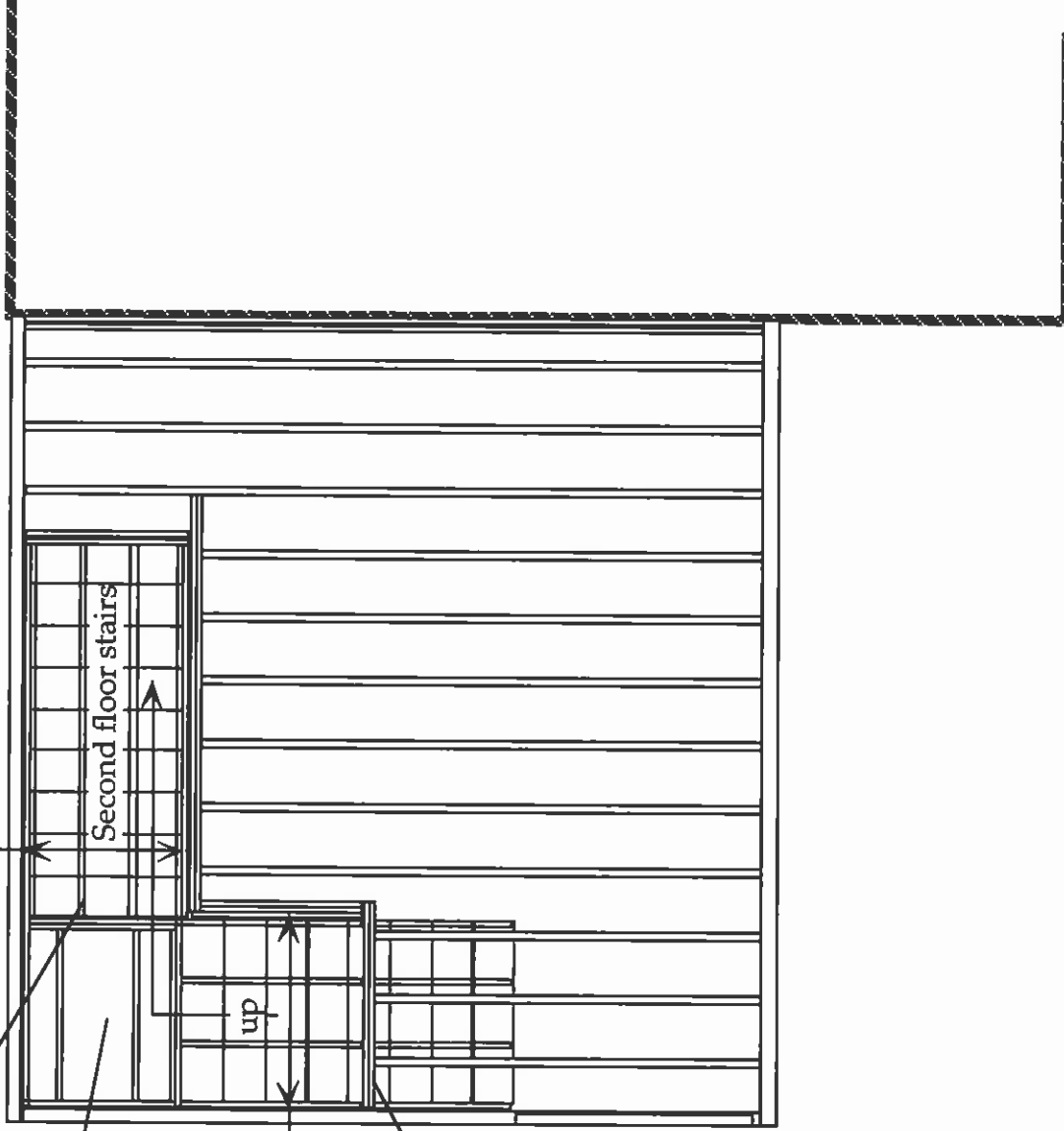
Landing

Second floor stairs

up

49.5"
ref.

(2) 2 x 10 double joist
all around stairwell



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Drawing:

12 Vesper Street - Framing, Renovation, Second Floor

Date: May 10, '11

Scale:

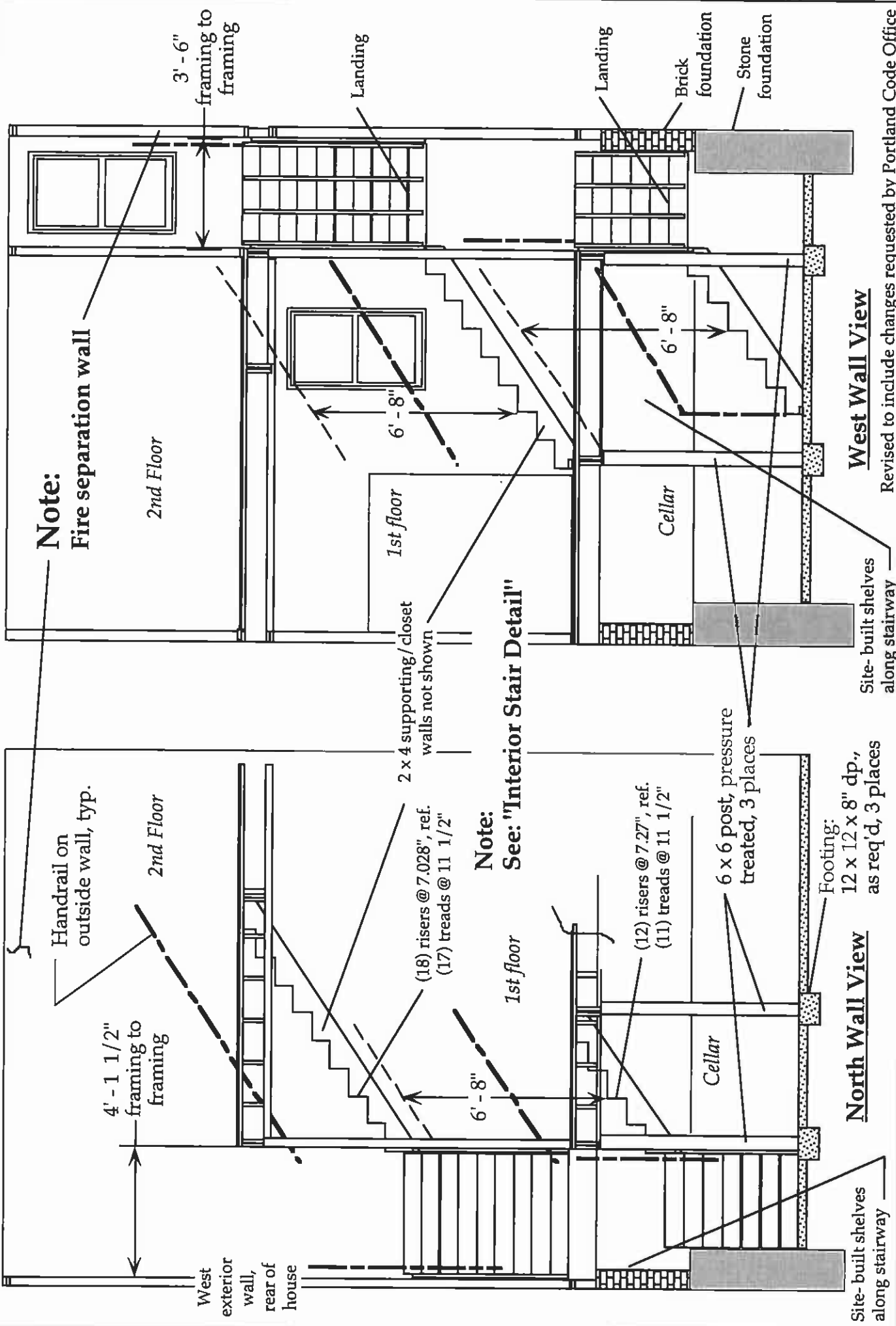
1" = 4'

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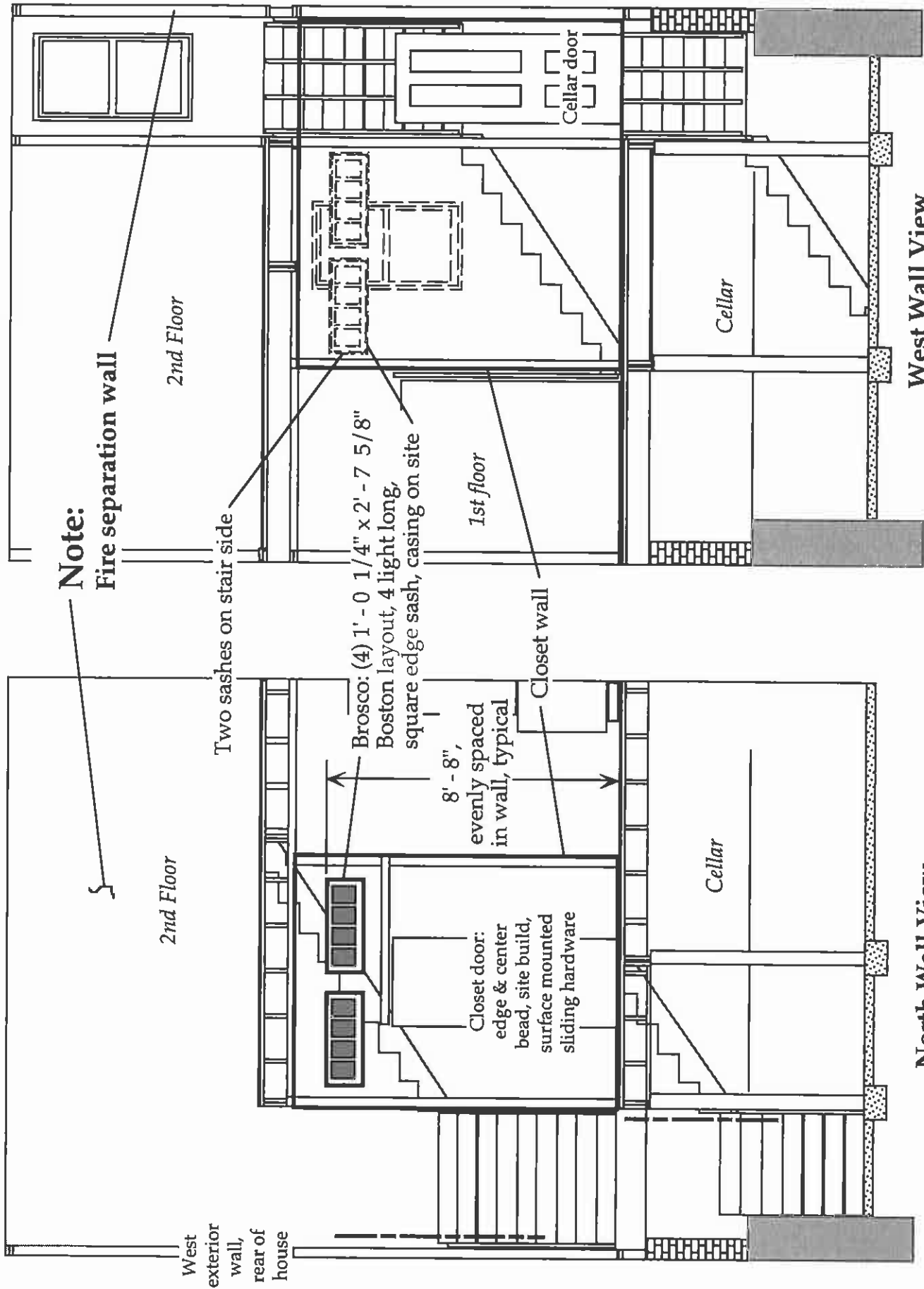
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Drawing: 12 Vesper Street - Stair Framing Views, Renovation

Date: May 10, '11

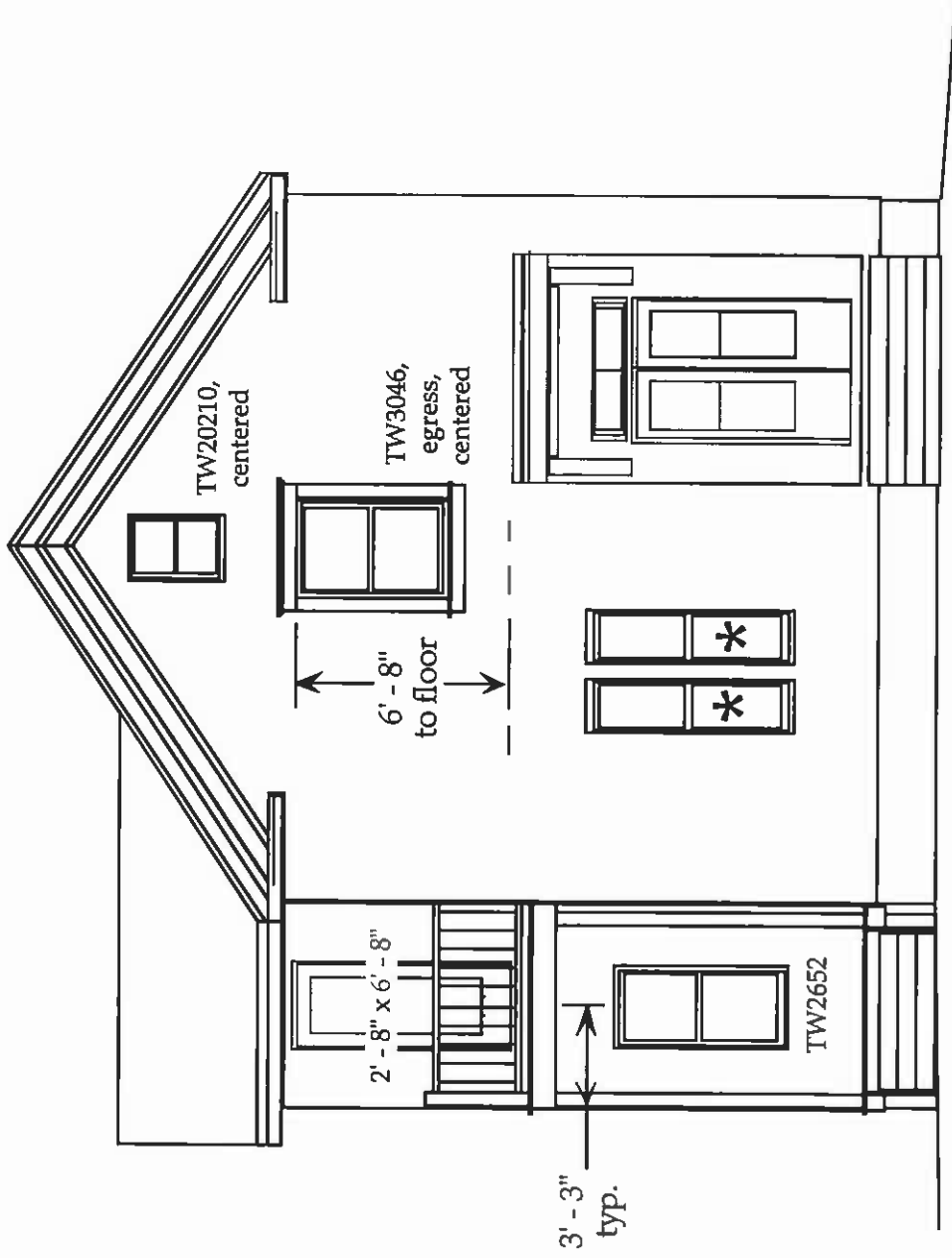
Scale: 1" = 4'



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Date: May 10, '11
 Scale: 1" = 4'

Drawing: 12 Vesper Street - Closet View, First Floor



* Replacement windows
in existing framing

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Drawing: 12 Vesper Street - East View

Date: May 10, '11

Scale: 1" = 6'

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Roof:

Covering: asphalt shingles,
bituthane membrane all over
Sheathing: 5/8 CDX plywood, or equiv. OSB
Insulation: closed cell spray foam, R-49,
underside of roof
Rafter: 2 x 8 @ 16" OC
Ridge board: 2 x 10
Rafter tie: 2 x 8 @ 16" OC
Attic floor: 3/4 AdvanTec, or equiv.
Trim, exterior: See: "Fascia Trim Detail"

**Note:
Insulation and seam sealing per IEEC 2009**

Wall, exterior, raised, except NW wall:
Siding: Cedar clapboards
Trim: See "Fascia Trim Detail"
Vapor barrier, nonwoven membrane,
bituthane tape around openings
Sheathing: 1/2" CDX plywood, or equiv. OSB,
align with existing sheathing
Studs: 2 x 6" @ 16" OC
Insulation: closed cell spray foam, R-20
Finish: 1/2" GWB, 1 x trim

Confirm structure width
for rafter/truss construction

Wall, exterior, existing, except NW wall:
Siding: Cedar clapboards
Trim: See "Fascia Trim Detail"
Vapor barrier, nonwoven membrane,
bituthane tape around openings
Insulation: closed cell spray foam, R-20
Finish, first floor: 1/2" GWB, 1 x trim

**Fire Separation Wall, 1 hr. construction,
two sides, penetrations sealed per Code**

Wall, Fire Separation, exterior, 1st & 2nd floor:
1 hour construction, two sides, per ASTM 119
Siding: Cedar clapboards
Sheathing, exterior: 5/8 type "X" gypsum sheathing
Framing:
First floor (U 305), 2 x 4 @ 16" OC, existing
Second floor (U 305), 2 x 6 @ 16" OC, new
Fire blocking: top plate to underside of roof
sheathing, openings per IRC R 304.4
Insulation: closed cell spray foam, R-20
Finish, inside: 5/8" type "X" GWB, 1 x trim
Trim, eaves: See "Fascia Trim Details"

6 1/2"
acoustic
batt

Note:
Closed cell spray foam (R14) interior
of existing foundation to 2' below grade,
fire retardant foam or coating required

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Drawing:

12 Vesper Street - Raised Roof Construction Specifications

Date: May 10, '11

Scale: 1" = 6'

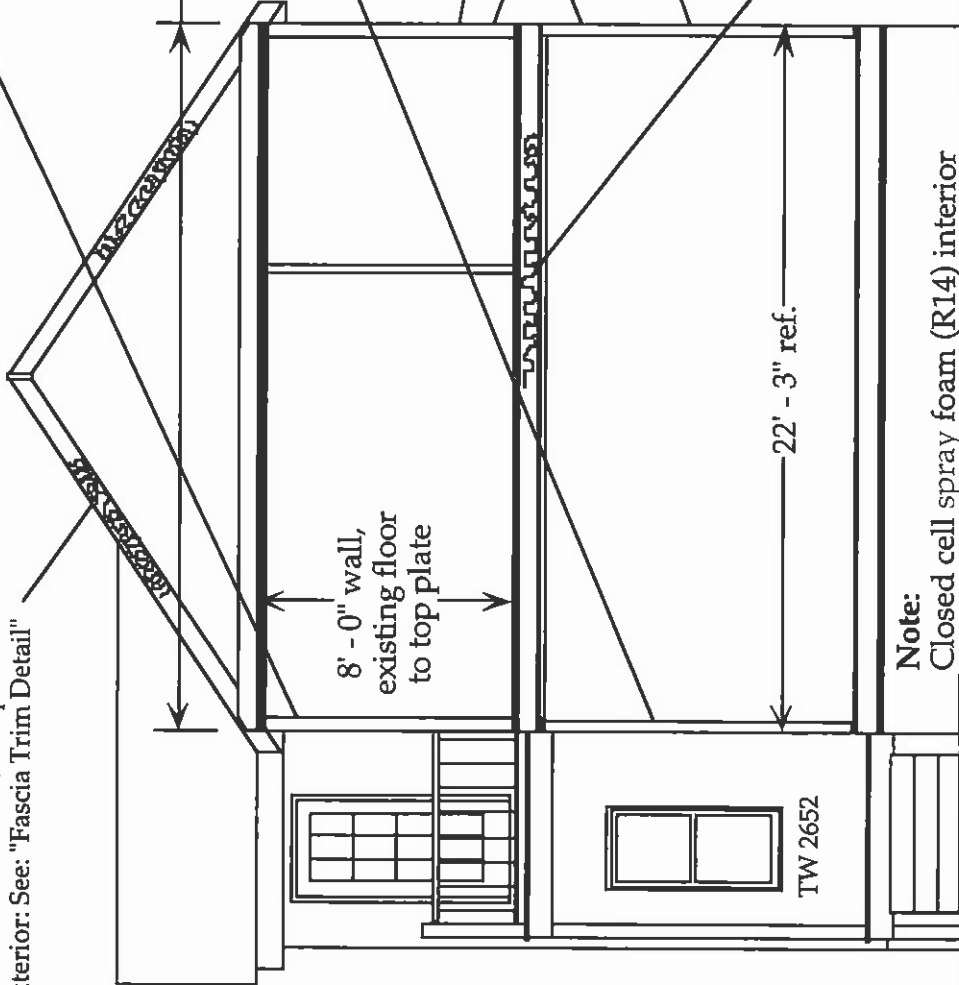
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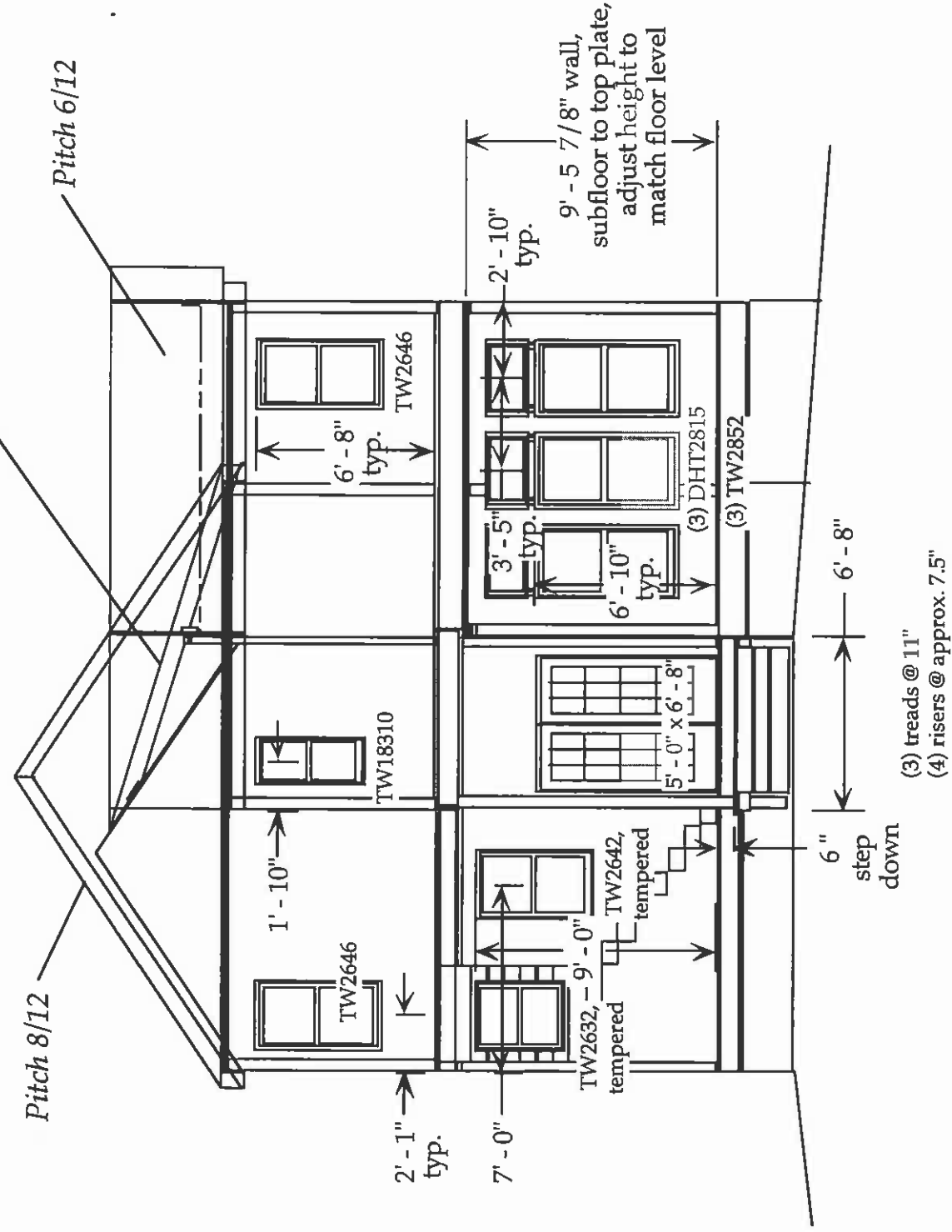
Pitch: 8/12



Pitch, shed roof ~3 .625/12

Pitch 8/12

Pitch 6/12



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Date: May 10, '11 Scale: 1" = 6'

Drawing: 12 Vesper Street - West Construction Dimensions

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Roof, gable:

Covering: asphalt shingles, bituthane membrane all over

Sheathing: 5/8 CDX plywood, or equiv. OSB

Insulation: closed cell spray foam, R-49, underside of roof

Rafter: 2 x 8 @ 16" OC

Ridge board: 2 x 10

Rafter tie: 2 x 8 @ 16" OC

Trim, exterior: See: "Fascia Trim Details"

Roof, shed:

Covering: asphalt shingles, bituthane membrane all over, step flashing to wall

Sheathing: 5/8 CDX plywood, or equiv. OSB

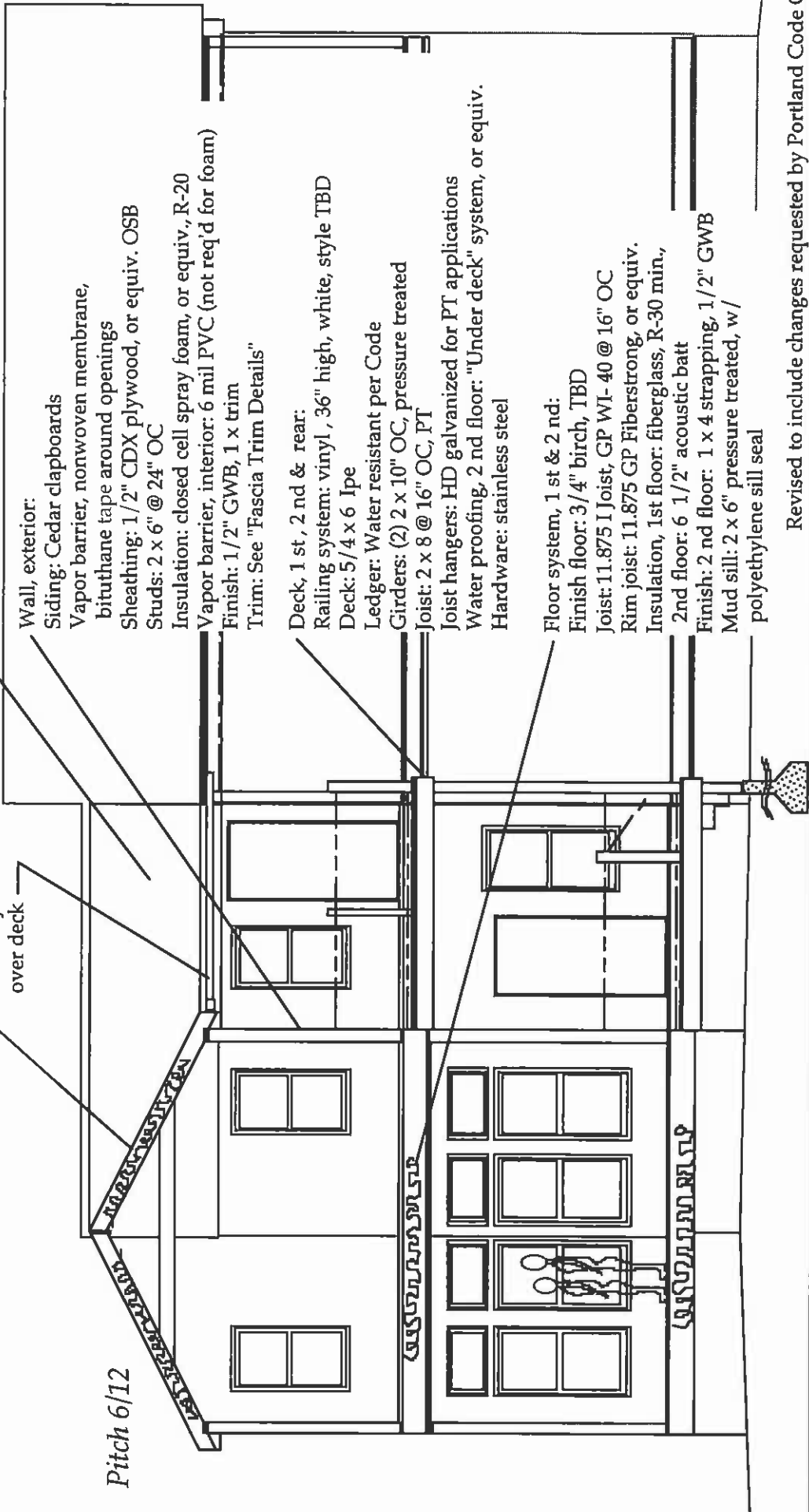
Rafter: 2 x 8 @ 16" OC

Crib wall: 2 x 4 over existing wall, see drawings

Trim, exterior: See: "Fascia Trim Details"

Gutter system over deck

Note:
Insulation and seam sealing per IIEC 2009



Wall, exterior:

Siding: Cedar clapboards

Vapor barrier, nonwoven membrane, bituthane tape around openings

Sheathing: 1/2" CDX plywood, or equiv. OSB

Studs: 2 x 6" @ 24" OC

Insulation: closed cell spray foam, or equiv., R-20

Vapor barrier, interior: 6 mil PVC (not req'd for foam)

Finish: 1/2" GWB, 1 x trim

Trim: See "Fascia Trim Details"

Deck, 1 st, 2 nd & rear:

Railing system: vinyl, 36" high, white, style TBD

Deck: 5/4 x 6 Ipe

Ledger: Water resistant per Code

Girders: (2) 2 x 10" OC, pressure treated

Joist: 2 x 8 @ 16" OC, PT

Joist hangers: HD galvanized for PT applications

Water proofing, 2 nd floor: "Under deck" system, or equiv.

Hardware: stainless steel

Floor system, 1 st & 2 nd:

Finish floor: 3/4" birch, TBD

Joist: 11.875 I Joist, GP WI- 40 @ 16" OC

Rim joist: 11.875 GP Fiberstrong, or equiv.

Insulation, 1st floor: fiberglass, R-30 min.,

2nd floor: 6 1/2" acoustic batt

Finish: 2 nd floor: 1 x 4 strapping, 1/2" GWB

Mud sill: 2 x 6" pressure treated, w/ polyethylene sill seal

Revised to include changes requested by Portland Code Office

Drawing:

Date:

Scale:

12 Vesper Street - South Construction Specifications

May 10, '11

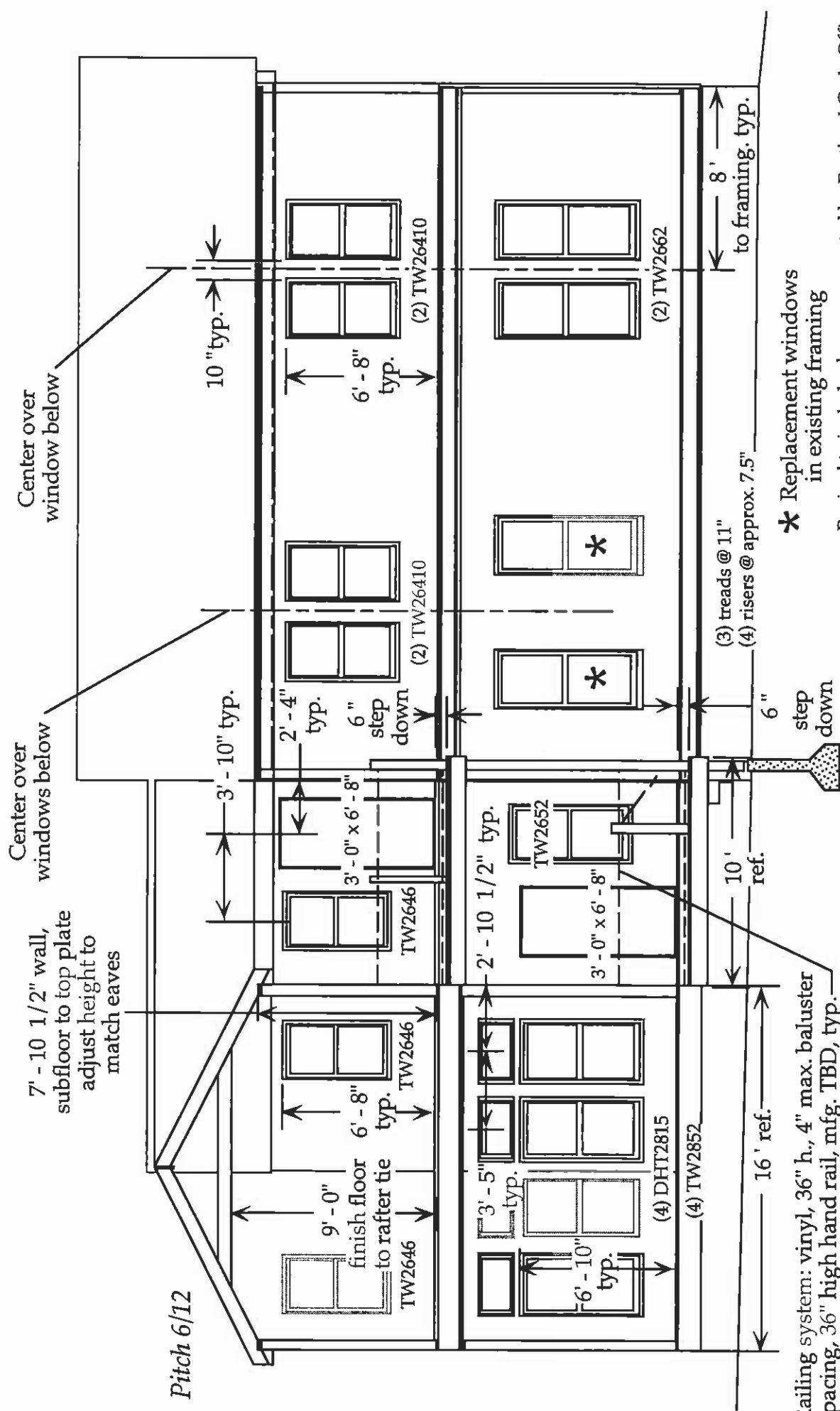
1" = 6'

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* Replacement windows in existing framing

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Railing system: vinyl, 36" h., 4" max. baluster spacing, 36" high hand rail, mfg. TBD, typ.

Drawing:	12 Vesper Street - South Construction Dimensions	Date:	May 10, '11	Scale:	1" = 6'
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Fire Separation Wall, 1 hr. rated, two sides, this side of structure

to 2nd floor fixture

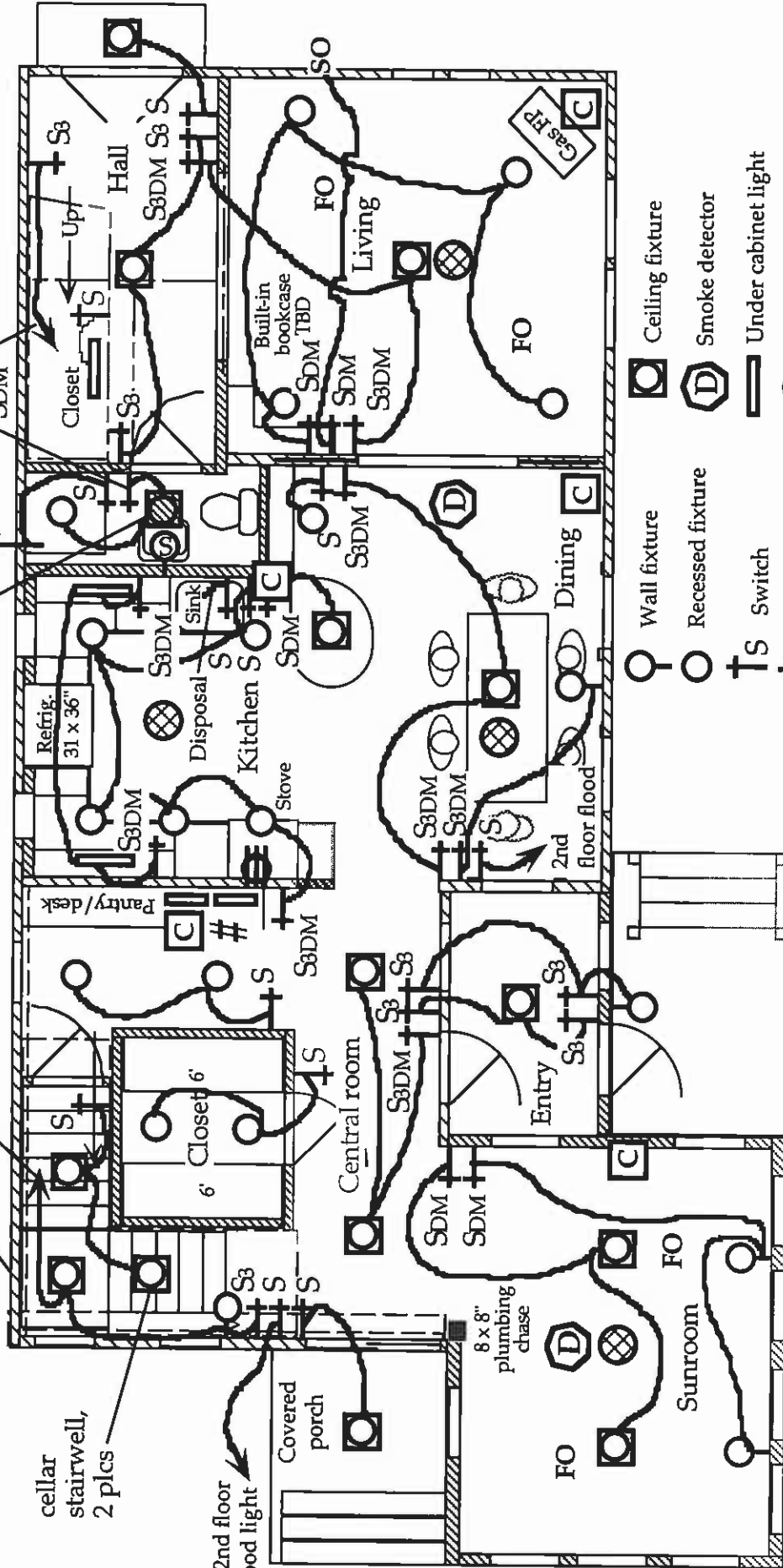
cellar stairwell, 2 p/c's

to 2nd floor flood light

Exhaust fan

O/H light w/ heater

to 2nd floor fixture



Note:

1. Outlet locations per Code, owner requests extra outlets, plan 1/3 more than required
2. # Outlets above and beneath desk unit
3. CO & Smoke detector in Cellar

- Wall fixture
- Recessed fixture
- † S Switch
- † S3 Switch, 3 way
- † S4 Switch, 4 way
- † S3DM Switch w/ dimmer
- ⊙ Wall fixture, w/ switch
- SO Switched outlet
- Ceiling fixture
- ⬡ Smoke detector
- ▬ Under cabinet light
- ⊗ Sound system speaker, volume control in each room
- † S3DM 3 way w/ dimmer
- ⊞ 240 V.
- Cable connection
- FO Floor outlet, location TBD

Existing walls Proposed walls

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Drawing:

12 Vesper Street - Electrical Plan, First Floor

Date: May 10, '11

Scale: 1" = 6'

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Andersen PN**	Q'ty	Rough Opening, w. x h.	Location	Glass area, ea.	Comments
DHT2815	7	2' - 10 1/8" x 1' - 7 7/8"	Sunroom	2.62	
TW2852	7	2' - 10 1/8" x 5' - 4 7/8"	Sunroom	10.48	
TW2652	5	2' - 8 1/8" x 5' - 4 7/8"	Sunroom, entry	9.7	
TW20210	1	2' - 2 1/8" x 3' - 0 7/8 "	Attic	3.68	
TW18310	1	1' - 10 1/8" x 4' - 0 7/8"	Rear bath	4.15	
TW2632	1	2' - 8 1/8" x 3' - 4 7/8 "	Rear stairwell	6.23	tempered glass
TW2642	1	2' - 8 1/8" x 4' - 4 7/8 "	Rear stairwell	7.62	tempered glass
TW3046	1	3' - 2 1/8" x 4' - 8 7/8 "	Front BR	10.31	egress approved
TW26410	4	2' - 8 1/8" x 5' - 0 7/8 "	South, Br & Office	9.01	
CN12	2	1' - 9" x 2' - 0 5/8 "	Kitchen	2.2	
TW20310	1	2' - 2 1/8" x 4' - 0 7/8"	Front Bath	5.26	
Replacement	3	TBD	Dining	approx. 11.78	Measure on site
Replacement	2	TBD	Living room, front	approx. 7.0	Measure on site
TW2662	2	2' - 8 1/8" x 6' - 4 7/8"	Living room, side	11.78	
TW2646	6	2' - 8 1/8" x 4' - 8 7/8"	Rear BR, stair, bath	8.31	
TW2646	2	2' - 8 1/8" x 4' - 8 7/8"	dress.& center@ top of stairs	8.31	tempered glass
	46				

** Specify High Performance Low-E glass= U -28

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Drawing:

12 Vesper Street - Window Schedule

Date: May 10, '11

Scale:

None

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Andersen PN**	Qty	Size	Location	Style	Comments
	2	2' - 8" x 6' - 8"	first floor	existing panel & casing	strip & reuse doors
	7	" "	second floor	existing panel & casing	strip & reuse as possible, hall first
	2	3' - 0" x 6' - 8"	entry	French	exterior, fiberglass
	2	3' - 0" x 6' - 8"	living room	French	slab, pocket doors, HD hardware
FWO 5068APLR	1	5' - 0" x 6' - 8"	central room	French	sliding
	1	2' - 6" x 6' - 8"	2nd floor, rear bath	panel, match existing	
	1	2' - 4" x 6' - 8"	2nd floor, front bath	panel, match existing	
	2	2' - 6" x 6' - 8"	front bedroom closet	TBD	slab, site build casing
	2	2' - 8" x 6' - 8"	rear BR, dressing room	French	exterior, fiberglass
	2	2' - 8" x 6' - 8"	1st & 2nd floor closet	edge & center bead, site build	2' - 6" x 6' - 8" opening, surface mount sliding hardware
MFS Imperial (Brosco)	1	25 1/2" x 54"	attic	pull down	8' - 9" h., 300 lb. w / thermogard

** Specify High Performance Low-E glass= U -28

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Drawing: 12 Vesper Street - Door Schedule Date: May 10, '11 Scale: None

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1st Floor

Living & Dining rooms

Windows: replace, add per drawings
Trim: strip or duplicate existing molded casings, baseboard: 1 x 8 per drawings
Pocket door trim: refinish, reuse existing molded trim as available
Hall doorway trim:
Hall side: flat, beaded, 1 x 6
Living room side: refinish, reuse existing molded trim
Wall & ceiling: gypsum wall board, 1/2", all over
Floor: birch, 3/4" over existing floor, TBD

Hall

Windows & front door: retain existing, repaint
Trim: refinish/match existing; bathroom door, flat, beaded joint, 1 x 6 per drawings
Wall & ceiling: gypsum, 1/2" (5/8" on Fire Separation Wall), all over
Floor: birch, 3/4" over existing floor, TBD

Bath

Trim: flat, beaded joint, 1 x 6 per drawings
Wall & ceiling: gypsum, 1/2" (5/8" on Fire Separation Wall), all over
Floor: linoleum, TBD

Kitchen

Windows: remove, add per drawings
Trim: flat, beaded joint, 1 x 4
Wall & ceiling: gypsum, 1/2" (5/8" on Fire Separation Wall), all over
Floor: birch, 3/4" over existing floor, TBD

Central Room & Sunroom

Windows: remove, add per drawings
Trim: flat, beaded joint, 1 x 6 per drawings
Wall & Ceiling: 1 x 6 edge & center bead, paint before installation
Floor: birch, 3/4" over existing floor, TBD

Stairway

Windows: remove, add per drawings
Trim: flat, beaded joint, 1 x 6 per drawings
Wall: 1 x 6 edge & center bead, paint before installation (5/8" GWB on Fire Separation Wall)
Ceiling: GWB, 1/2"
Stairs: maple treads, painted risers, birch (TBD) landing

Drawing:

12 Vesper Street - Interior Finishes

Revised to include changes requested by Portland Code Office

Date:

May 10, '11

Scale:

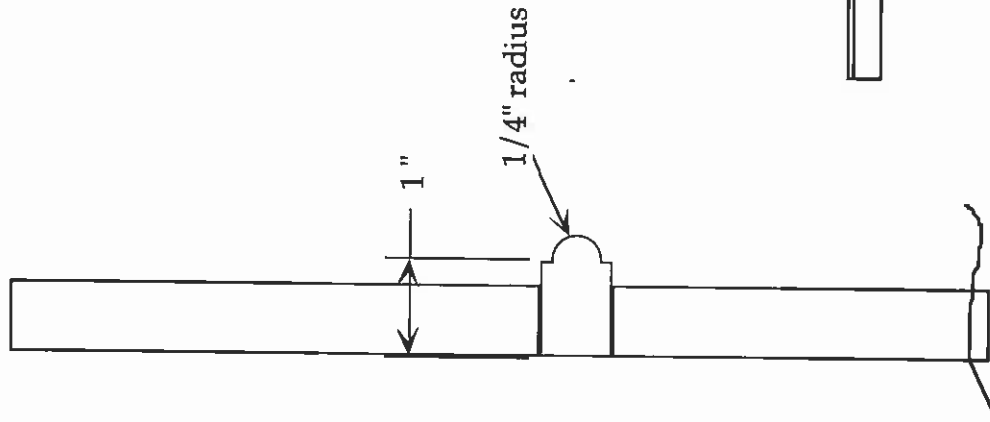
1" = 6'

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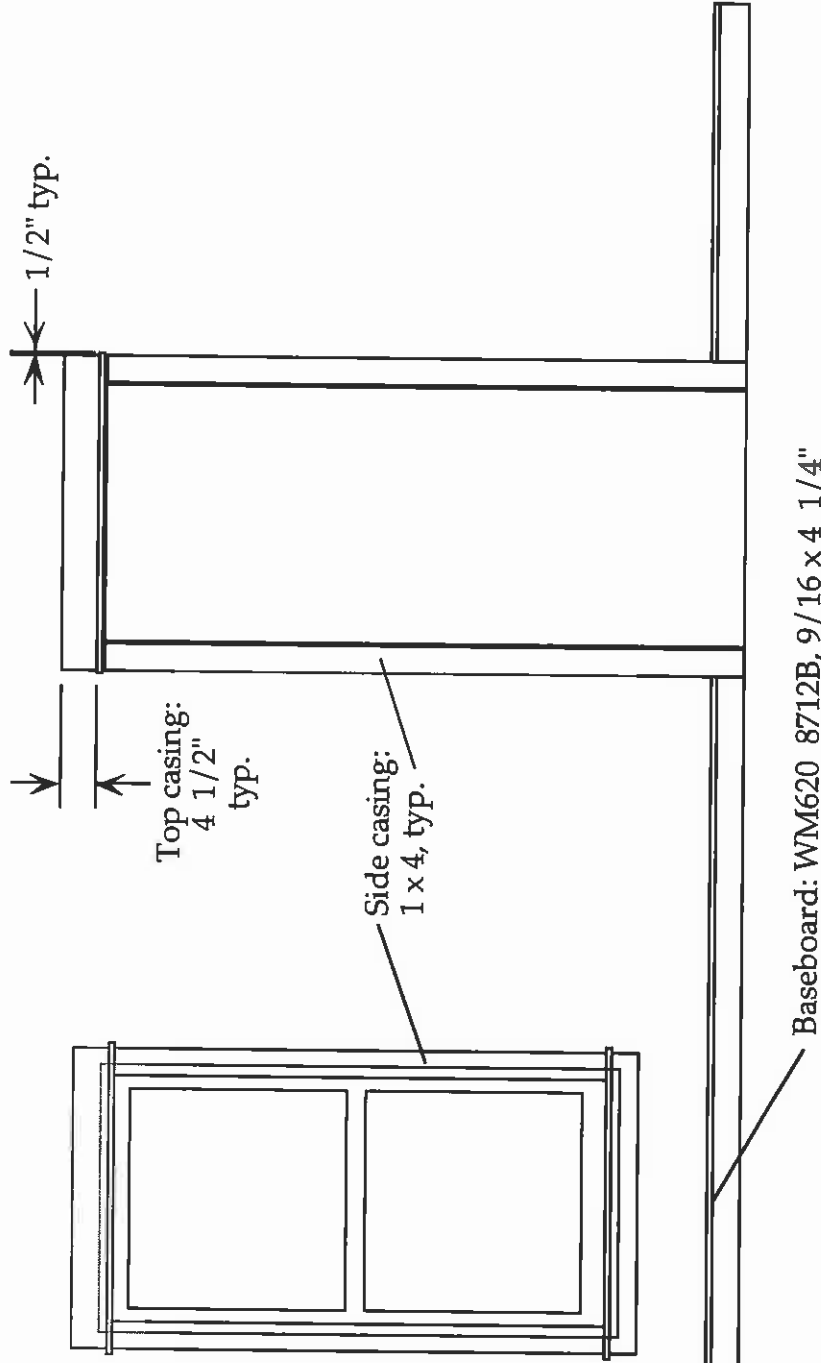
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Bead Detail

Scale: 1" = 2"

Brosco stock numbers



For all rooms, second floor

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Drawing:

12 Vesper Street - Trim Details

Date: May 10, '11

Scale:

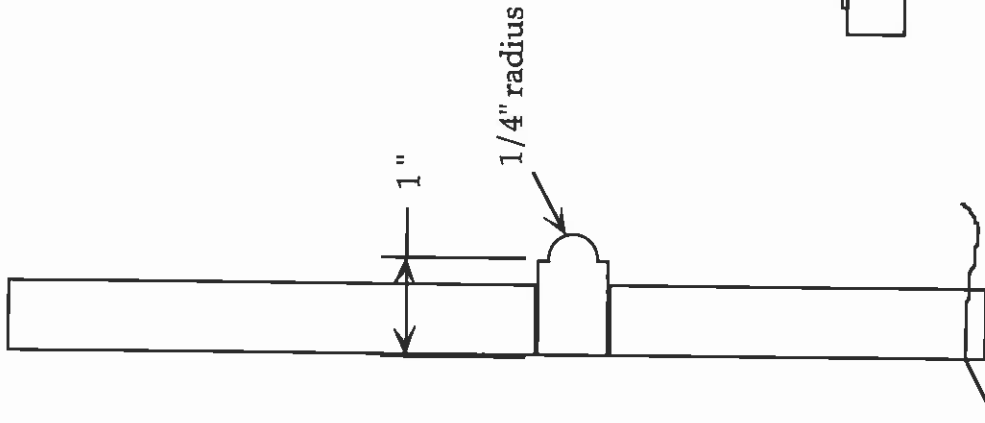
1" = 2'

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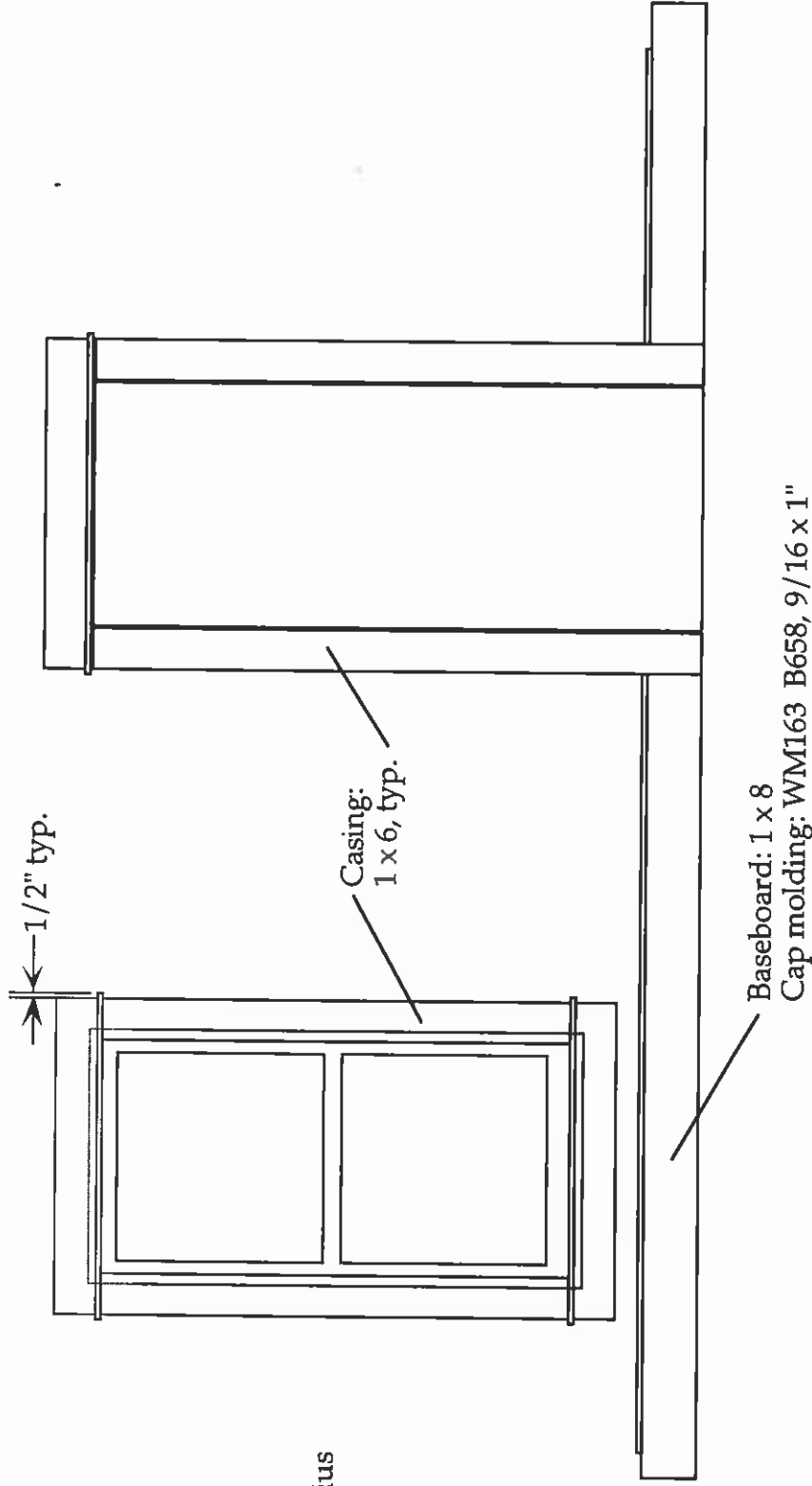
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Bead Detail

Scale: 1" = 2"



For all rooms with flat trim (first floor)

Brosco stock numbers

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Drawing:

12 Vesper Street - Trim Details

Date: May 10, '11

Scale: 1" = 2'

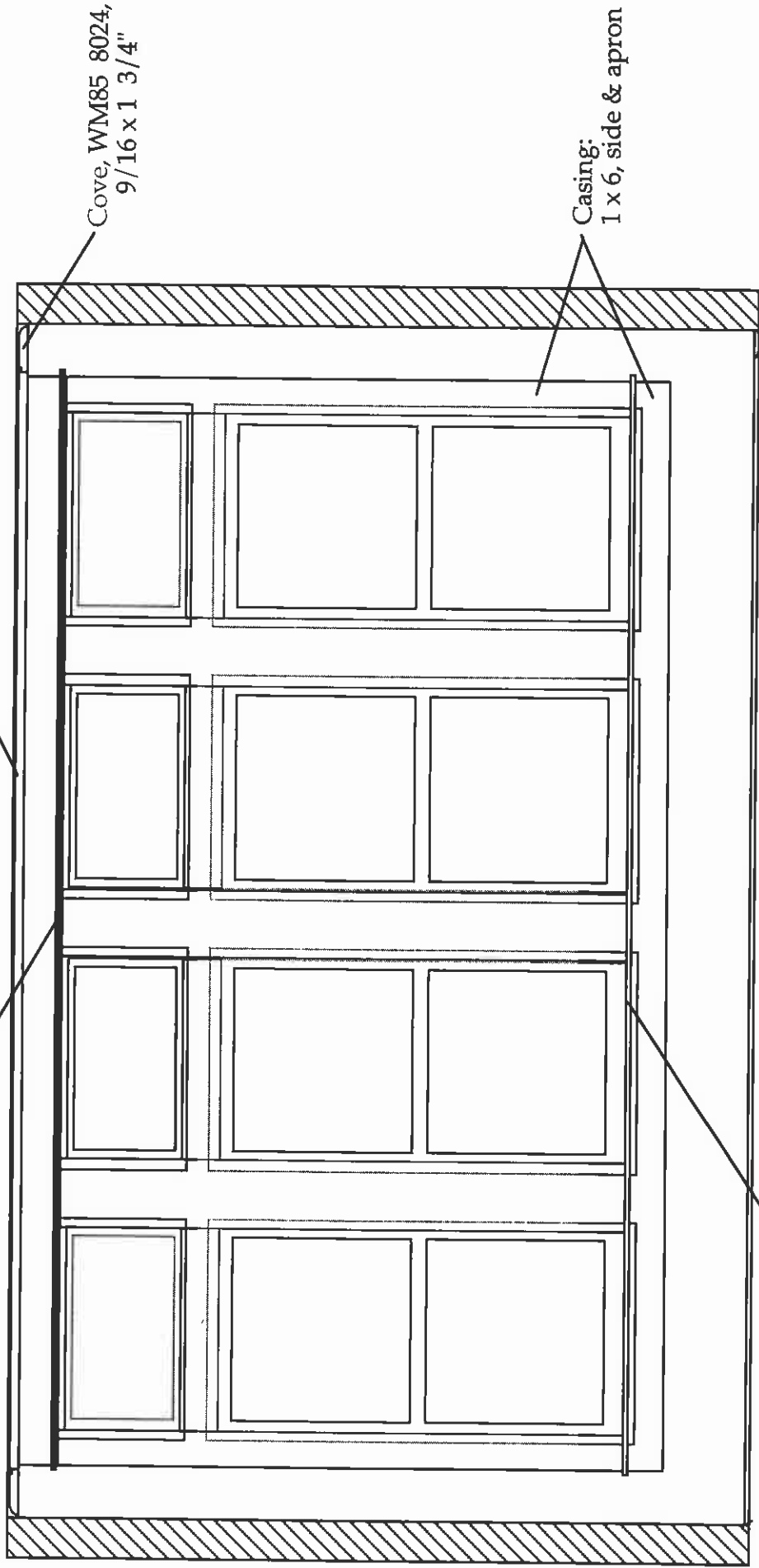
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Bead joint
Cove trim applied to top casing



Andersen stool

Wall & ceiling finish: 1 x 6 edge and center bead

Quarter round,
WM105 8065,
3/4 x 3/4"

These finishes typical for all walls in Sunroom and Central room, except fire separation wall on north side

Brosco stock numbers

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Drawing:

12 Vesper Street - Sunroom and Central Room Finishes

Date:

May 10, '11

Scale:

1" = 2'

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Wall framing
 GWB (Note: GWB to be continuous on Fire Separation Wall)

Quarter round,
 WM105 8065,
 3/4 x 3/4"

Skirt board

Tread

Riser

Stringer, typ.

2 x 4 blocking

Handrail:

Crown Heritage rail 6042,
 ends turn to wall,
 quarter turn fitting 7005
 Wall brackets:
 Crown Heritage 3028

Base board, size
 depends location

10 1/2"
 tread,
 nominal

36"

11 1/2"
 tread,
 actual

Stair Section "A" - "A"

Skirt board, 1 x 10

Riser,
 height varies

Tread

Framing

Stringer, typ.

2 x 4 blocking

Stop block

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Drawing:

12 Vesper Street - Interior Stair Detail

Date:

May 10, '11

Scale:

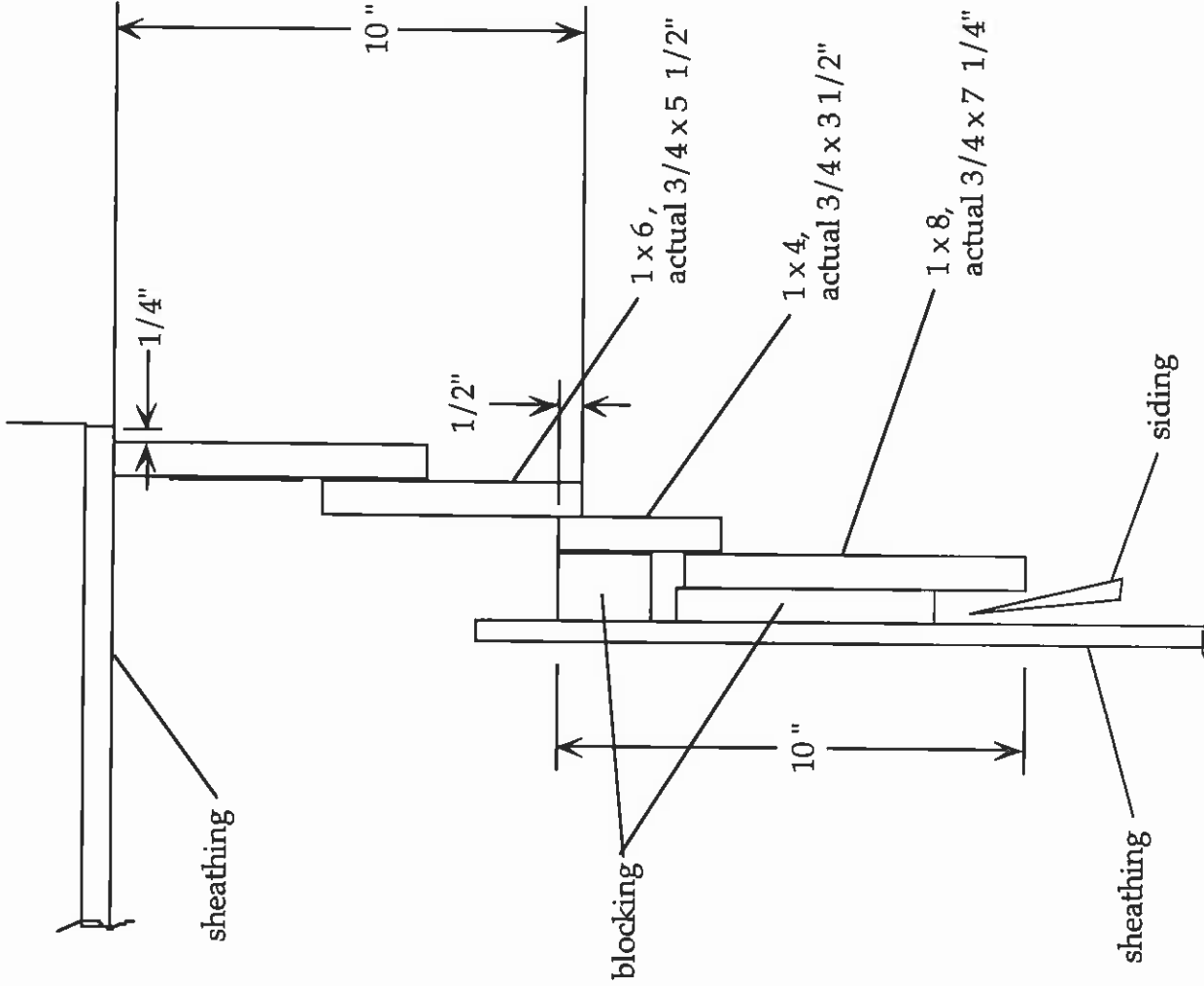
1" = 1'

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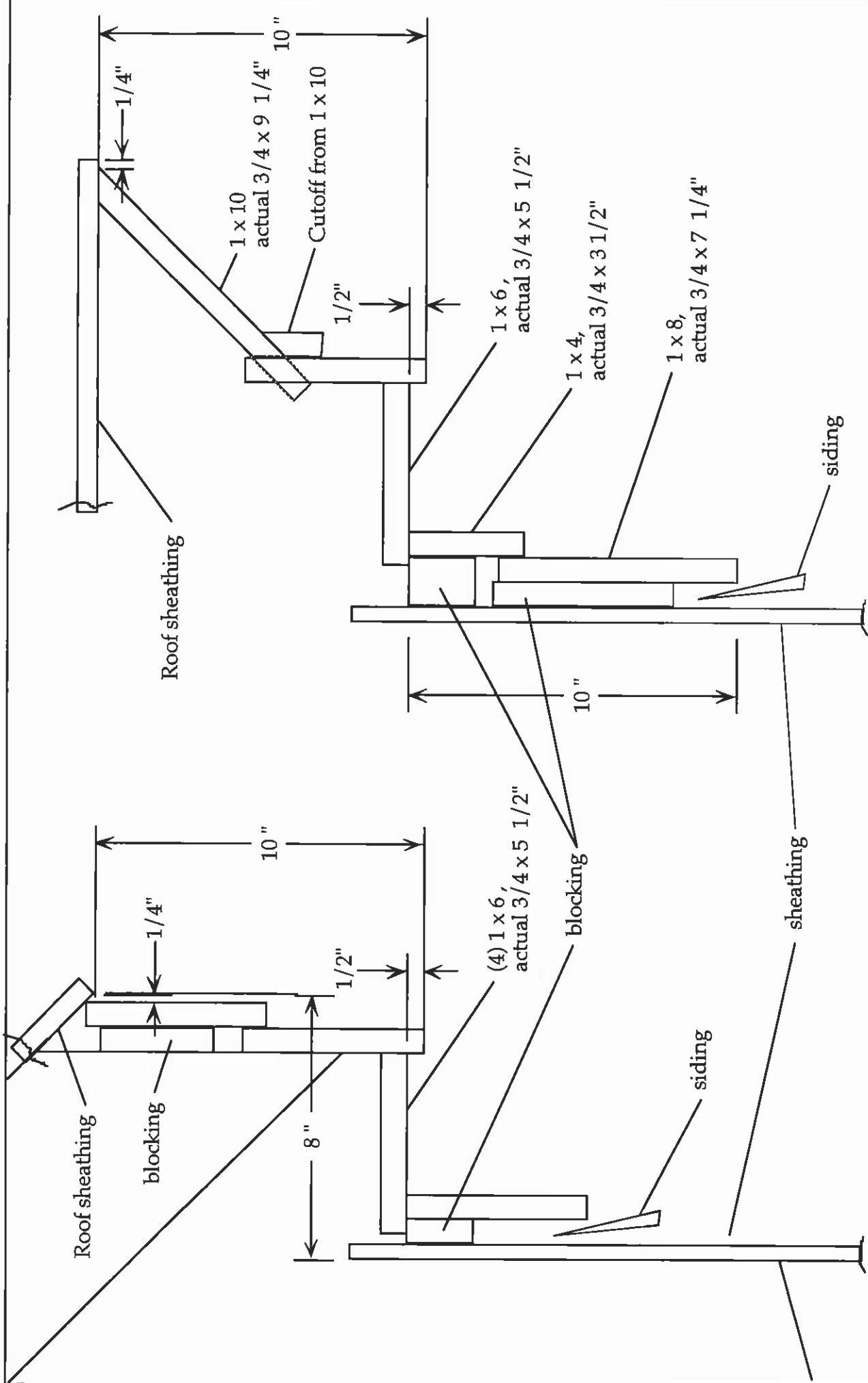
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Gable trim, no overhang

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Drawing:	12 Vesper Street - Fascia Trim Details	Date:	May 10, '11	Scale:	1" = 4"
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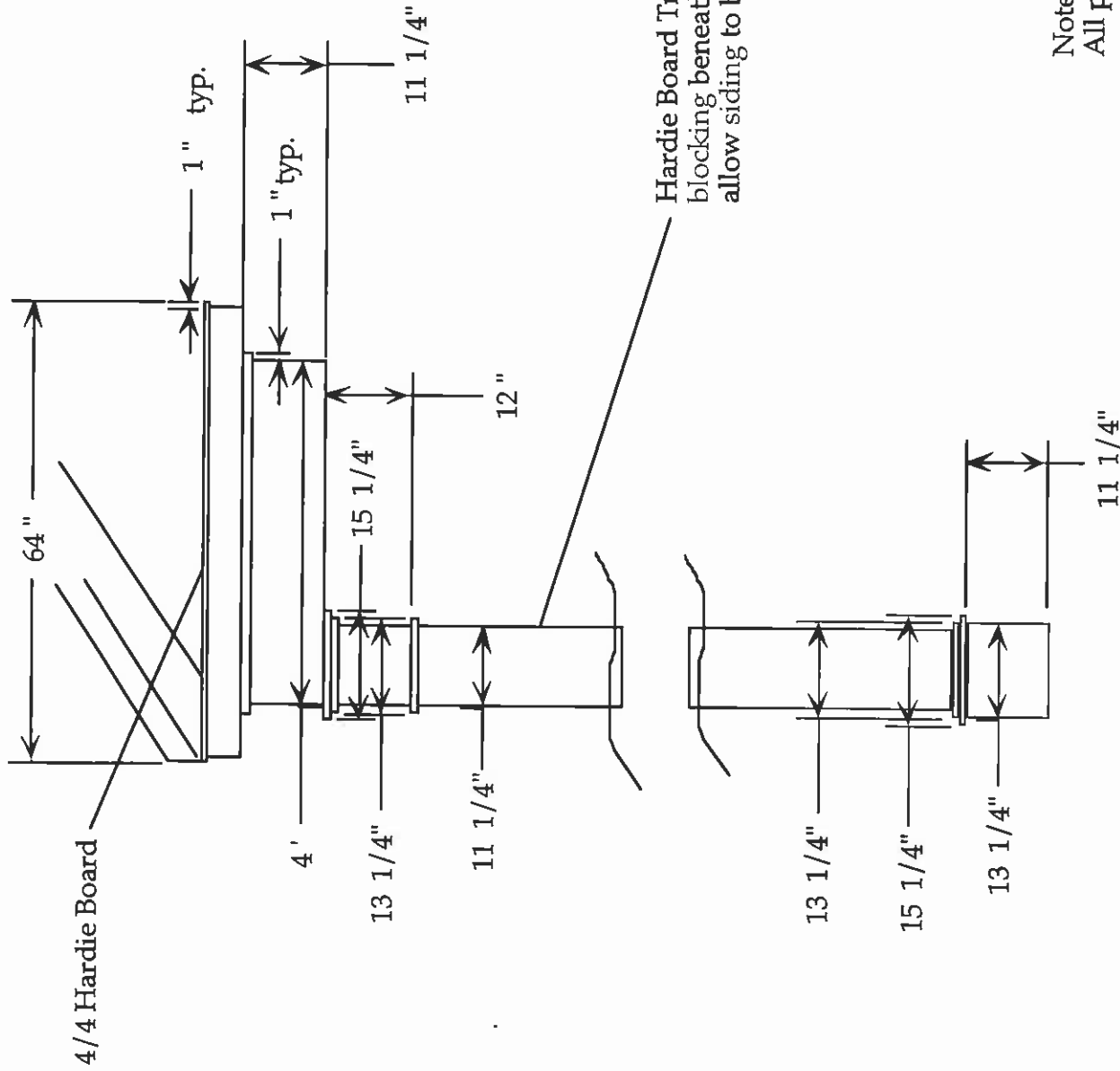


Eaves trim, w/ overhang

Gable trim, w/ overhang

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 Date: May 10, '11
 Scale: 1" = 4"

Drawing: 12 Vesper Street - Fascia Trim Details



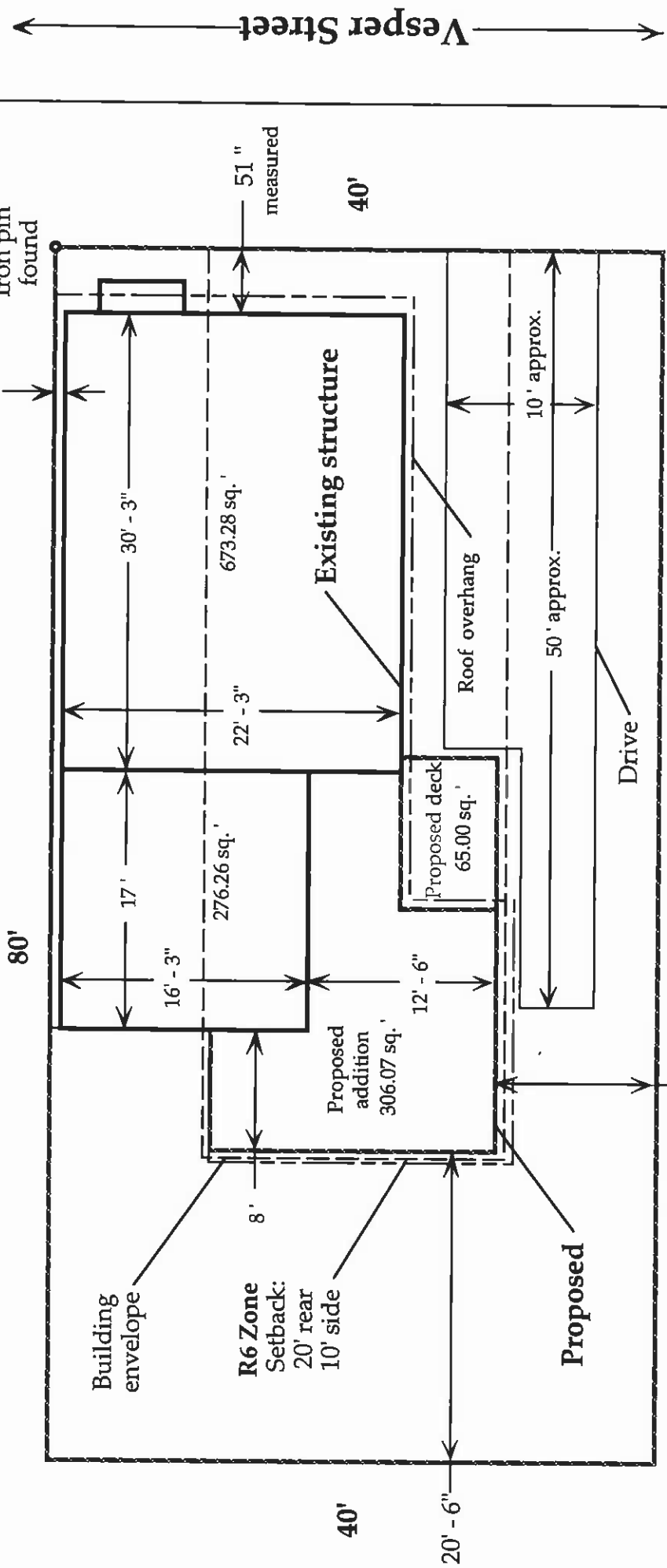
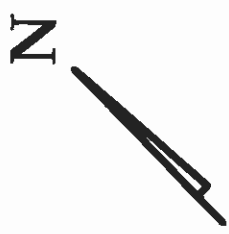
Note:
All pieces 5/4 Hardie Board Trim

Revised to include changes requested by Portland Code Office

Date: May 10, '11
Scale: 1" = 2'

Drawing: 12 Vesper Street - Front Corner Trim

Lot = 3200 sqft. @50% allowed coverage = 1600 sqft. max.
 Existing residence = 949.5 sqft.
 Buildable footprint, additional remaining = 650.5 sqft.
 Buildable footprint, proposed = 371 sqft.
 Total footprint, 1320 sqft. / 3200 sqft. lot = 41.2% coverage



Owner:
 Amy Alward
 20 Morning Street
 Portland, ME 04010
 207-767-3334
 CBL 003 K006001

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 Drawing: 12 Vesper Street - Plot Plan w/ Lot Coverage
 Date: May 10, '11
 Scale: 1" = 10'