

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



# CITY OF PORTLAND BUILDING PERMIT

This is to certify that Amy Alward

Located At 12 VESPER

Job ID: 2011-03-570-ADDR

CBL: 003 - - K - 006 - 001 - - - -

has permission to Renovate house, raise main roof, build 1,320 sf two story addition, with decks  
provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of  
the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of  
the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured  
before this building or part thereof is lathed or otherwise  
closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner  
before this building or part thereof is occupied. If a  
certificate of occupancy is required, it must be

*JMB PWB*

Fire Prevention Officer

*[Signature]* 4/4/11

Code Enforcement Officer / Plan Reviewer

THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY.

PENALTY FOR REMOVING THIS CAR

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2011-03-570-ADDR	Date Applied: 3/9/2011	CBL: 003 - - K - 006 - 001 - - - - -	
Location of Construction: 12 VESPER ST	Owner Name: Amy Alward	Owner Address: 12 VESPER ST PORTLAND, ME - MAINE 04101	Phone:
Business Name:	Contractor Name:	Contractor Address:	Phone:
Lessee/Buyer's Name:	Phone:	Permit Type: BLDG - Building	Zone: R-6
Past Use: Single Family Dwelling	Proposed Use: SAME: Single Family Dwelling - to add additions and to raise roof of front building	Cost of Work: 180,000.00	CEO District:
		Fire Dept: <input checked="" type="checkbox"/> Approved w/conditions <input type="checkbox"/> Denied <input type="checkbox"/> N/A	Inspection: Use Group: R-3 Type: SB IRC-2003
		Signature: <i>Bjornald Jr.</i> (58)	Signature: <i>JMB</i>
Proposed Project Description: 12 Vesper- additions and alterations	Pedestrian Activities District (P.A.D.)  4/4/11		

Permit Taken By:	<b>Zoning Approval</b>		
<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building Permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.</p>	<b>Special Zone or Reviews</b> using 14-436 (b) <input type="checkbox"/> Shoreland <input checked="" type="checkbox"/> used 14% of 80% <input type="checkbox"/> Wetlands Allowable <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan ___ Maj ___ Min ___ MM Date: <i>ok with conditions</i> <i>9-3/14/11</i>	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	<b>Historic Preservation</b> <input checked="" type="checkbox"/> Not in Dist or Landmark <input type="checkbox"/> Does not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>[Signature]</i>
	<b>CERTIFICATION</b>		

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHON

## BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: [buildinginspections@portlandmaine.gov](mailto:buildinginspections@portlandmaine.gov)

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
  - **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
  - **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**
1. Close In Elec/Plmb/Framing prior to insulation and drywall
  2. Final inspection at the completion of work

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



# PORTLAND MAINE

*Strengthening a Remarkable City, Building a Community for Life* • [www.portlandmaine.gov](http://www.portlandmaine.gov)

Director of Planning and Urban Development  
Penny St. Louis

Job ID: 2011-03-570-ADDR

Located At: 12 VESPER

CBL: 003 - - K - 006 - 001 - - - -

## **Conditions of Approval:**

### **Zoning**

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
2. This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. without special approvals.
3. As discussed during the review process, the property must be clearly identified prior to pouring concrete and compliance with the required setbacks must be established. Due to the proximity of the setbacks of the proposed addition, it may be required to be located by a surveyor.
4. This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.

### **Fire**

1. All construction shall comply with City Code Chapter 10.
2. All smoke alarms are required in all sleeping rooms, immediately outside of the sleeping rooms, and on each floor including basements. They shall be photoelectric, hardwired with battery backup and interconnected.
3. Carbon Monoxide alarms are required on each floor. They shall be hardwired with battery backup.
4. The sprinkler system shall be installed in accordance with NFPA 13R or 13D.
5. A separate Suppression System Permit is required.

### **Building**

1. Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.
2. Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans. These include:
  - closed cell insulation spec for basement exposure – thermal barrier
  - tempered glazing at windows near basement door and 2<sup>nd</sup> floor landing
  - window fall protection devices
  - continuity of exterior 1 hour rated wall at new stair landing
3. Those renovating single family dwelling shall install a CO detector in each area within or giving access to bedrooms. That detection must be powered by the electrical service in the building and battery.
4. Hardwired interconnected battery backup smoke detectors shall be installed in all bedrooms, protecting the bedrooms, and on every level.
5. This is approved using IRC Sec. R104.10 Modifications to allow sprinkler heads to be installed at the windows on the North wall to meet the 1 hour exterior wall fire separation requirements.



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>12 Vesper Street</u>		
Total Square Footage of Proposed Structure/Area <u>1320.5 sq ft.</u>	Square Footage of Lot <u>3200 sq ft.</u>	Number of Stories <u>2</u>
Tax Assessor's Chart, Block & Lot Chart# <u>003</u> Block# <u>K006</u> Lot# <u>001</u> <u>3200 sq ft.</u>	Applicant *must be owner, Lessee or Buyer* Name <u>Amy Atwood</u> Address <u>20 Morning St</u> City, State & Zip <u>Portland, ME 04101</u>	Telephone: <u>207-838-8829</u>
Lessee/DBA (If Applicable) <u>lot</u>	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>180,000</u> C of O Fee: \$ <u>1820</u> Total Fee: \$ <u>18200</u>
Current legal use (i.e. single family) <u>single family</u> Number of Residential Units <u>1</u> If vacant, what was the previous use? <u>single family</u> Proposed Specific use: <u>single family residence</u> Is property part of a subdivision? <u>no</u> If yes, please name <u>N/A</u> Project description: <u>Renovate existing structure, raise roof, build addition</u> <u>1320.5 sq ft.</u>		
Contractor's name: <u>TBD</u>		
Address: _____		
City, State & Zip _____		Telephone: _____
Who should we contact when the permit is ready: <u>Amy Atwood</u>		Telephone: <u>838-8829</u>
Mailing address: <u>20 Morning St. Portland, ME 04101</u>		

9650 #

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

RECEIVED  
- 9 2011  
Dept. of Building Inspections  
City of Portland, Maine

Signature: [Signature] Date: 3/8/11

This is not a permit; you may not commence ANY work until the permit is issued

3/9

**Job Summary Report**  
**Job ID: 2011-03-570-ADDR**

Report generated on Mar 10, 2011 12:39:34 PM

<b>Job Type:</b>	Addition Residential SF	<b>Job Description:</b>	12 Vesper	<b>Job Year:</b>	2011
<b>Building Job Status Code:</b>	In Review	<b>Pin Value:</b>	842	<b>Tenant Name:</b>	
<b>Job Application Date:</b>		<b>Public Building Flag:</b>	N	<b>Tenant Number:</b>	
<b>Estimated Value:</b>	180,000	<b>Square Footage:</b>			
<b>Related Parties:</b>		Amy Alward		Property Owner	

**Job Charges**

Fee Code Description	Charge Amount	Permit Charge Adjustment	Net Charge Amount	Payment Date	Receipt Number	Payment Amount	Payment Adjustment Amount	Net Payment Amount	Outstanding Balance
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**Location ID: 650**

**Location Details**

Alternate Id	Parcel Number	Census Tract	GIS X	GIS Y	GIS Z	GIS Reference	Longitude	Latitude
G06080	003 K 006 001		M				-70.242366	43.665534

Location Type	Subdivision Code	Subdivision Sub Code	Related Persons	Address(es)
1				12 VESPER STREET WEST

Location Use Code	Variance Code	Use Zone Code	Fire Zone Code	Inside Outside Code	District Code	General Location Code	Inspection Area Code	Jurisdiction Code
SINGLE FAMILY		NOT APPLICABLE					DISTRICT 1	EAST END

**Structure Details**

**Structure: Single Family Home**

**Occupancy Type Code:**

Structure Type Code	Structure Status Type	Square Footage	Estimated Value	Address
Single Family	0			12 VESPER STREET WEST

Longitude	Latitude	GIS X	GIS Y	GIS Z	GIS Reference	User Defined Property	Value
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**Permit #: 20111790**

**Permit Data**

Location Id	Structure Description	Permit Status	Permit Description	Issue Date	Reissue Date	Expiration Date
650	Single Family Home	Initialized	Reno, Raise roof Build addition			

**Inspection Details**

1A-436(b) - using 14% of the 18%

not in history

**Job Summary Report**  
**Job ID: 2011-03-570-ADDR**

Report generated on Mar 10, 2011 12:39:34 PM

Page 2

<b>Inspection Id</b>	<b>Inspection Type</b>	<b>Inspection Result Status</b>	<b>Inspection Status Date</b>	<b>Scheduled Start Timestamp</b>	<b>Result Status Date</b>	<b>Final Inspection Flag</b>			
<b>Fees Details</b>									
<b>Fee Code Description</b>	<b>Charge Amount</b>	<b>Permit Charge Adjustment</b>	<b>Permit Charge Adj Remark</b>	<b>Payment Date</b>	<b>Receipt Number</b>	<b>Payment Amount</b>	<b>Payment Adjustment Amount</b>	<b>Payment Adj Comment</b>	
Job Valuation Fees	\$1,820.00								

## Jeanie Bourke - Re: 12 Vesper Street Fire Separation

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**From:** Jeanie Bourke  
**To:** Paul W. Austin  
**Date:** 2/7/2011 3:26 PM  
**Subject:** Re: 12 Vesper Street Fire Separation

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Hi Paul,

Yes, I have spoken with Capt. Keith Gautreau about the project as Amy approached him with questions and I recognized the name from your emails. The discussion with him was mostly regarding sprinklers, as they do not enforce NFPA 5000, which might address fire resistance construction of exterior walls.

I met with Tammy, the director, and we both agreed we can reference IRC of Sec. R104.10 Modifications when addressing the proximity of the structure to the lot line and fire separation/rating requirements. As you know, the building code (MUBEC) was amended to delete the sprinkler requirement. That being said, 2009 NFPA 101, chapter 43 will require sprinklers to be installed for the proposed project throughout the building.

Although the IRC 2009, Sec. R102.4.1 requires additions, alterations and repairs to conform to the requirements for a new structure, Sec. R313.2, Exception, does not require additions or alterations to install sprinklers if the building is not already equipped with a system. Since the building can be sprinkled per NFPA 13(d) standards, the code will allow modifications as follows:

1. Per Table R302.1 walls <5' from the property line need to meet 1 hour rating with exposure from both sides.
2. Openings in walls (windows) will be allowed even though the building is <3' from the property line, as the building will be sprinkled, and additional sprinkler heads shall be located at each proposed window on the North facing wall.

Let me know if you have any questions. I have only reviewed the preliminary plans for this specific code section, there may be other code revisions required at full plan review submission.  
Jeanie

*Jeanie Bourke*  
*CEO/Plan Reviewer*

**City of Portland**  
**Planning & Urban Development Dept. / Inspections Division**  
**389 Congress St. Rm 315**  
**Portland, ME 04101**  
**jmb@portlandmaine.gov**  
**Direct: (207) 874-8715**  
**Office: (207) 874-8703**

>>> "Paul W. Austin" <nonesuch@gwi.net> 2/4/2011 3:57 PM >>>  
Dear Jeanie,

It sounds from Amy Alward as if there's been some internal discussion with the fire department. Do you have any progress to report on our questions about fire separation, windows and vents to the adjacent lot?

Thank you, best regards,

Paul



From: "Paul W. Austin" <nonesuch@zwi.net>  
Subject: **Re: Fire Separation - 12 Vesper St.**  
Date: January 31, 2011 2:51:09 PM EST  
To: Jeanie Bourke <JMB@portlandmaine.gov>  
Cc: Amy Alward <amyallstate@netscape.net>  
Bcc: Colleen Bedard <cbedard@homesinmaine.com>

Dear Jeanie,

I have put a number of drawings in the mail, you should receive them tomorrow. They include worksheets for lot coverage and building expansion, building sections for raising the roof, two existing and proposed elevations, 1st and 2nd floor existing and proposed floor plans.

If you need more information, plans, or clarification, please call me at any time.

Regards,

Paul

On Jan 28, 2011, at 11:39 AM, Jeanie Bourke wrote:

Paul,  
Do you have any preliminary drawings of the project? Plot plan, existing and proposed elevations & floor plans. Also, I can't recall if you verified with zoning any limitations on the expansion by way of percentage of footprint. You can email these....thanks

>>> "Paul W. Austin" <nonesuch@zwi.net> 1/26/2011 2:10 PM >>>  
Dear Ms. Bourke,

This is in reference to our phone conversation of Jan. 25. I am an architectural designer working with owner Amy Alward on an extensive renovation project for a one family home at 12 Vesper Street.

The newly adopted IRC 2009 building code Chapter 2, Definitions requires Fire Separation Distance (FSD) in certain situations, and Table R302.1 defines various structural limitations based on the Fire Separation Distance.

The 12 Vesper Street structure is parallel with and approximately 9 inches from the side lot line. Because the structure is less than 5 feet from the lot line you have interpreted the ordinance as requiring the entire adjacent two story wall to be 1 hour rated from both sides, and likewise, according to the Table, no openings (i.e. windows or fan vents) will be allowed on that side of the home.

While the Definition covers situations such as distance to lot line, distance to street, alley or public way, and the distance between two buildings, it does not consider one important situation. Portland zoning for this area requires a 10' side yard. There is currently no structure within the 10' setback on the adjacent property, therefore any future construction on that adjacent property could be no closer

win-  
two bau-  
appears the  
system during  
We would appreciate  
mit plans for a building  
ral design and drawings  
ld like to meet with us in  
)  
your assistance, regards,

# Short Form Warranty Deed

MAINE REAL ESTATE TAX PAID

Thomas J. Landry, of Portland, Maine and Amy E. Landry, of Portland, Maine (collectively, "Grantors"), for consideration paid, grant to Amy E. Alward whose mailing address is 62 Morning Street, Portland, Maine ("Grantee"), with warranty covenants certain real property, together with any improvements thereon, located in the City of Portland, Cumberland County, Maine and more particularly described on Exhibit A attached hereto and made a part hereto.

Being the same premises conveyed to Thomas J. Landry and Amy E. Landry by deed from Michael J. Gauthier and Theresa Gauthier dated October 29<sup>th</sup>, 2010 and recorded in the Cumberland County Registry of Deeds in Book 28259, Page 45 reference is made to the deed conveyed to the Grantors by deed from Michael J. Gauthier and Theresa Gauthier of near or even date to be recorded in the Cumberland County Registry of Deeds.

WITNESS my hand and seal the 7<sup>th</sup> day of January, 2011.

Witness [Signature]  
[Signature]

[Signature]  
Thomas J. Landry

Witness \_\_\_\_\_

[Signature] by [Signature] her  
Amy E. Landry Attorney in fact.

State of Maine  
County of Cumberland ss.

On this 7<sup>th</sup> day of January, 2011 before me personally appeared the above-named Thomas J. Landry and Amy E. Landry acknowledging the foregoing to be of his free act and deed by Thomas J. Landry, her Attorney in Fact.

[Signature]  
SIGNATURE Rachel L. Baveland

PRINT NAME  
Notary Public/Attorney at Law

COMMISSION EXPIRES: \_\_\_\_\_

**EXHIBIT A**  
**12 Vesper Street, Portland, Maine**

A certain lot or parcel of land, with the buildings thereon, situated on the southwesterly side of Vesper Street in the City of Portland, County of Cumberland and State of Maine, bounded and described as follows:

Beginning on said Vesper Street at the northerly corner of land now of formerly of William Gray and running thence northwesterly by said street forty (40) feet, more or less, to a post;

Thence southwesterly eighty (80) feet, more or less, to land formerly of W. H. Weeks;

Thence southeasterly by said Weeks' land forty (40) feet, more or less, to a post;

Thence northeasterly eighty (80) feet, more or less, to said Vesper Street at the place of beginning.

Being Lot No. 23 on Plan of Division of land on Munjoy Hill in said Portland recorded in the Cumberland County Registry of Deeds in Book 250, Pages 75 and 568.

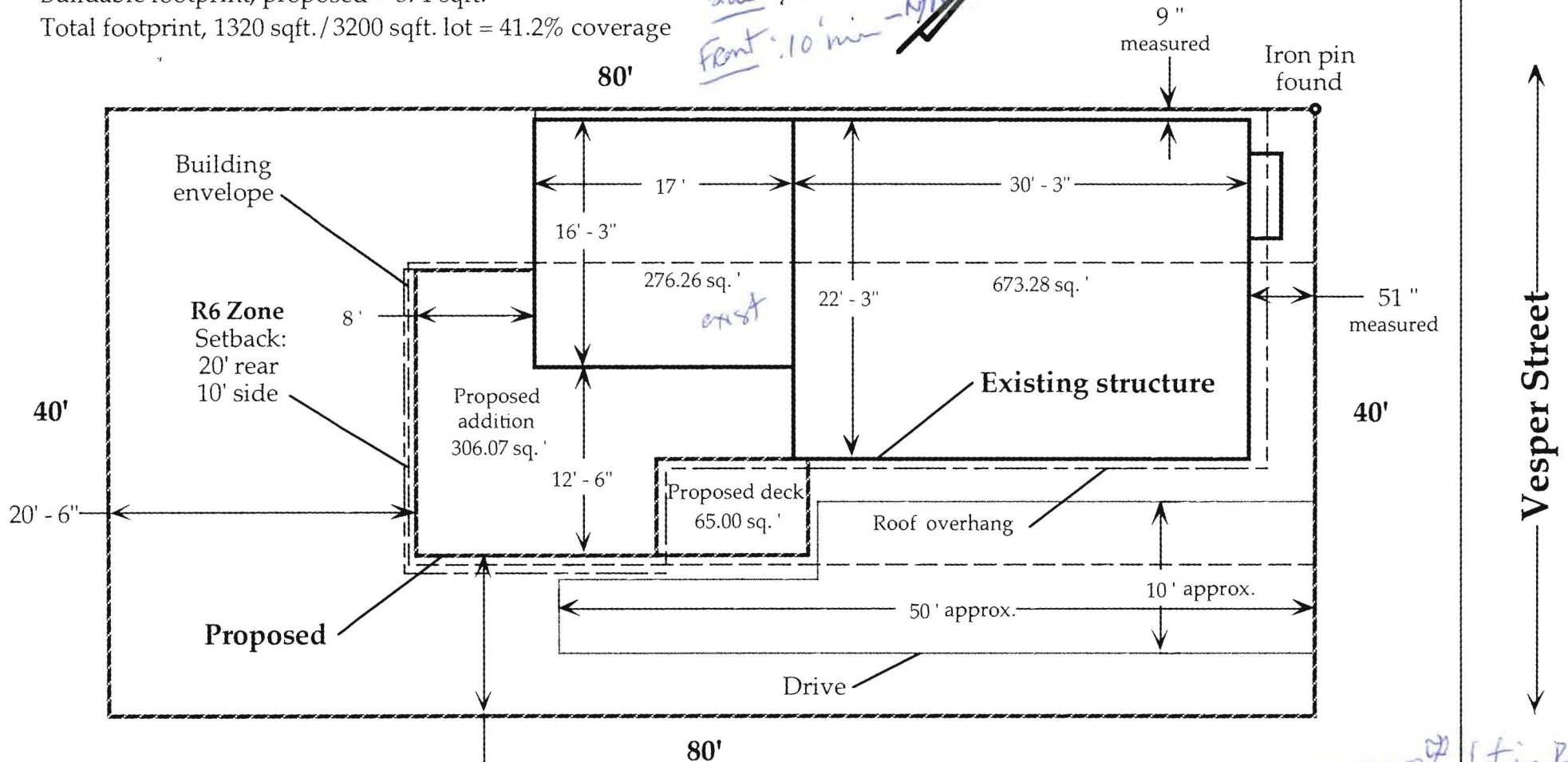
Being the same premises conveyed to the Grantors by warranty deed from Michael J. Gauthier and Theresa Gauthier dated October 29, 2010 and recorded in the Cumberland County Registry of Deeds in Book 28259, Page 45.

The property described above is conveyed subject to, and together with the benefit of, as the case may be, all utility easements which serve the premises; zoning and building restrictions; other easements, covenants, conditions and restrictions of record affecting the premises; and real estate taxes which Grantee by acceptance of this deed assumes and agrees to pay.

Received  
Recorded Register of Deeds  
Jan 10, 2011 08:57:10A  
Cumberland County  
Pamela E. Lovley

Lot = 3200 sqft. @50% allowed coverage = 1600 sqft. max.  
 Existing residence = 949.5 sqft.  
 Buildable footprint, additional remaining = 650.5 sqft.  
 Buildable footprint, proposed = 371 sqft.  
 Total footprint, 1320 sqft. / 3200 sqft. lot = 41.2% coverage

**R-6-**  
*REAR: 20' min - 20' 6" shown*  
*Side: 10' min - 10' shown*  
*Front: 10' min - N/A*



Owner:  
 Amy Alward  
 20 Morning Street  
 Portland, ME 04010  
 207-767-3334  
 CBL 003 K006001

*3200 sq. ft. lot in R-6*

Drawing: 12 Vesper Street - Plot Plan w/Lot Coverage	Date: March 3, '11	Scale: 1" = 10'
Whole Home Resource 3 Tide Mill Lane, Scarborough, ME 04074	WholeHomeResource.com	207.883.6050



# Residential Additions/Alterations Permit Application Checklist

All of the following information is required and must be submitted. Checking off each item as you prepare your application package will ensure your package is complete and will help to expedite the permitting process.

The Maine Home Construction Contracts Act requires that any home construction or repair work for more than \$3000. in materials or labor must be based on a written contract unless the parties agree to exempt themselves. A sample contract is available on the City's website at [www.portlandmaine.gov](http://www.portlandmaine.gov), in the Inspection Office, Room 315 of Portland City Hall or call (207)874-8703 to have one mailed to you.

## One (1) complete set of construction drawings must include:

- Cross sections w/framing details
- Floor plans and elevations existing & proposed
- Detail removal of all partitions & any new structural beams
- Detail any new walls or permanent partitions
- Stair details including dimensions of: rise/run, head room, guards/handrails, baluster spacing
- Window and door schedules
- Foundation plans w/required drainage and damp proofing (if applicable)
- Detail egress requirements and fire separation/sound transmission ratings (if applicable)
- Insulation R-factors of walls, ceilings & floors & U-factors of windows per the IECC 2003
- Deck construction including: pier layout, framing, fastenings, guards, stair dimensions
- Reduced plans or electronic files in pdf format are also required if original plans are larger than 11" x 17"
- Proof of ownership is required if it is inconsistent with the assessors records

Separate permits are required for internal & external plumbing, HVAC, and electrical installations.

If there are any additions to the footprint or volume of the structure, any new or rebuilt structures or, accessory detached structures a plot plan is required. A plot must include:

- The shape and dimension of the lot, footprint of the existing and proposed structure and the distance from the actual property lines. Structures include decks, porches; bow windows, cantilever sections and roof overhangs, sheds, pools, garages and any other accessory structures must be shown with dimensions if not to scale.
- Location and dimensions of parking areas and driveways
- A change of use may require a site plan exemption application to be filed.

Please submit all of the information outlined in this application checklist. If the application is incomplete, the application may be refused.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), stop by the Building Inspections office, room 315 City Hall or call 874-8703.

Permit Fee: \$30.00 for the first \$1000.00 construction cost, \$10.00 per additional \$1000.00 cost

This is not a Permit; you may not commence any work until the Permit is issued.

Copy:

**From:** "Paul W. Austin" <nonesuch@gwi.net>  
**Subject: Re: Fire Separation - 12 Vesper St.**  
**Date:** January 31, 2011 2:51:09 PM EST  
**To:** Jeanie Bourke <JMB@portlandmaine.gov>  
**Cc:** Amy Alward <amyallstate@netscape.net>  
**Bcc:** Colleen Bedard <cbedard@homesinmaine.com>

Dear Jeanie,

I have put a number of drawings in the mail, you should receive them tomorrow. They include worksheets for lot coverage and building expansion, building sections for raising the roof, two existing and proposed elevations, 1st and 2nd floor existing and proposed floor plans.

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>>> "Paul W. Austin" <nonesuch@gwi.net> 1/26/2011 2:10 PM >>>  
Dear Ms. Bourke,

This is in reference to our phone conversation of Jan. 25. I am an architectural designer working with owner Amy Alward on an extensive renovation project for a one family home at 12 Vesper Street.

The newly adopted IRC 2009 building code Chapter 2, Definitions requires Fire Separation Distance (FSD) in certain situations, and Table R302.1 defines various structural limitations based on the Fire Separation Distance.

The 12 Vesper Street structure is parallel with and approximately 9 inches from the side lot line. Because the structure is less than 5 feet from the lot line you have interpreted the ordinance as requiring the entire adjacent two story wall to be 1 hour rated from both sides, and likewise, according to the Table, no openings (i.e. windows or fan vents) will be allowed on that side of the home.

While the Definition covers situations such as distance to lot line, distance to street, alley or public way, and the distance between two buildings, it does not consider one important situation. Portland zoning for this area requires a 10' side yard. There is currently no structure within the 10' setback on the adjacent property, therefore any future construction on that adjacent property could be no closer

than 10' (plus 9 inches) to the 12 Vesper structure. This would insure that the FSD between 12 Vesper and the adjacent home would always be no less than 10 feet, and as such, would not require such stringent construction or limitations per Table R302.1.

Our primary concern is not primarily the additional cost of the fire construction, but that we will be severely limited in providing windows for light and ventilation, as well as exhaust fan venting for two baths on that side of the home. It should also be added that it appears that we will be required to install a complete sprinkler system during this renovation.

We would appreciate your consideration of this situation before we submit plans for a building permit because this Ordinance will effect the final design and drawings. If we can provide any clarification or you would like to meet with us feel free to contact me or Ms. Alward (838-8829).

Thank you for your assistance, regards,

Paul

Paul W. Austin  
Whole Home Resource  
3 Tide Mill Lane  
Scarborough, Maine 04074  
207-883-6050

[nonesuch@gwi.net](mailto:nonesuch@gwi.net)

Paul W. Austin  
Whole Home Resource  
3 Tide Mill Lane  
Scarborough, Maine 04074  
207-883-6050

[nonesuch@gwi.net](mailto:nonesuch@gwi.net)



Front

Drawing: 12 Vesper Street - East Elevation, Existing

Date: March 3, '11

Scale: 1" = 6'

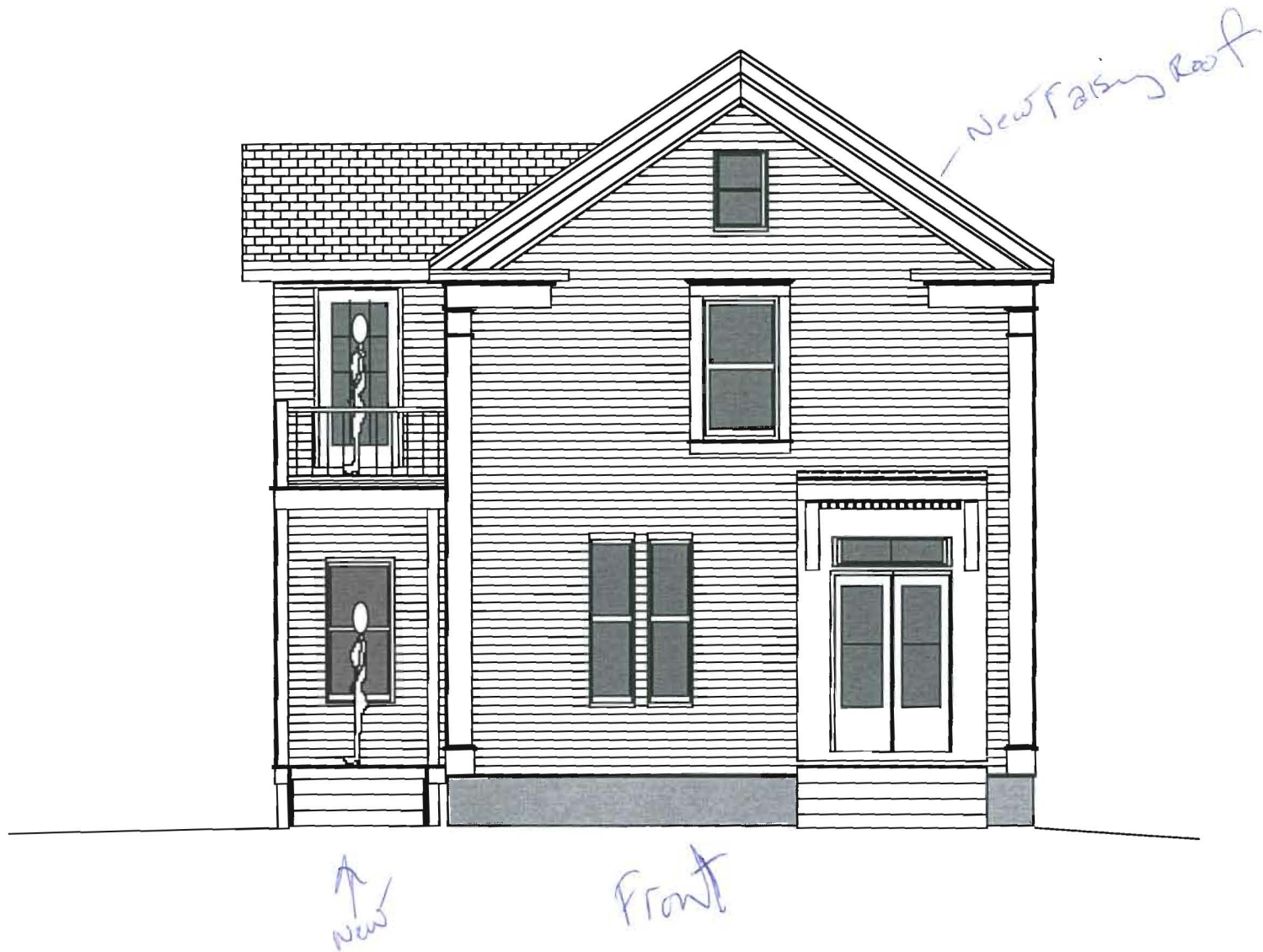
Whole Home Resource

3 Tide Mill Lane, Scarborough, ME 04074

WholeHomeResource.com

207.883.6050





Drawing: 12 Vesper Street - East Elevation, Proposed

Date: March 3, '11

Scale: 1" = 6'

Whole Home Resource

3 Tide Mill Lane, Scarborough, ME 04074

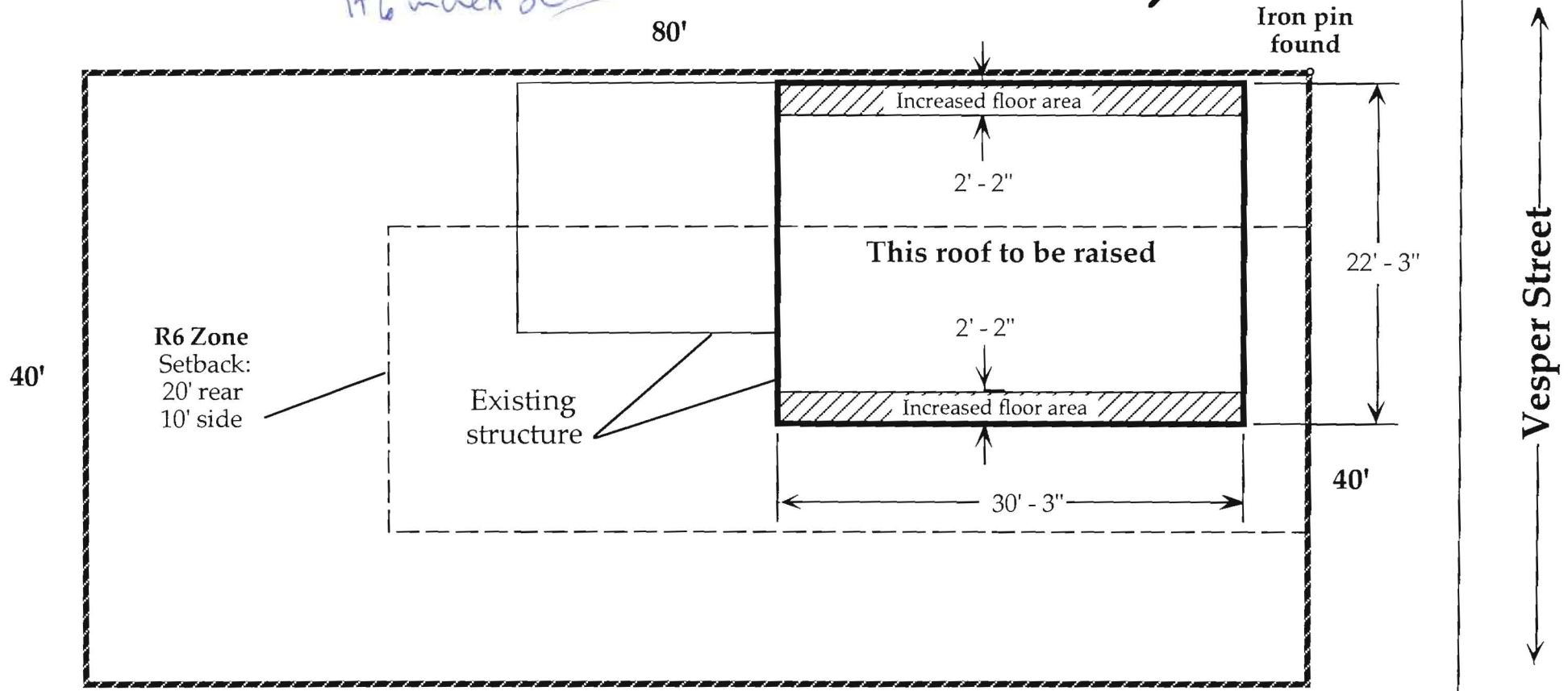
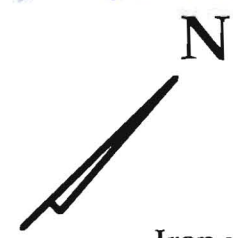
WholeHomeResource.com

207.883.6050

14-436(b) single family - HAS AREA per DU. 3200# lot

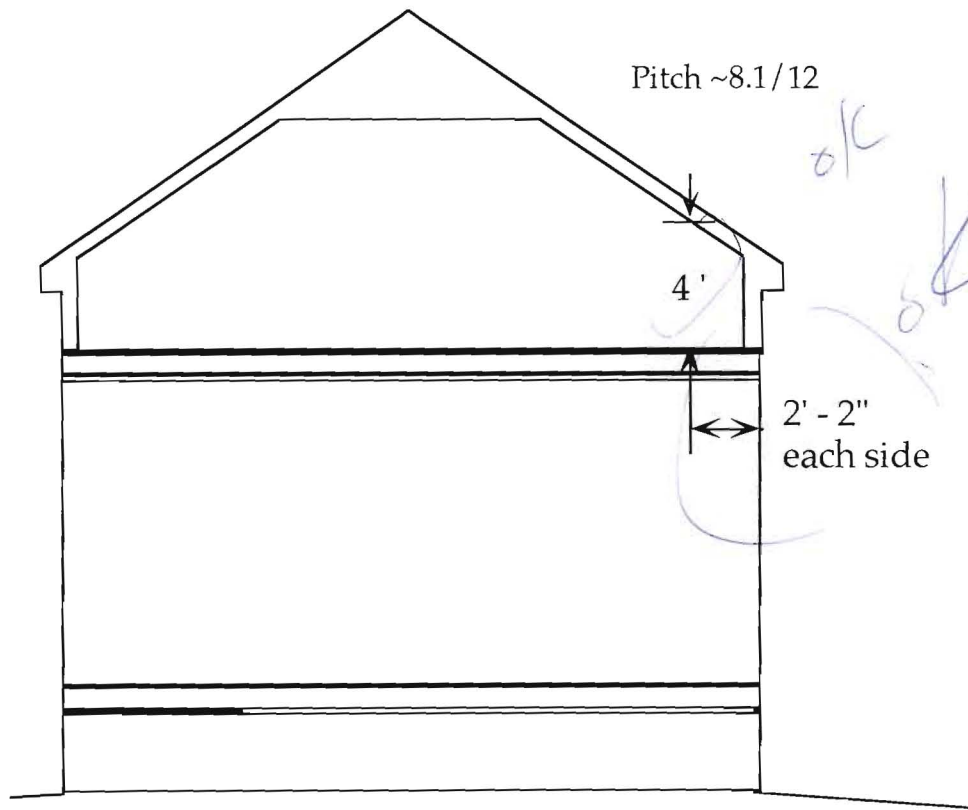
Existing structure, ground floor = 949.5 sqft. total area  
 Max. floor area increase allowed = 80% x 949.5 = 759.6 sqft. increased area allowed  
 Proposed floor area increase = 2' - 2" x 30' - 3" x 2 = 131.1 sqft proposed increase

14% increase

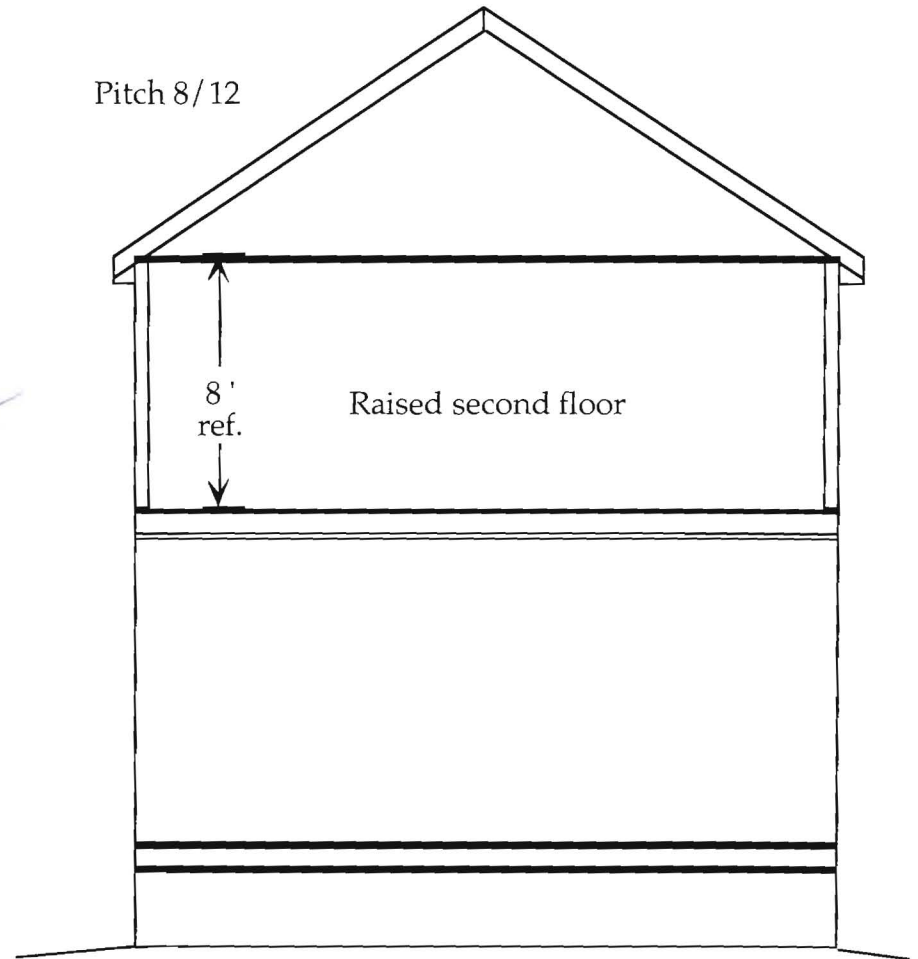


Owner:  
 Amy Alward  
 20 Morning Street  
 Portland, ME 04010  
 207-767-3334  
 CBL 003 K006001

Drawing: 12 Vesper Street - Increased Volume Worksheet, Plan	Date: March 3, '11	Scale: 1" = 10'
Whole Home Resource 3 Tide Mill Lane, Scarborough, ME 04074	WholeHomeResource.com	207.883.6050



Existing Section



Proposed Section

Drawing: 12 Vesper Street - Increased Volume Worksheet, Sections

Date: March 3, '11

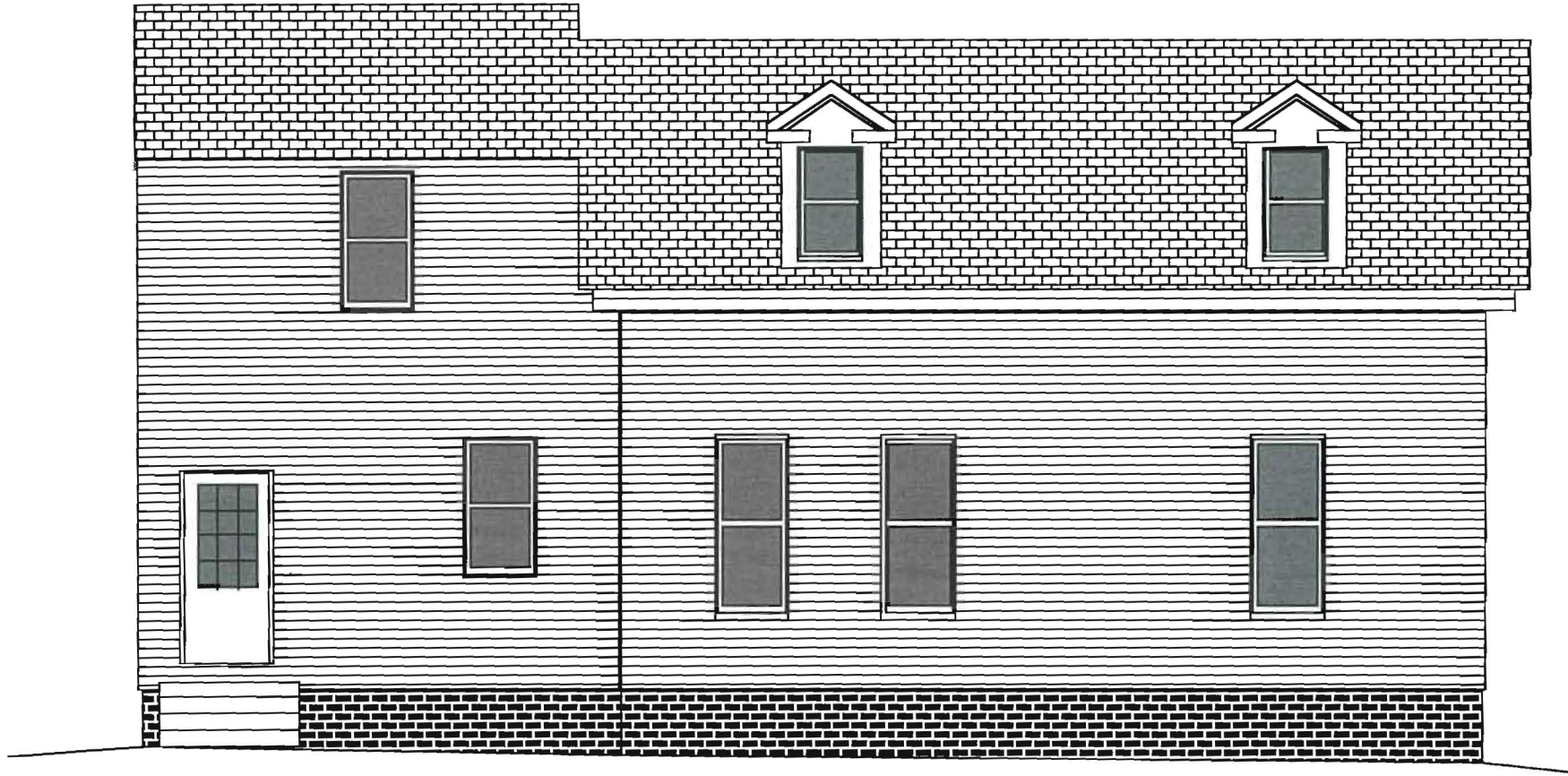
Scale: 1" = 6'

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*Driveway side*

Drawing: 12 Vesper Street - South Elevation, Existing	Date: March 3, '11	Scale: 1" = 6'	
Whole Home Resource	3 Tide Mill Lane, Scarborough, ME 04074	WholeHomeResource.com	207.883.6050

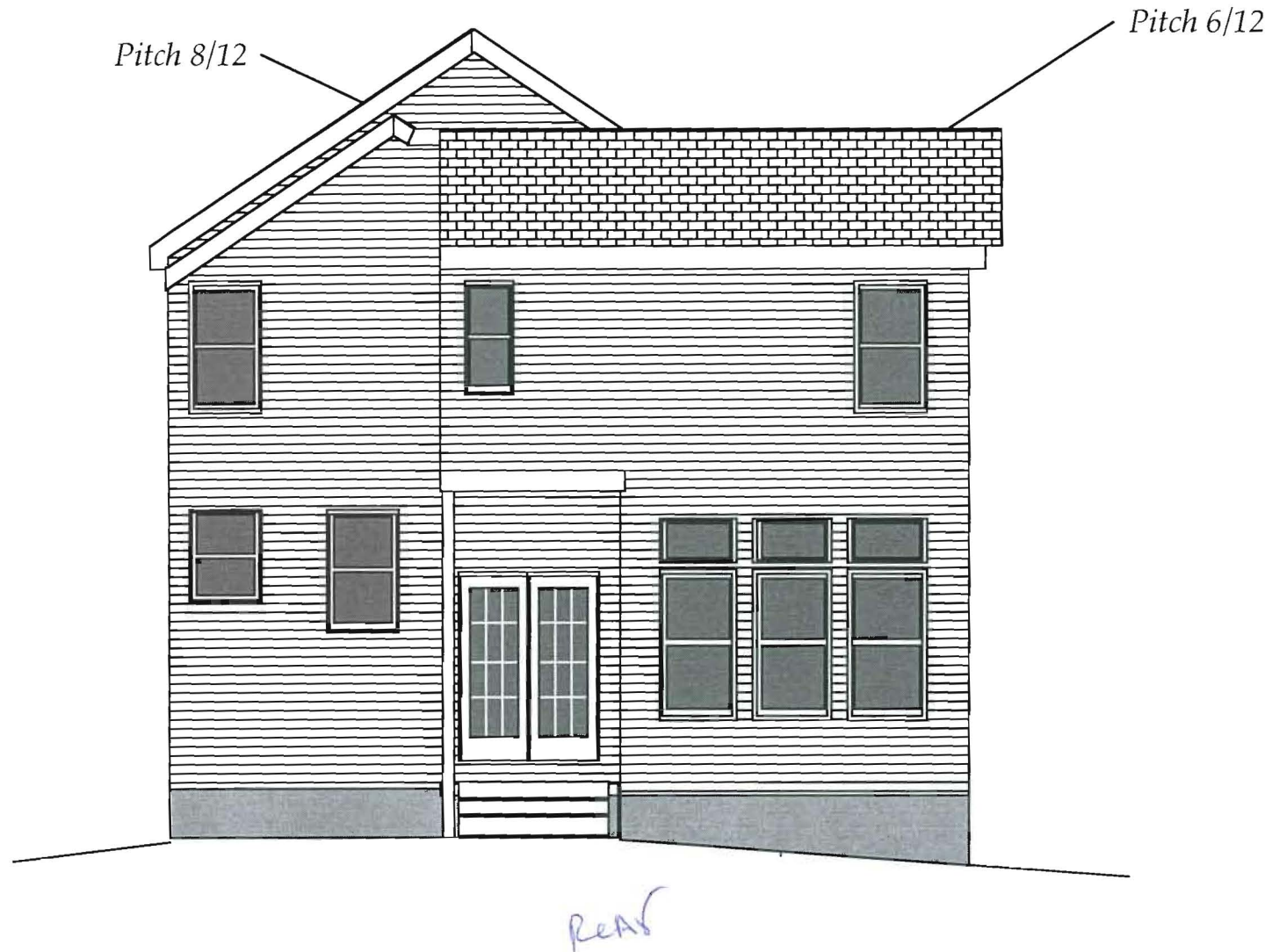
↑ Same height?

↓ New Façade



↑ New

Drawing: 12 Vesper Street - South Elevation, Proposed	Date: March 3, '11	Scale: 1" = 6'	
Whole Home Resource	3 Tide Mill Lane, Scarborough, ME 04074	WholeHomeResource.com	207.883.6050



Drawing: 12 Vesper Street - West Elevation, Proposed

Date: March 3, '11

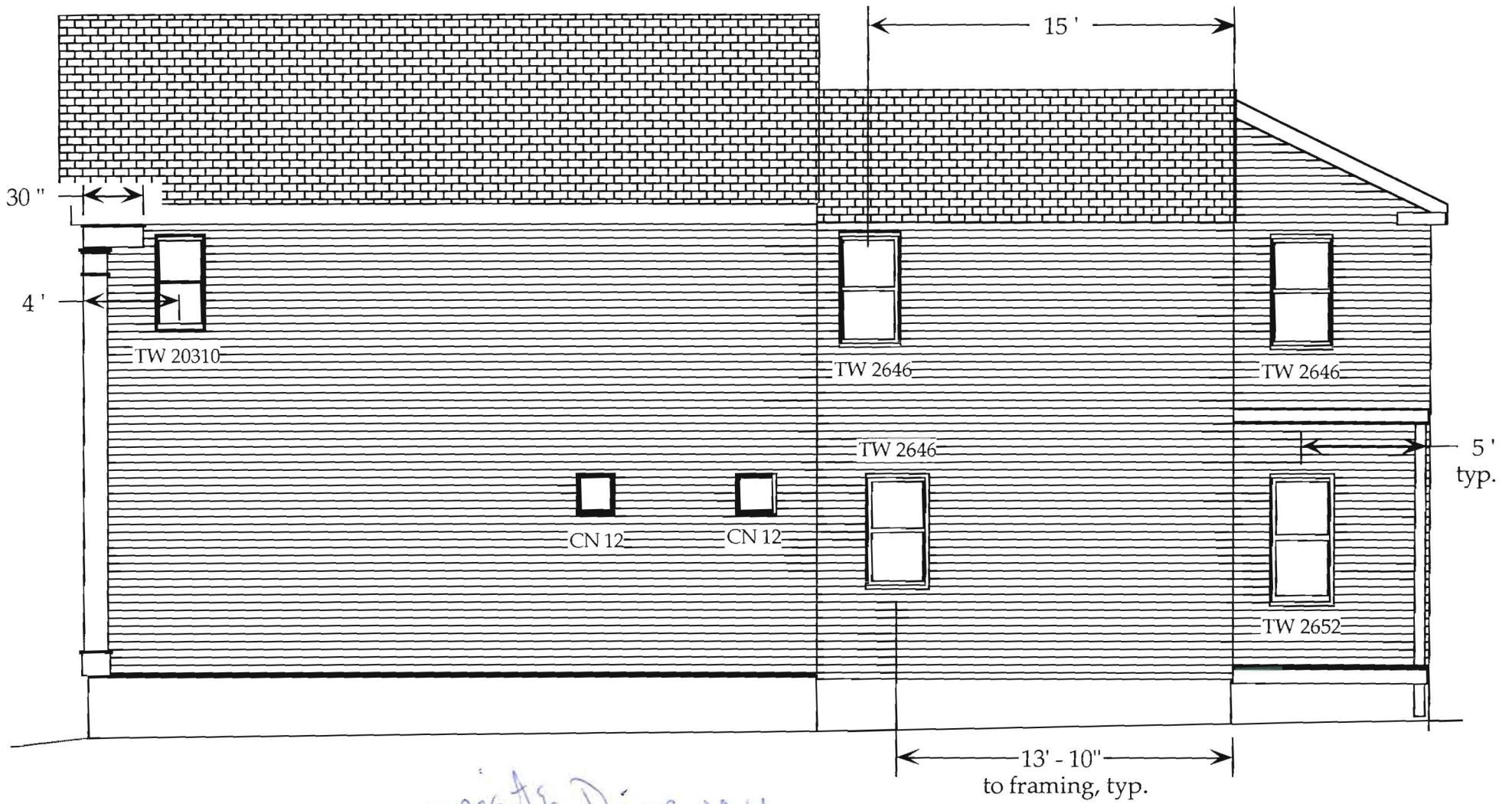
Scale: 1" = 6'

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*opposite Driveway*

Drawing: 12 Vesper Street - North Elevation - Proposed	Date: March 3, '11	Scale: 1" = 6'
<b>Whole Home Resource</b> 3 Tide Mill Lane, Scarborough, ME 04074	WholeHomeResource.com	207.883.6050

## Renovate existing structure

### General Demolition

1. Demo. interior finish, wiring & plumbing (Note: save molded window & door trim, and doors for possible reuse. Front stairs & front doors to be retained and protected from damage.)
2. Remove interior wood wall sheathing and existing kitchen constructed in rear of house
3. Demo. unused, nonstructural, interior walls per Floor Plan drawing (Note: structure under front stairs to be examined after finish is removed, before demolition of this structure for bathroom framing)

### Heating System

1. Remove chimney, remove/replace heating system w/direct vent, forced hot water (radiator locations To Be Determined)

### Roof Reconstruction

1. Demo. roof, rebuild raised roof per drawings, install pull down stair in 2nd floor hallway
2. Northwest wall to be Fire Separation Wall, 1 hr. Rated construction

### Rear Stair Demolition / Reconstruction

1. Remove rear stairway, reframe floor, support with post to footing in cellar floor. Rebuild stair, framing, interior finish. Drawings to be provided

### Construction

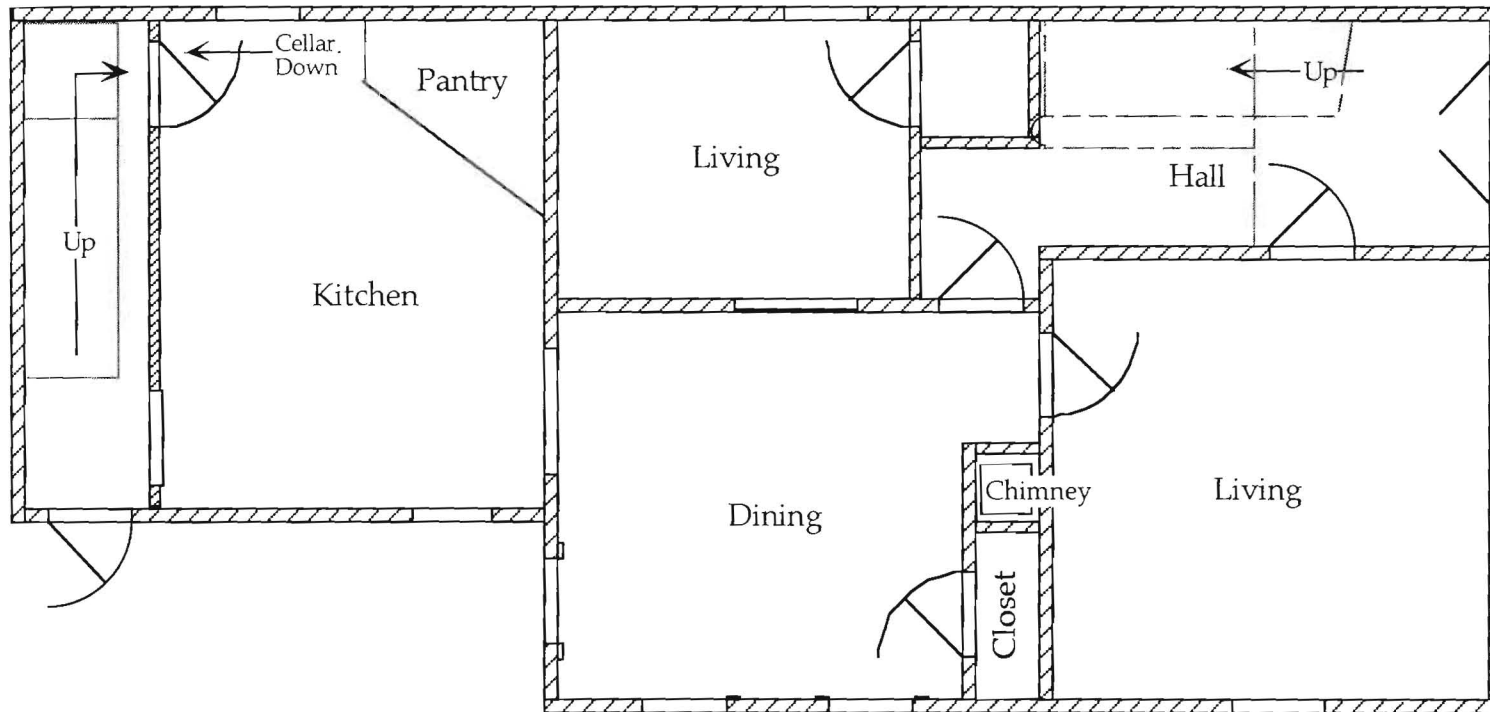
1. Build interior walls per drawings.
2. Install girders in bearing walls, per drawings, support through floor to posts, on 24 x24 x 8" footings in cellar
3. Install headers in non-bearing walls, per drawings
4. Install new wiring system, per drawings to be provided
5. Rough-in new plumbing and wiring per drawing
6. Sprinkler system per Portland Code, sprinkler head required over each window on northwest wall
7. Insulate exterior walls, existing cellar walls, and roofs with closed cell spray foam
8. Install new windows(Andersen 400 or equiv.), close-in unused window openings, per drawings
9. Northwest wall of structure to be Fire Separation Wall, 1 hr. Rated construction per Portland Code
10. Install GWB in front section of house, edge & center bead in rear of house and trim, per drawings

### Construct Addition

1. Build 2 story addition with porches and entry per drawings

Drawing:	12 Vesper Street - Project Scope	Date:	March 3, '11	Scale:	1" = 6'
<b>Whole Home Resource</b>		3 Tide Mill Lane, Scarborough, ME 04074		WholeHomeResource.com 207.883.6050	





Drawing: 12 Vesper Street - First Floor Plan, Existing

Date: March 3, '11

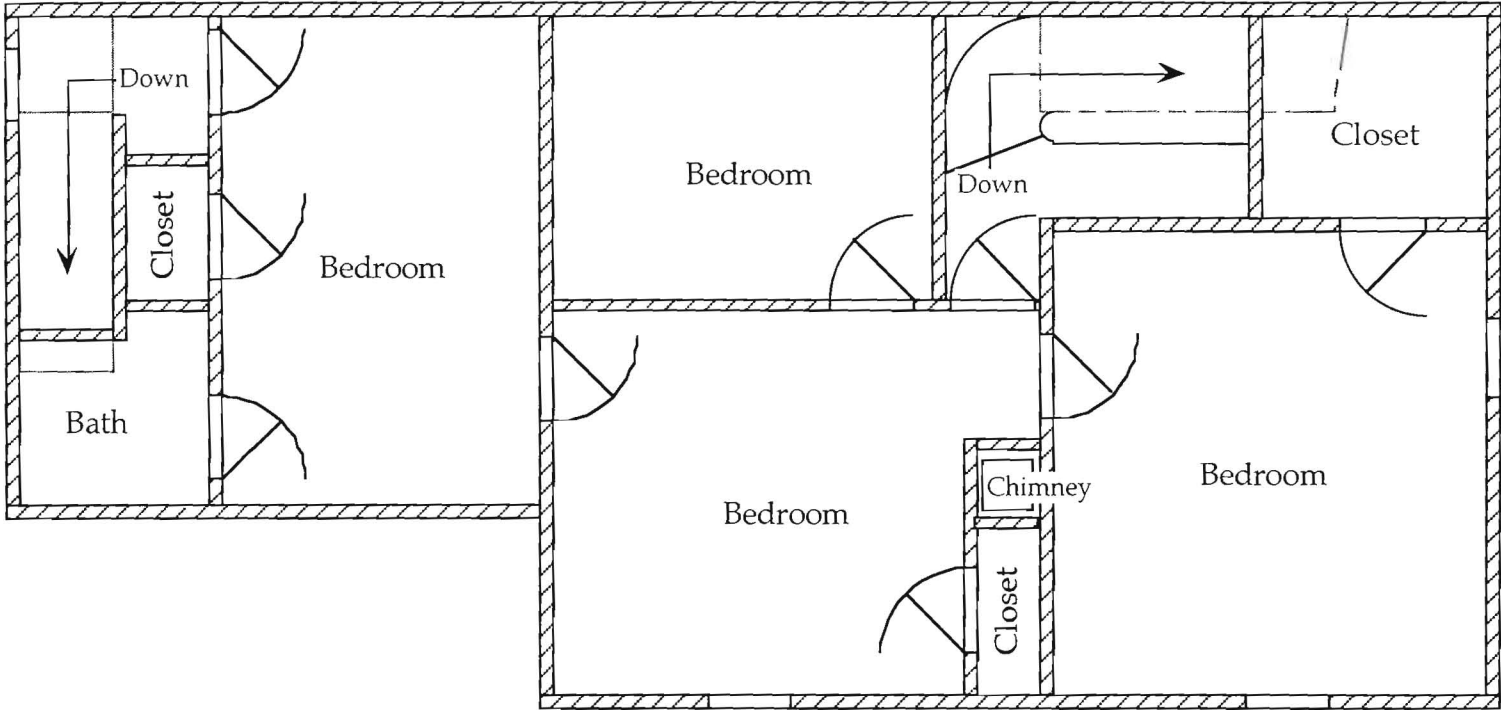
Scale: 1" = 6'

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Drawing: 12 Vesper Street - Second Floor Plan, Existing

Date: March 3, '11

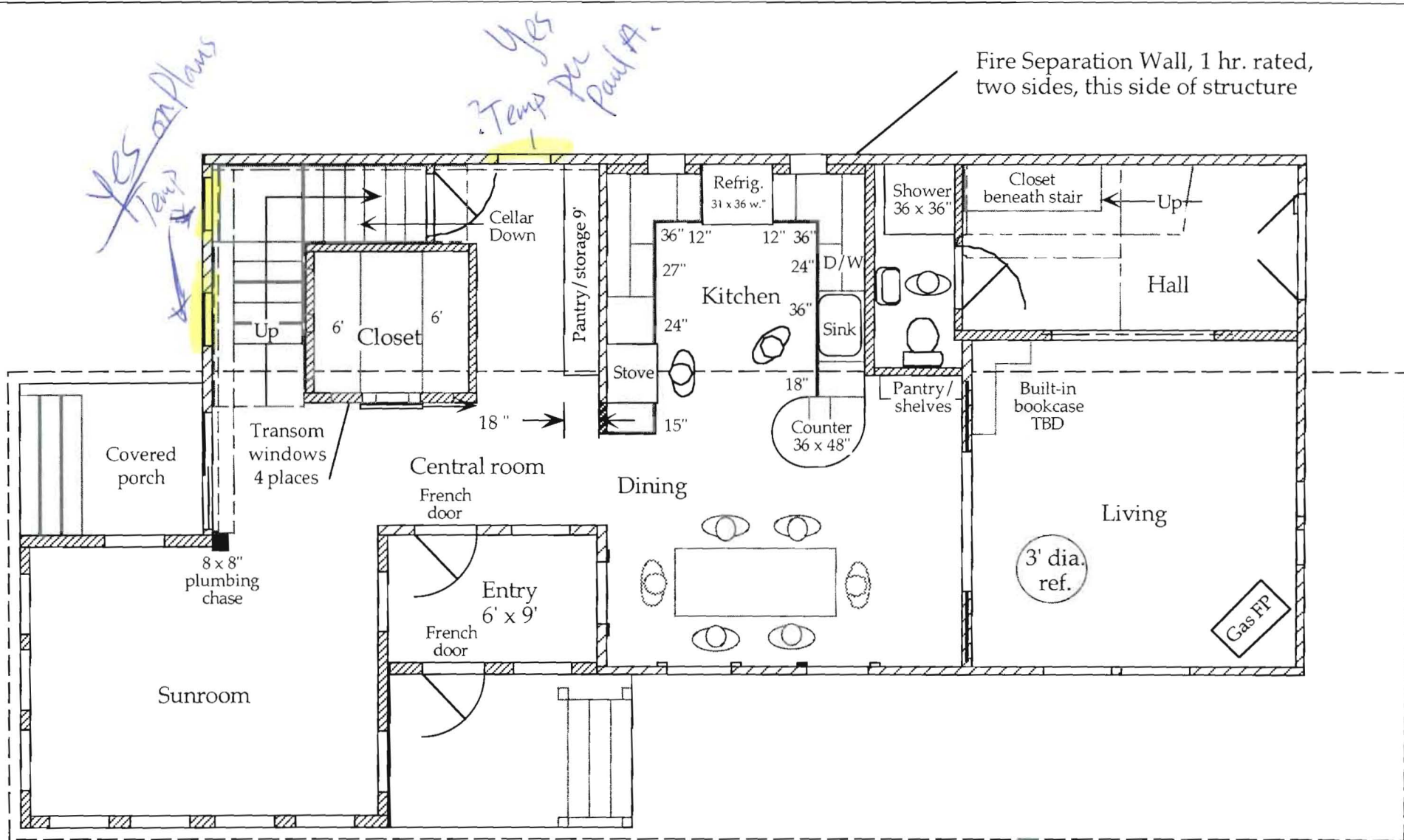
Scale: 1" = 6'

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Existing walls

Proposed walls

Drawing: 12 Vesper Street - First Floor Plan - Proposed

Date: March 3, '11

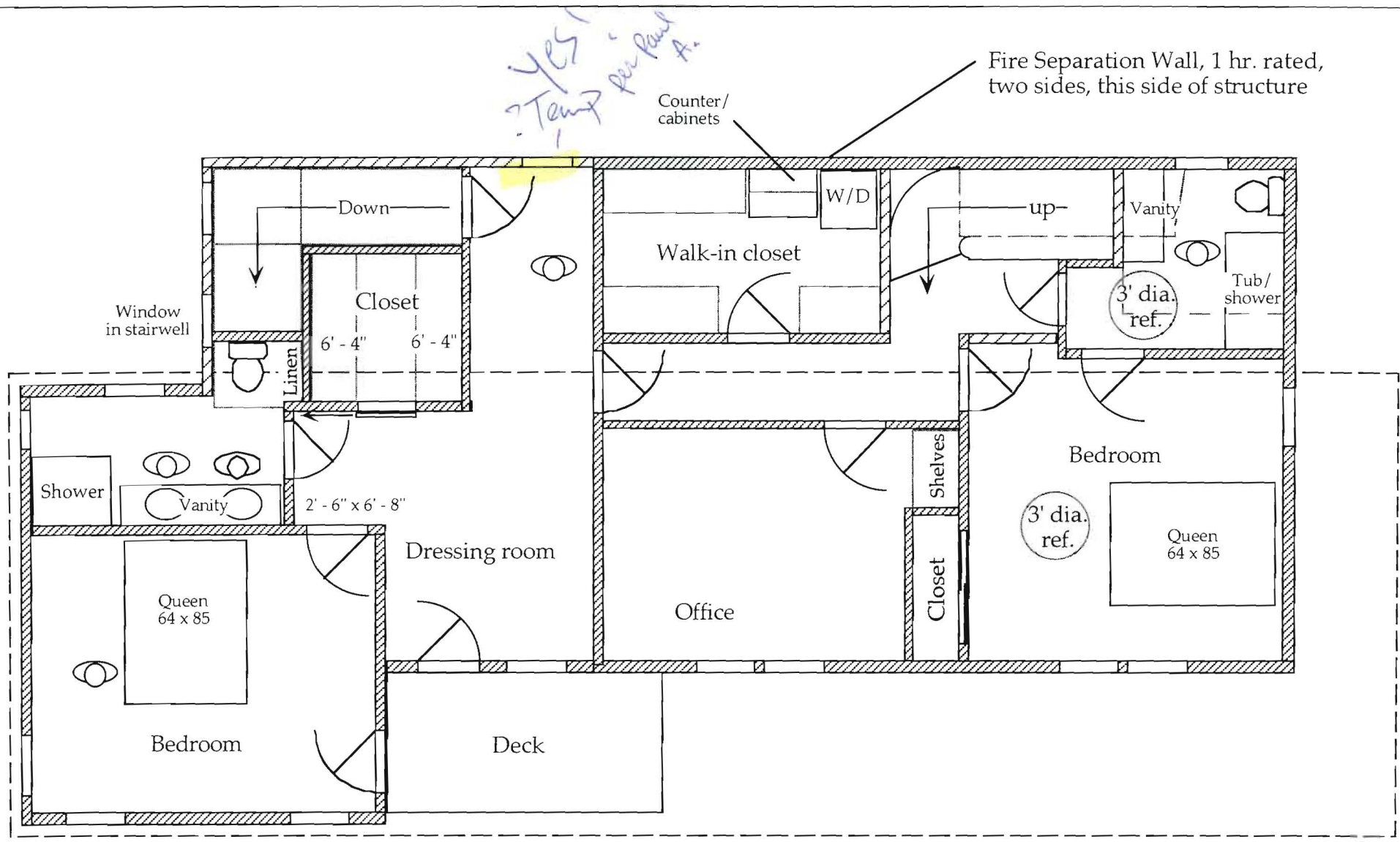
Scale: 1" = 6'

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*Yes!  
Temp per plan A.*

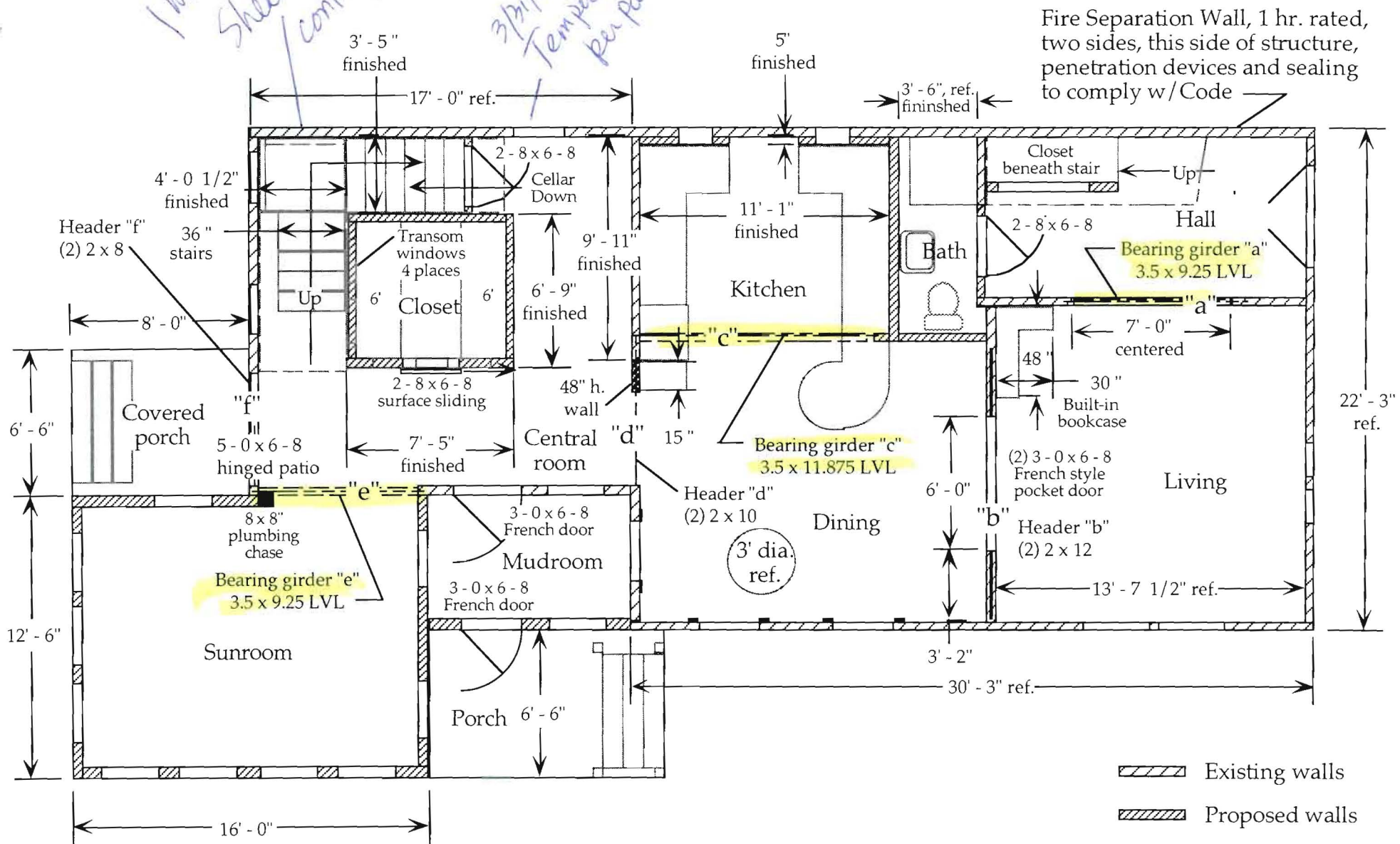
Fire Separation Wall, 1 hr. rated, two sides, this side of structure

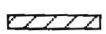

Counter/cabinets

Existing walls  
Proposed walls

Drawing: 12 Vesper Street - Second Floor Plan <i>- Proposed</i>	Date: March 3, '11	Scale: 1" = 6'
<b>Whole Home Resource</b>	3 Tide Mill Lane, Scarborough, ME 04074	WholeHomeResource.com 207.883.6050

1 hr rated  
Sheetrock / continuity  
3/31/11  
Tempered  
per paul #.

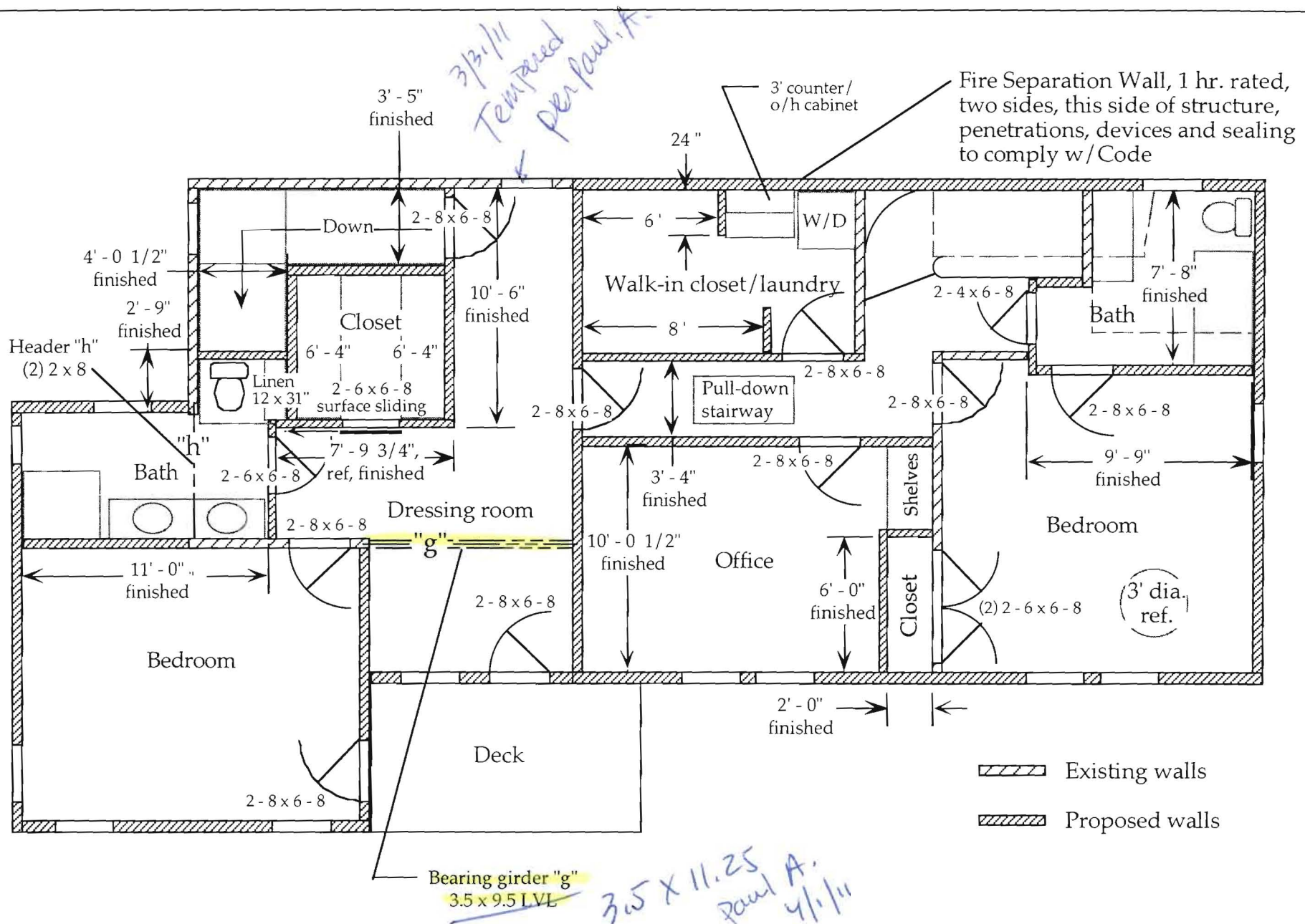


 Existing walls  
 Proposed walls

**Note:** Sprinkler system throughout to meet Portland Code, sprinkler head req'd at each window in Fire Separation Wall

Drawing:	12 Vesper Street - First Floor Dimensions	Date:	March 3, '11	Scale:	1" = 6'
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Whole Home Resource	3 Tide Mill Lane, Scarborough, ME 04074	WholeHomeResource.com	207.883.6050
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**Note:**

Sprinkler system throughout to meet Portland Code, sprinkler head req'd at each window in Fire Separation Wall

Drawing: 12 Vesper Street - Second Floor Dimensions

Date: March 3, '11

Scale: 1" = 6'

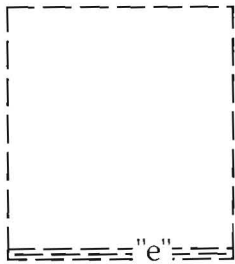
**Whole Home Resource**

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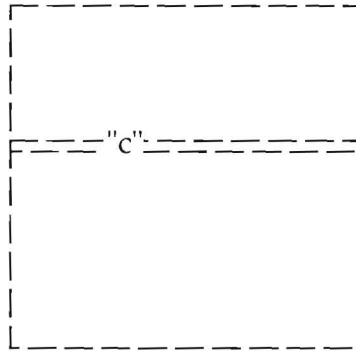
Girder "e"



Height = 7'-10"

Width = 7'-1"

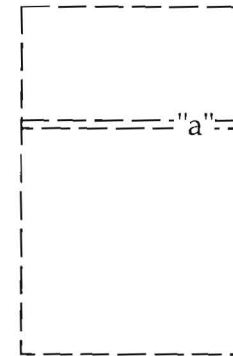
Girder "c"



Height = 10'-9"

Width = 11'-1"

Girder "a"



Height = 10'-11"

Width = 7'-0"

2nd floor

live = 40 lb/sqft x 7.83' = 313.2 lb/linft

dead = 14.5 lb/sqft x 7.83' = 113.5 lb/linft

Roof

live = 40 lb/sqft x 7.83' = 313.2 lb/linft

dead = 8.5 lb/sqft x 9.25' = 78.6 lb/linft

length, roof = 9' - 4"

2nd floor ceiling

live = 20 lb/sqft x 7.83' = 156.6 lb/linft

dead = 11.5 lb/sqft x 7.83' = 90 lb/linft

Exterior wall = 18 lb/sqft x 8' = 144 lb/linft

live = 783 lb/linft

dead = 426.1 lb/linft

Total = 1209.1 lb/linft

3.5 x 9.25 GP Lam LVL (1446 lb/linft rated)

2nd floor

live = 40 lb/sqft x 10.75' = 430 lb/linft

dead = 14.5 lb/sqft x 10.75' = 155.9 lb/linft

2nd floor ceiling

live = 20 lb/sqft x 10.75' = 215 lb/linft

dead = 11.5 lb/sqft x 10.75' = 123.6 lb/linft

Interior wall =

dead = 20 lb/sqft x 10.75' = 215 lb/linft

live = 645 lb/linft

dead = 495.5 lb/linft

Total = 1139.5 lb/linft

3.5 x 11.875 GP Lam LVL (1328 lb/linft rated)

2nd floor

live = 40 lb/sqft x 10.92' = 436.8 lb/linft

dead = 14.5 lb/sqft x 10.92' = 158.3 lb/linft

2nd floor ceiling

live = 20 lb/sqft x 10.92' = 218.4 lb/linft

dead = 11.5 lb/sqft x 10.92' = 125.6 lb/linft

Interior wall =

dead = 20 lb/sqft x 10.92' = 218.4 lb/linft

live = 655.2 lb/linft

dead = 502.3 lb/linft

Total = 1157.5 lb/linft

3.5 x 9.25 GP Lam LVL (1398 lb/linft rated)

Drawing:

12 Vesper Street - Girder Worksheet, First Floor

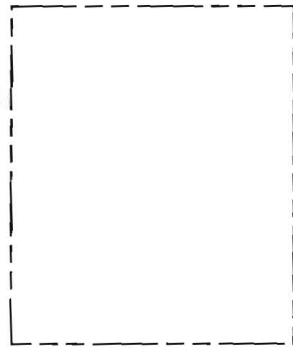
Date:

March 3, '11

Scale:

None

### Girder "g"



Width = 9'-0"

Height = 10'-8"

#### Gable roof

live =  $40 \text{ lb/sqft} \times 10.66' = 426.4 \text{ lb/linft}$   
dead =  $8.5 \text{ lb/sqft} \times 10.66' = 90.6 \text{ lb/linft}$

#### 2nd floor ceiling

dead =  $6.5 \text{ lb/sqft} \times 10.66' = 69.3 \text{ lb/linft}$



Width = 9'-0"

Height = 7'-9"

#### Shed roof

live =  $40 \text{ lb/sqft} \times 7.75' = 310 \text{ lb/linft}$   
dead =  $8.5 \text{ lb/sqft} \times 7.75' = 66.7 \text{ lb/linft}$

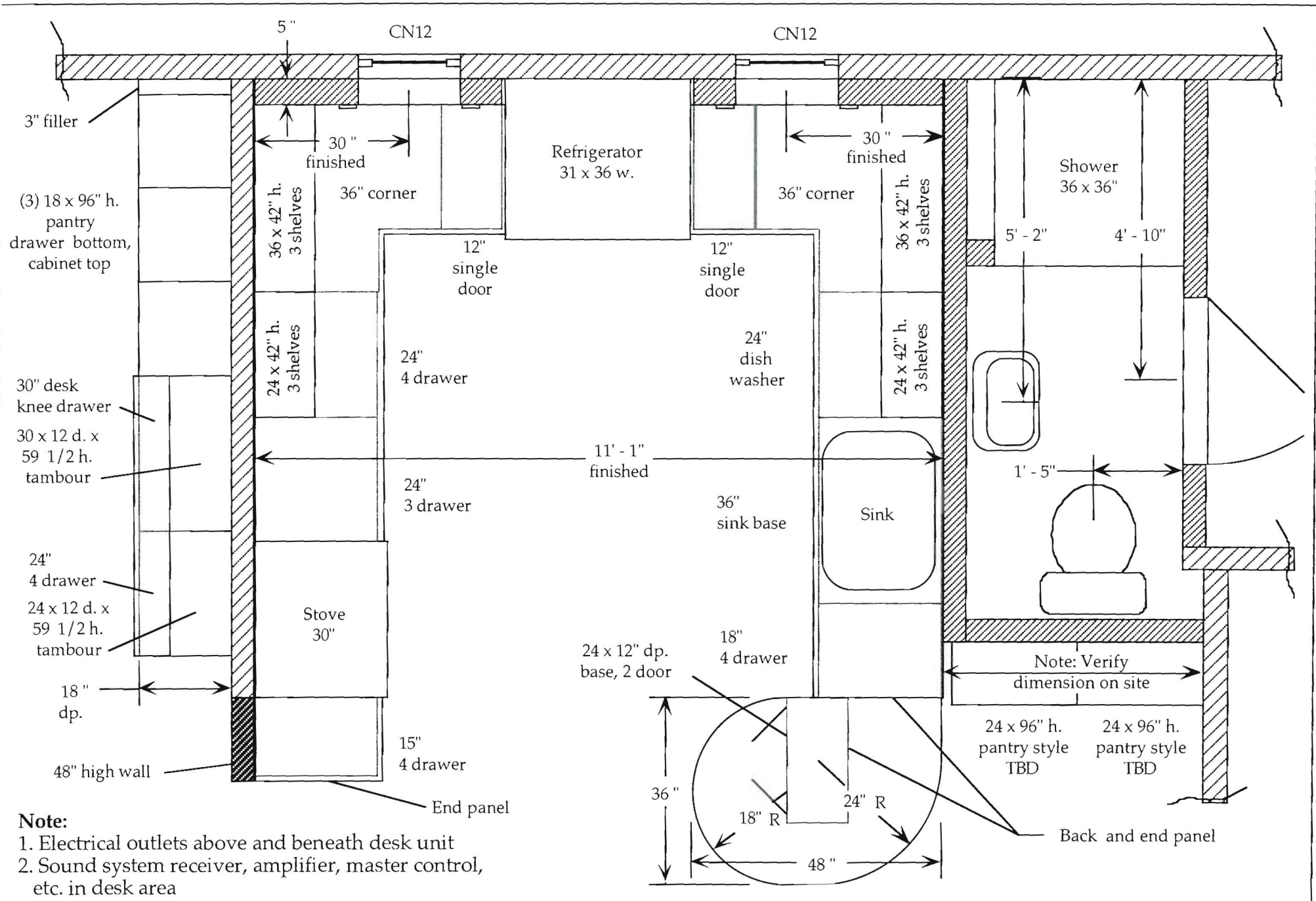
live = 736.4 lb/linft  
dead = 226.6 lb/linft  
Total = 963 lb/linft

3.5 x 9.5 GP Lam LVL (1035 lb/linft rated)

*4/1/11 3x5" x 11.25"  
per panel A. 4/1/11*

Drawing:	12 Vesper Street - Girder Worksheet, Second Floor	Date:	March 3, '11	Scale:	None
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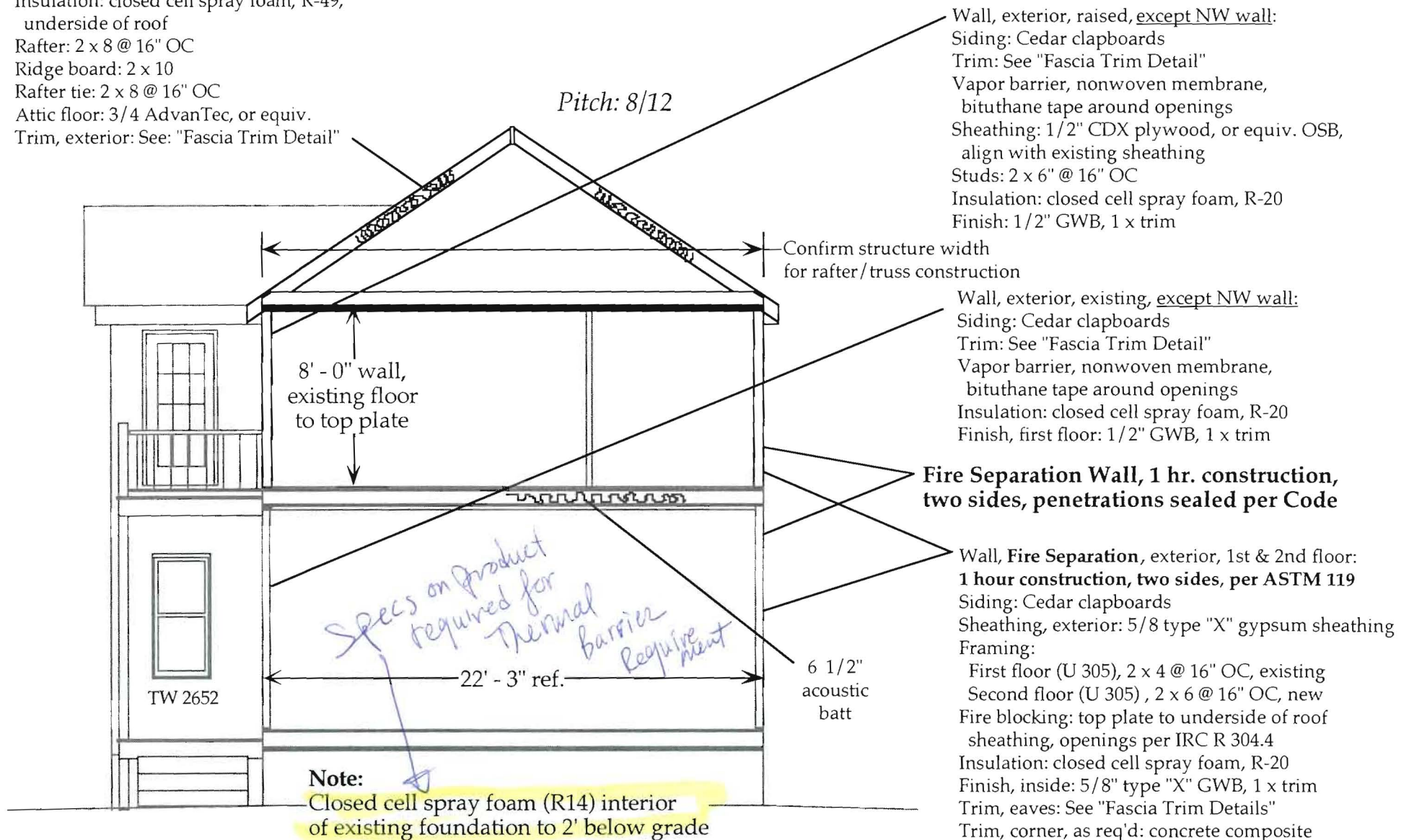




Drawing:	12 Vesper Street - Kitchen, Pantry Area & Bath Detail	Date:	March 3, '11	Scale:	1" = 2'
Whole Home Resource		3 Tide Mill Lane, Scarborough, ME 04074		WholeHomeResource.com 207.883.6050	

Roof:  
 Covering: asphalt shingles,  
 bituthane membrane all over  
 Sheathing: 5/8 CDX plywood, or equiv. OSB  
 Insulation: closed cell spray foam, R-49,  
 underside of roof  
 Rafter: 2 x 8 @ 16" OC  
 Ridge board: 2 x 10  
 Rafter tie: 2 x 8 @ 16" OC  
 Attic floor: 3/4 AdvanTec, or equiv.  
 Trim, exterior: See: "Fascia Trim Detail"

**Note:**  
**Insulation and seam sealing per IEEC 2009**



Drawing: 12 Vesper Street - Raised Roof Construction Specifications

Date: March 3, '11

Scale: 1" = 6'

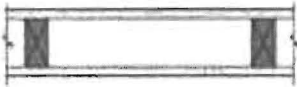
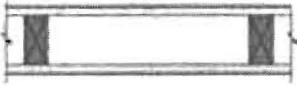
Whole Home Resource

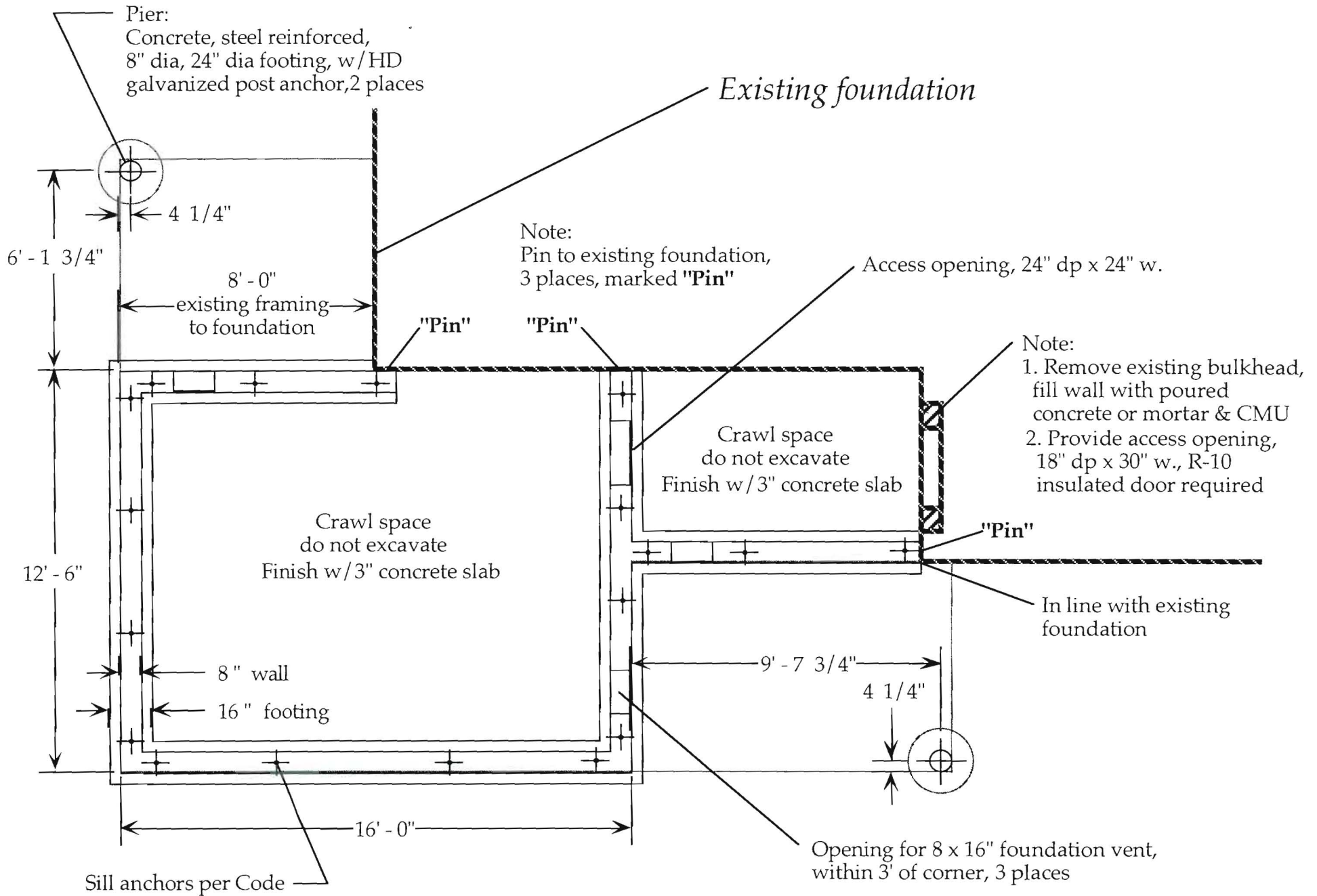
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**Gypsum Wallboard Partitions-Wood Framing (load-bearing)** (CAD FILE NAME GOLDH.DWG OR GOLDH.DXF)

No.	Fire Rating		Ref.	Design No.	Description	STC	Test No.
<b>FIRE – SOUND</b>							
1	45 min.		UL	U317	1/2" (12.7 mm) Fire-Shield C Gypsum Wallboard or 1/2" (12.7 mm) Fire-Shield C Kal-Kore plaster base nailed both sides 2 x 4 (38 mm x 89 mm) studs, 16" o.c. (406 mm).	34	NGC 2161
2	1 hr.		UL GA	U305 WP 3605	5/8" (15.9 mm) Fire-Shield Gypsum Wallboard, 5/8" (15.9 mm) Fire-Shield Kal-Kore plaster base or 5/8" (15.9 mm) Fire-Shield MR Board nailed both sides 2 x 4 (38 mm x 89 mm) wood studs, 16" o.c. (406 mm).	35	NGC 2403



Drawing: 12 Vesper Street - Foundation Plan, Addition

Date: March 3, '11

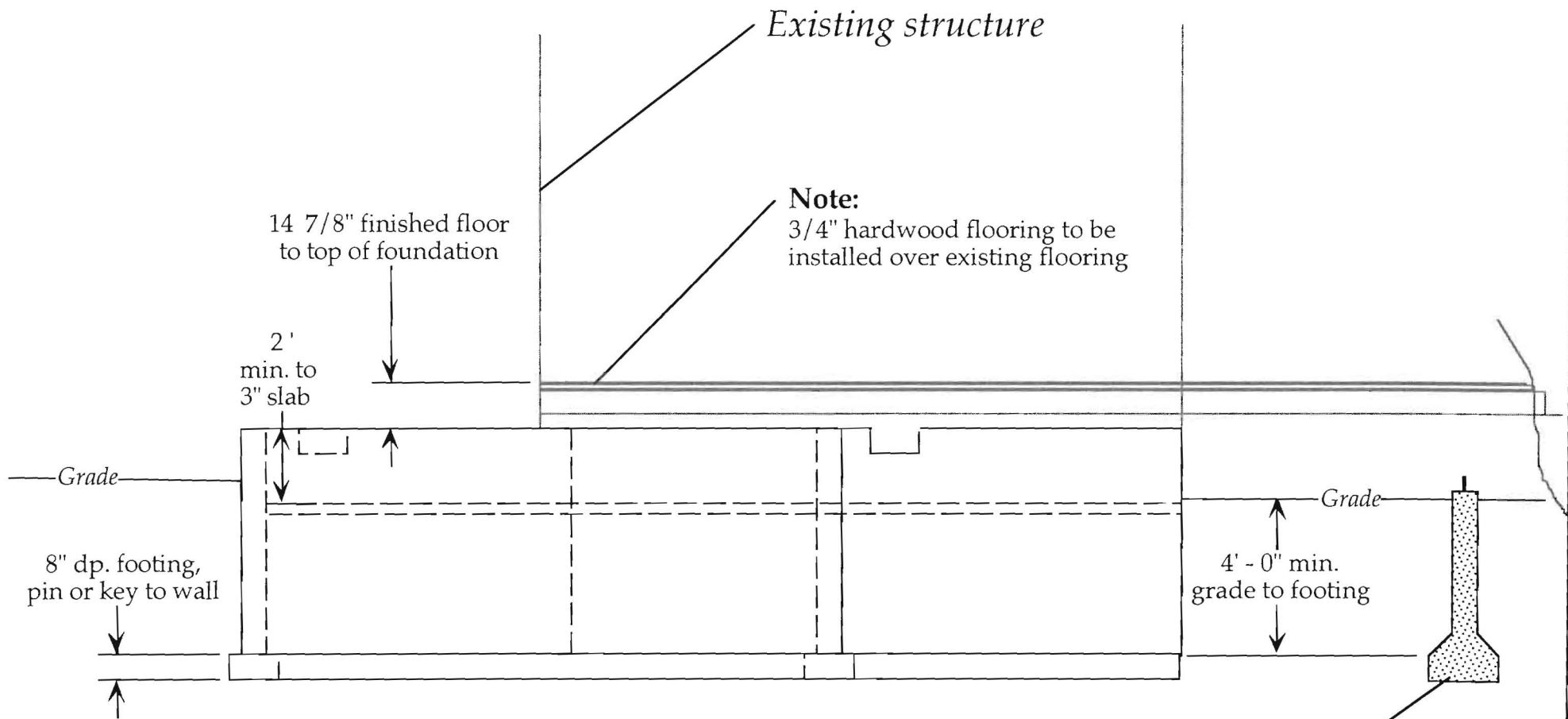
Scale: 1" = 4'

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Foundation:  
 Sill anchor: 1/2" bolt or strapping, spacing per Code  
 Wall: 8" thk. concrete, steel reinforce,  
 pin and bond to existing wall, openings per drawing  
 Footing: 8" dp. x 16" w., concrete,  
 steel reinforce, pin or key to existing wall  
 Floor: 3" concrete, 6 mil polyethylene  
 vapor barrier beneath

Pier: 8" dia, "Bigfoot", or equiv., 2 places

Drawing: 12 Vesper Street - Foundation Elevation, Addition

Date: March 3, '11

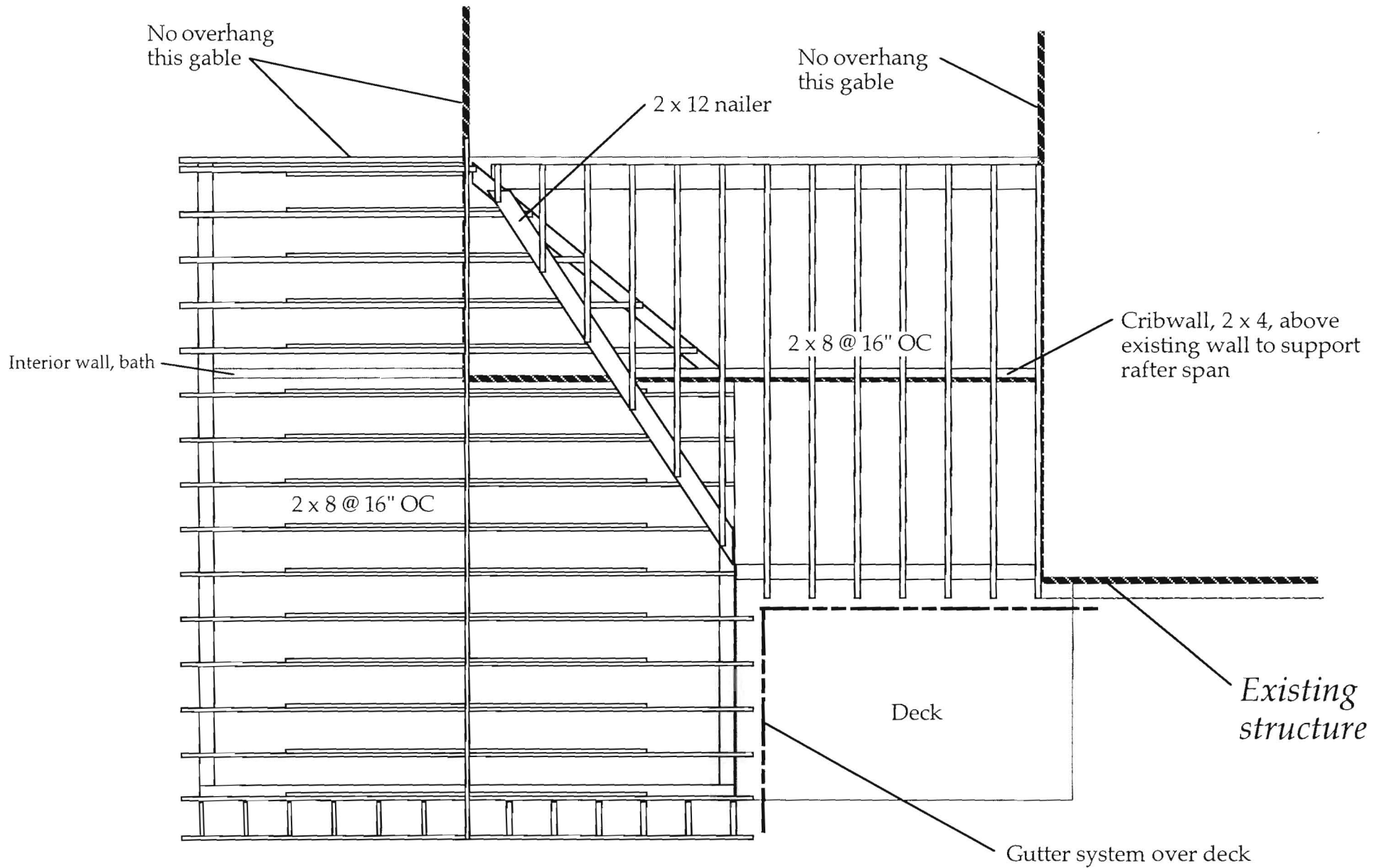
Scale: 1" = 4'

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Drawing: 12 Vesper Street - Framing Plan, Addition, Roof

Date: March 3, '11

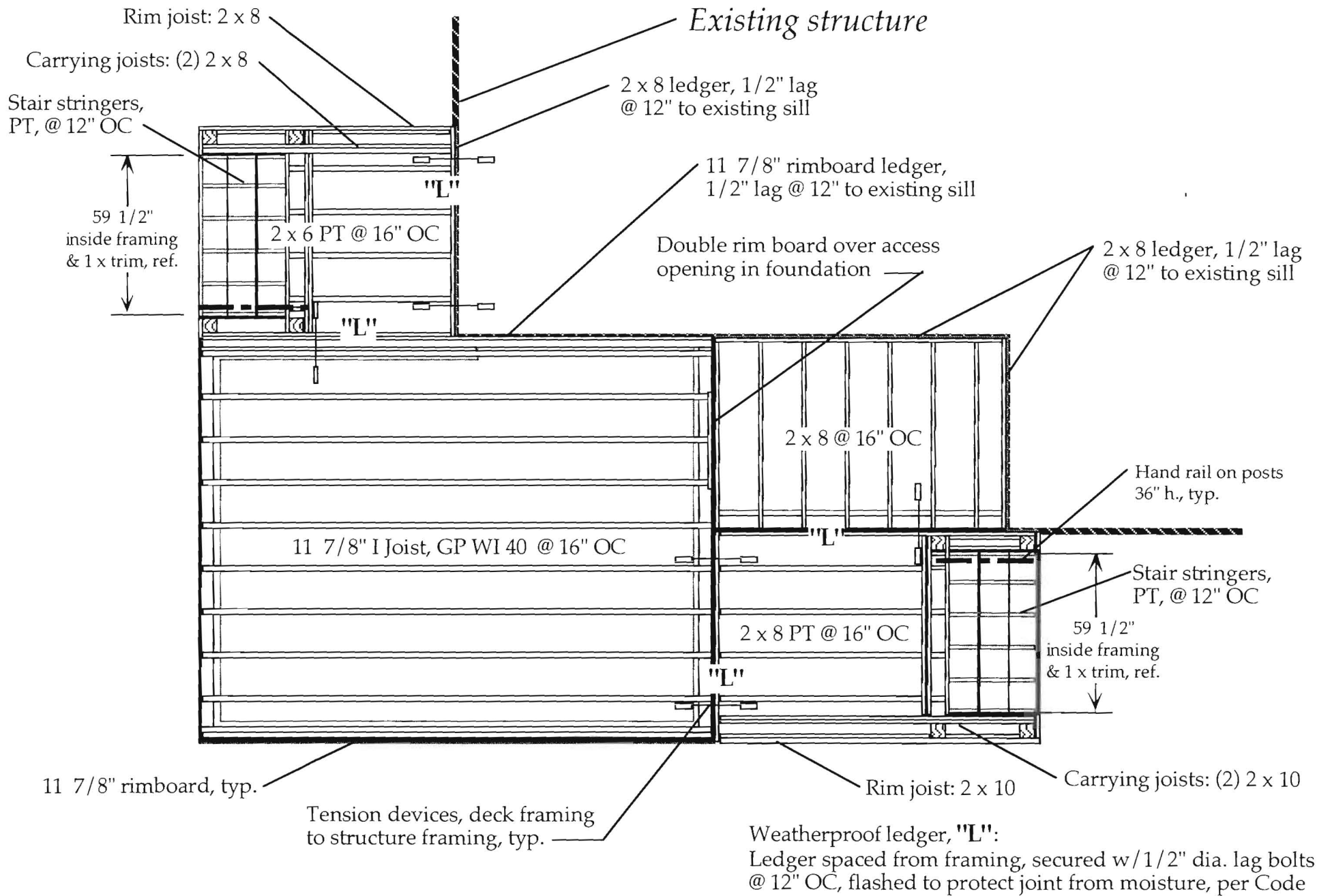
Scale: 1" = 4'

Whole Home Resource

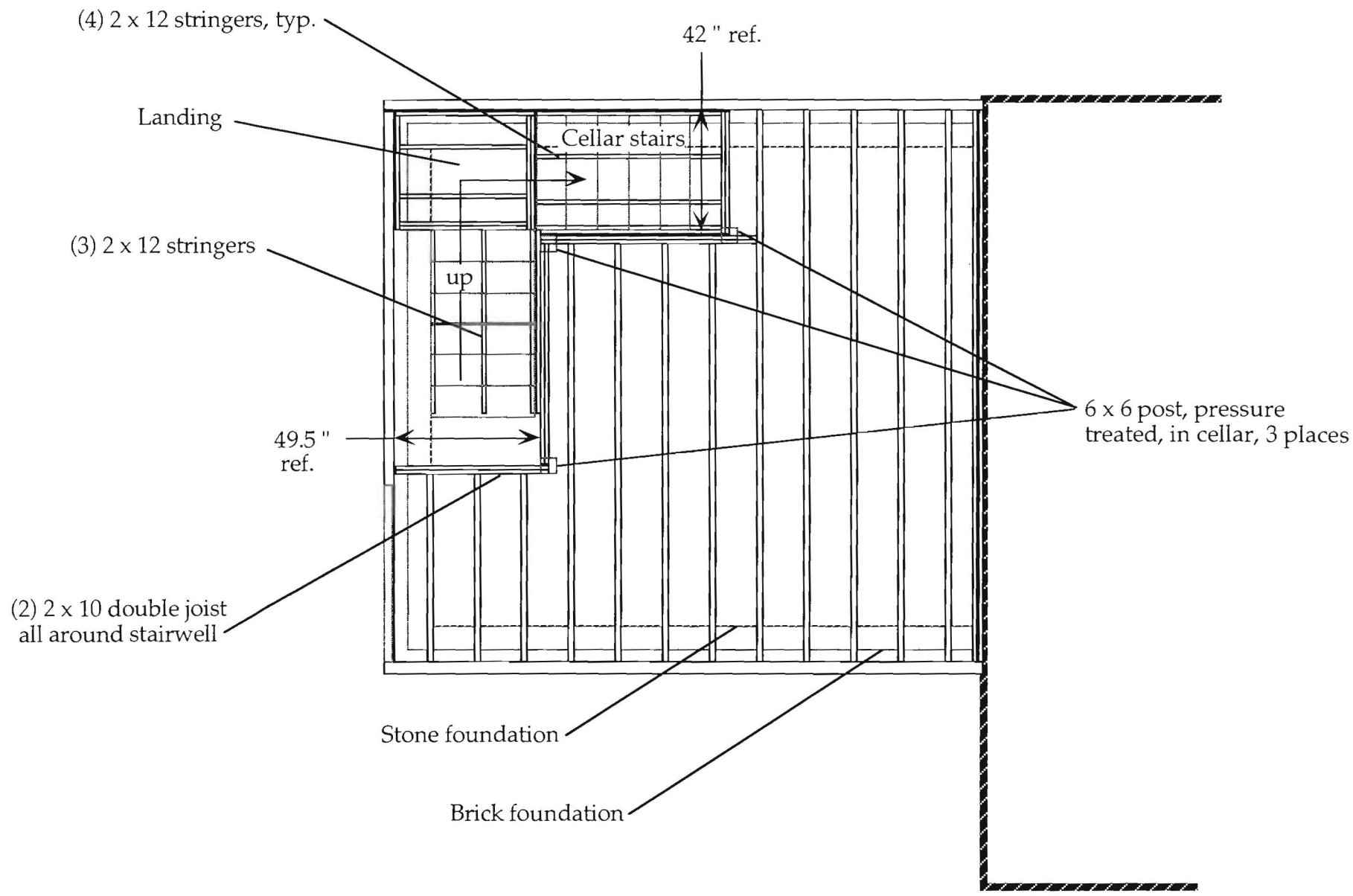
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Drawing:	12 Vesper Street - Framing Plan, Addition, First Floor	Date:	March 3, '11	Scale:	1" = 4'
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(4) 2 x 12 stringers, typ.

*3/31/11  
Sheetrock  
continuation  
1/4" wall  
exterior  
separation.*

42" ref.

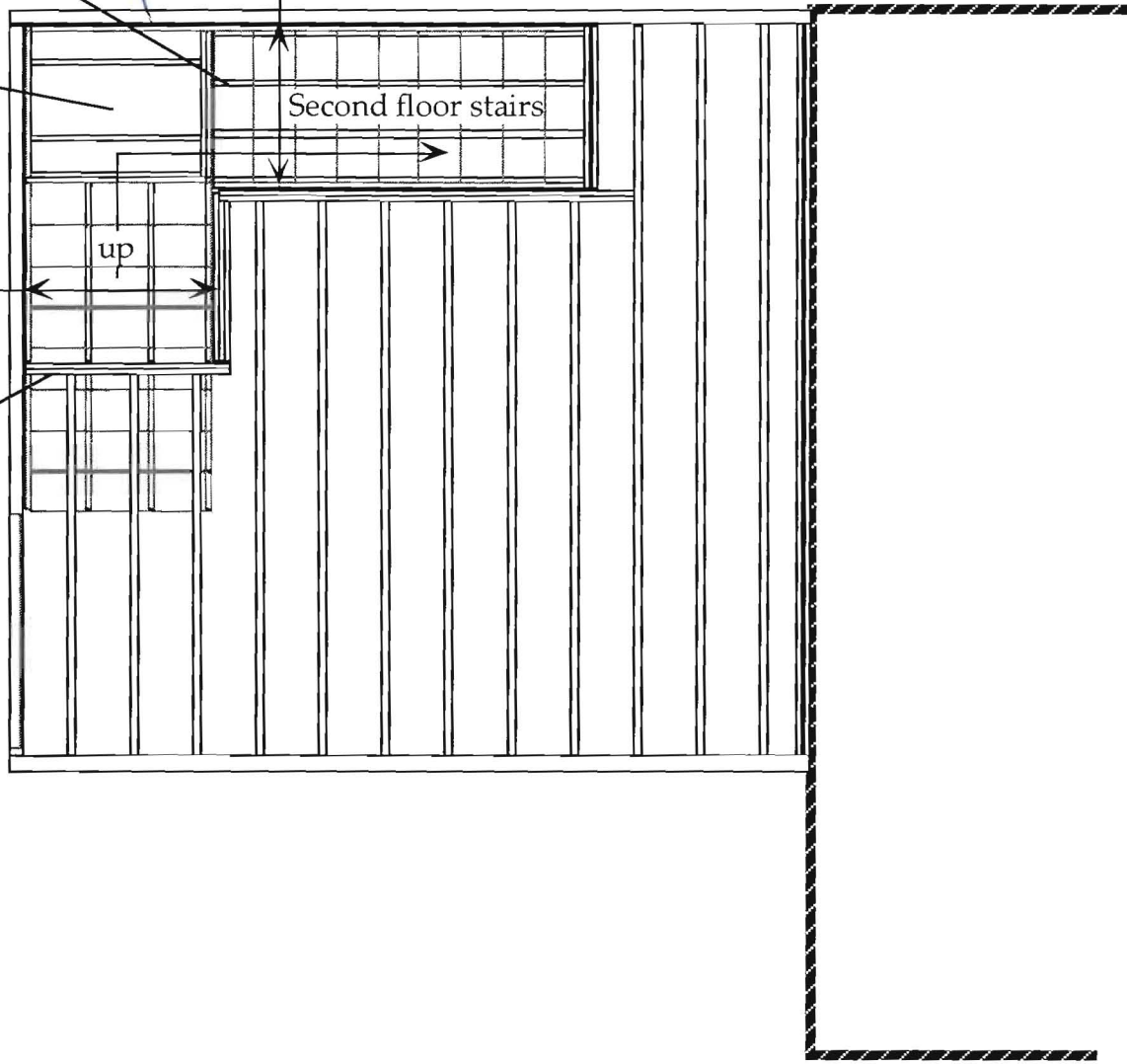
Landing

Second floor stairs

up

49.5" ref.

(2) 2 x 10 double joist  
all around stairwell



Drawing: 12 Vesper Street - Framing, Renovation, Second Floor

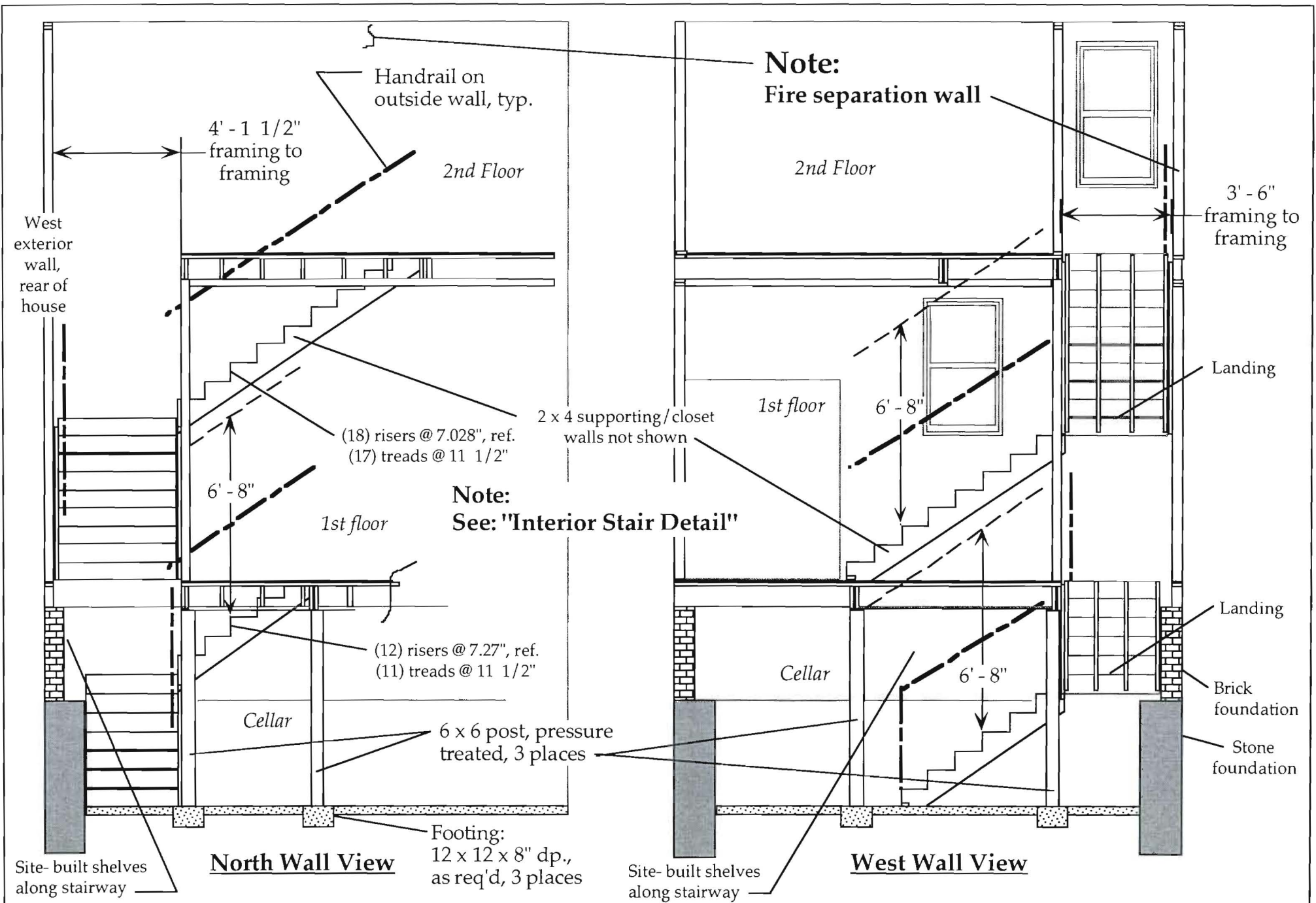
Date: March 3, '11

Scale: 1" = 4'

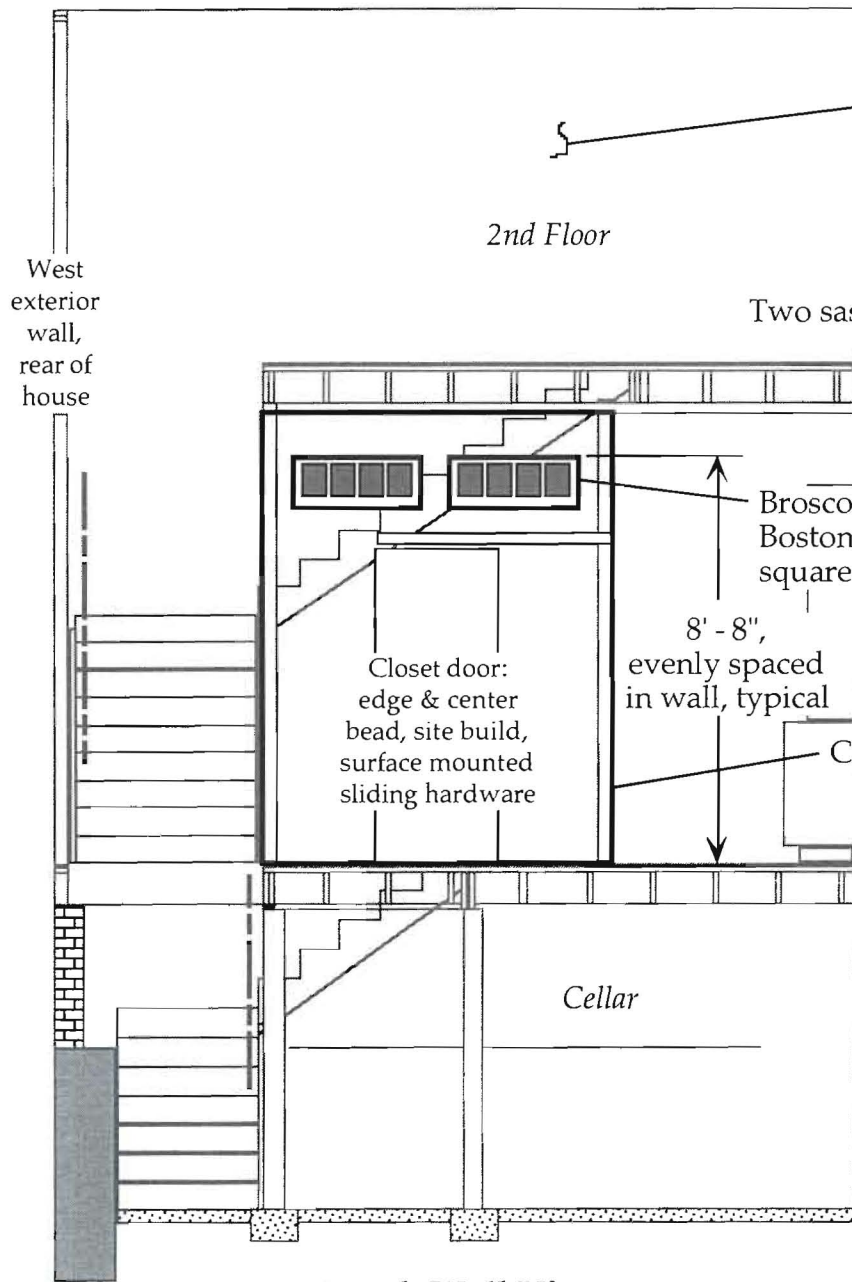
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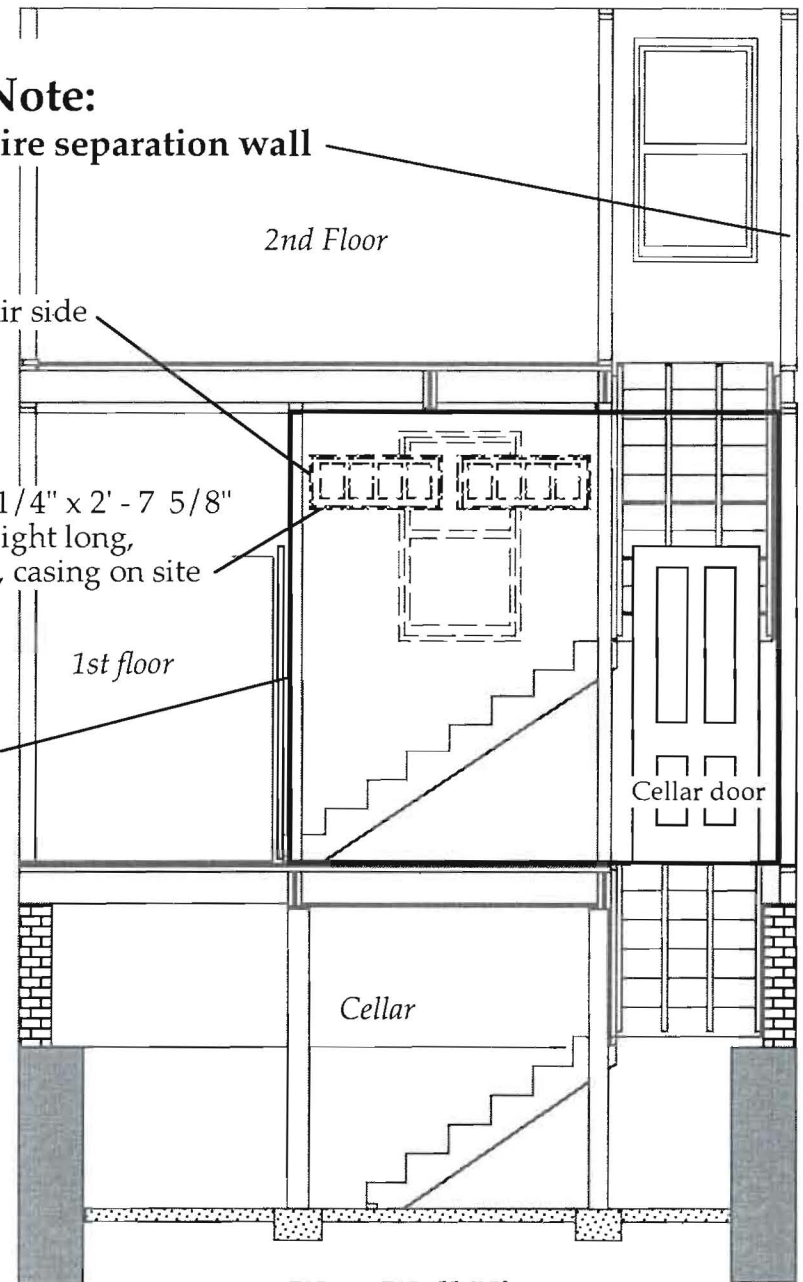


Drawing: **12 Vesper Street - Stair Framing Views, Renovation** Date: **March 3, '11** Scale: **1" = 4'**



**North Wall View**

**Note:**  
Fire separation wall



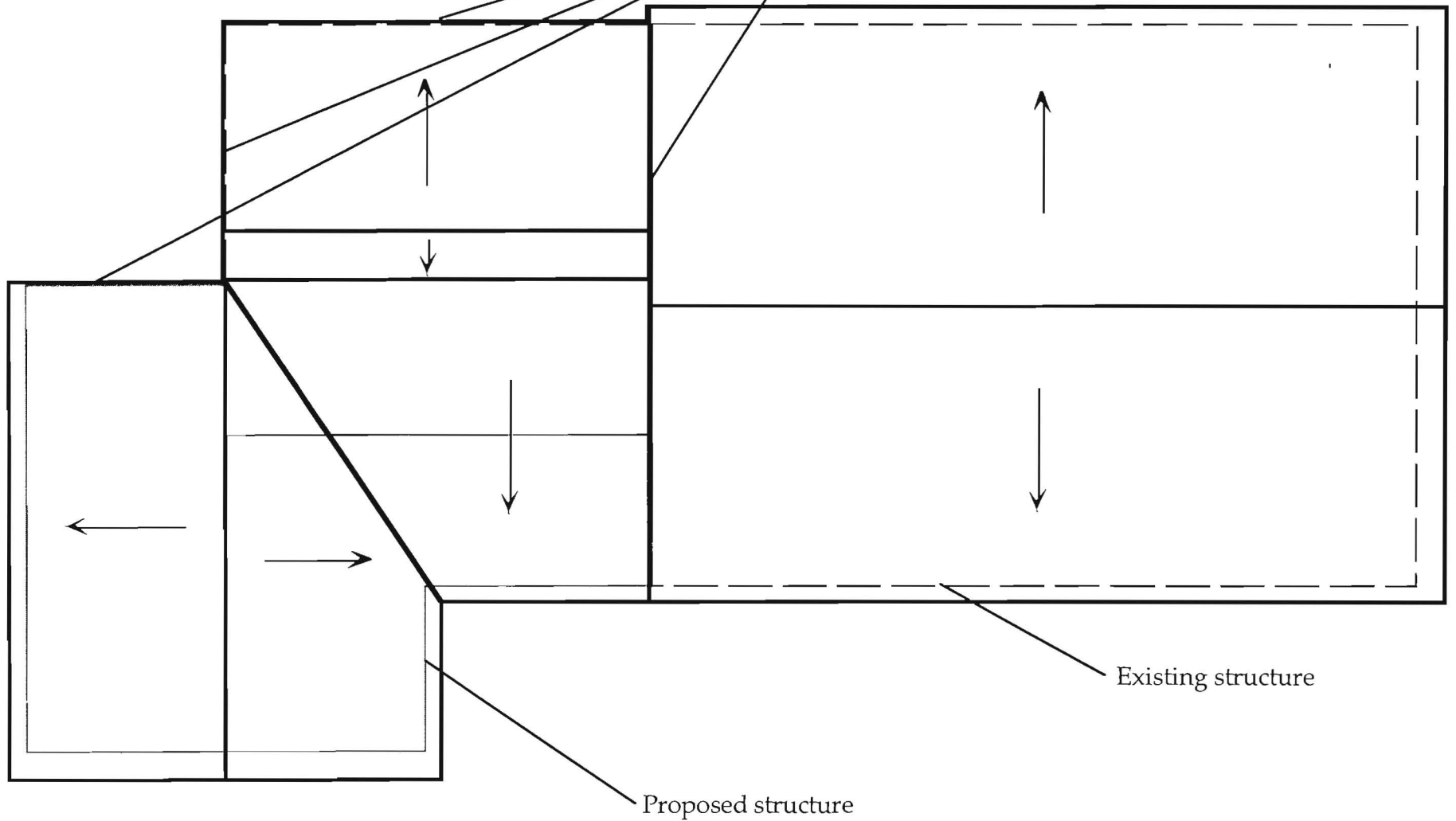
**West Wall View**

Drawing: 12 Vesper Street - Closet View, First Floor

Date: March 3, '11

Scale: 1" = 4'

Note: No overhang,  
fascia trim only



Drawing: 12 Vesper Street - Roof Plan

Date: March 3, '11

Scale: 1" = 6'

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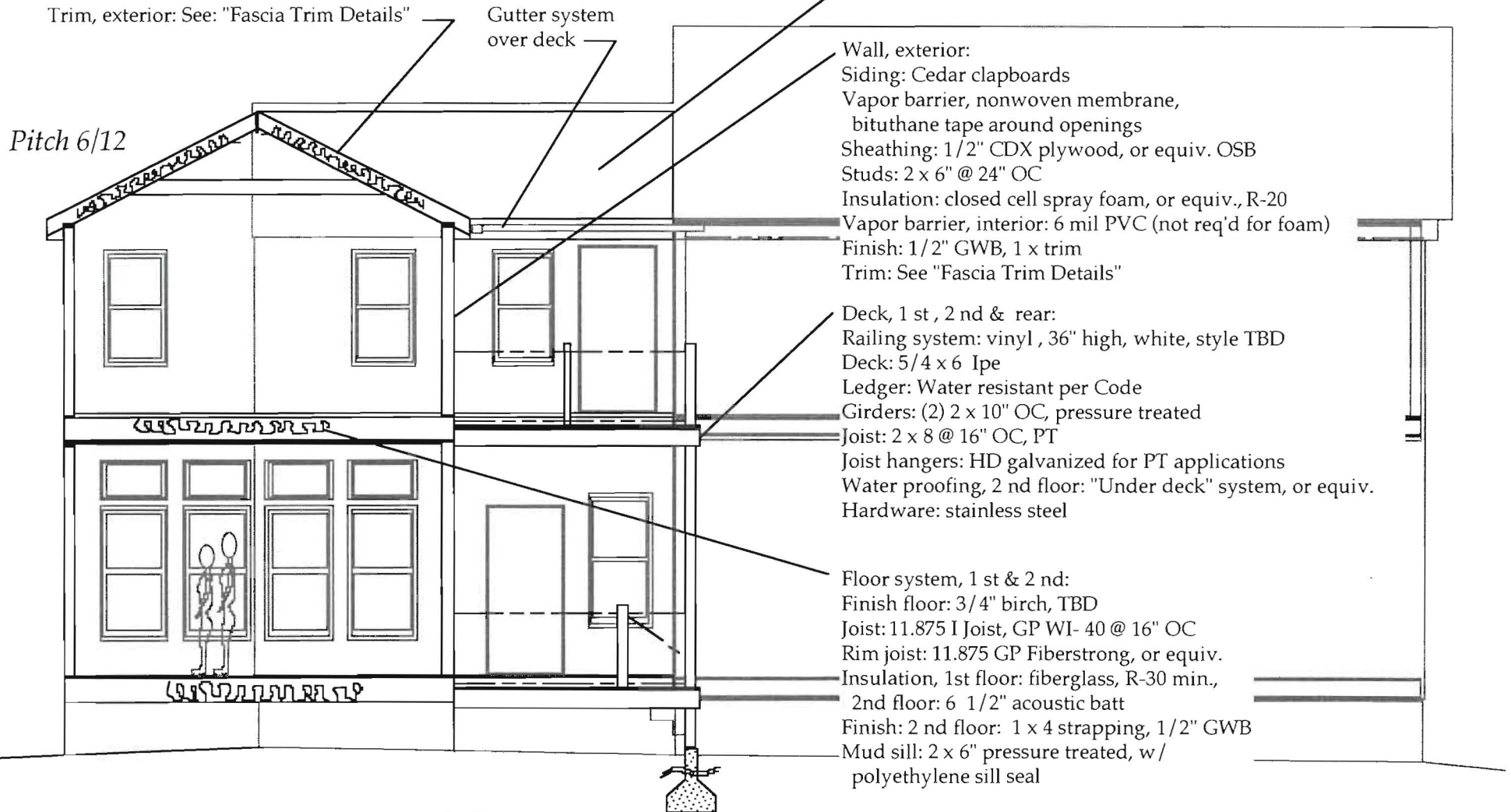
WholeHomeResource.com

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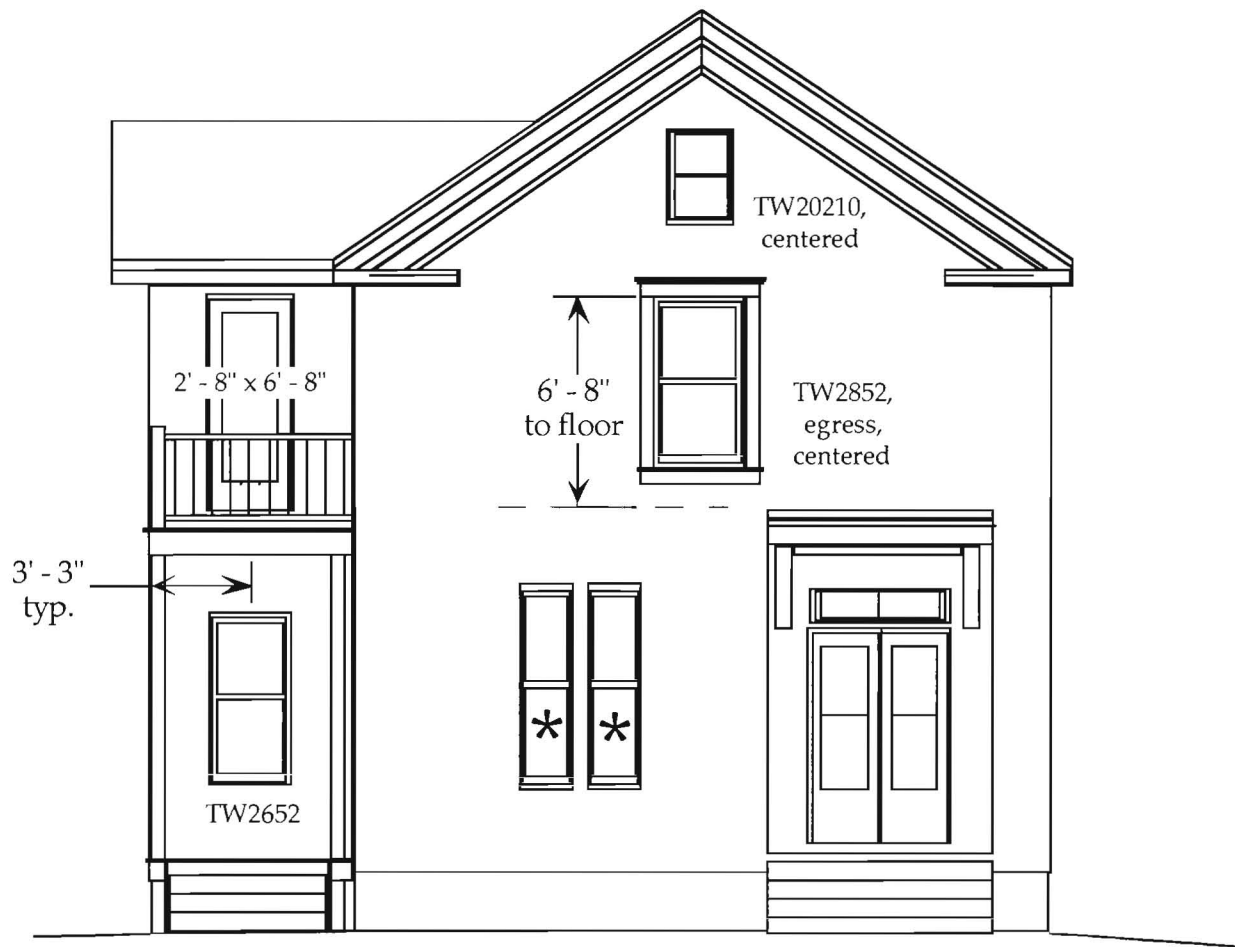
Roof, gable:  
 Covering: asphalt shingles,  
 bituthane membrane all over  
 Sheathing: 5/8 CDX plywood, or equiv. OSB  
 Insulation: closed cell spray foam, R-49,  
 underside of roof  
 Rafter: 2 x 8 @ 16" OC  
 Ridge board: 2 x 10  
 Rafter tie: 2 x 8 @ 16" OC  
 Trim, exterior: See: "Fascia Trim Details"

Roof, shed:  
 Covering: asphalt shingles, bituthane  
 membrane all over, step flashing to wall  
 Sheathing: 5/8 CDX plywood, or equiv. OSB  
 Rafter: 2 x 8 @ 16" OC  
 Crib wall: 2 x 4 over existing wall, see drawings  
 Trim, exterior: See: "Fascia Trim Details"

**Note:**  
 Insulation and seam sealing per IEEC 2009



Drawing:	12 Vesper Street - South Construction Specifications	Date:	March 3, '11	Scale:	1" = 6'
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\* Replacement windows  
in existing framing

Drawing: 12 Vesper Street - East View

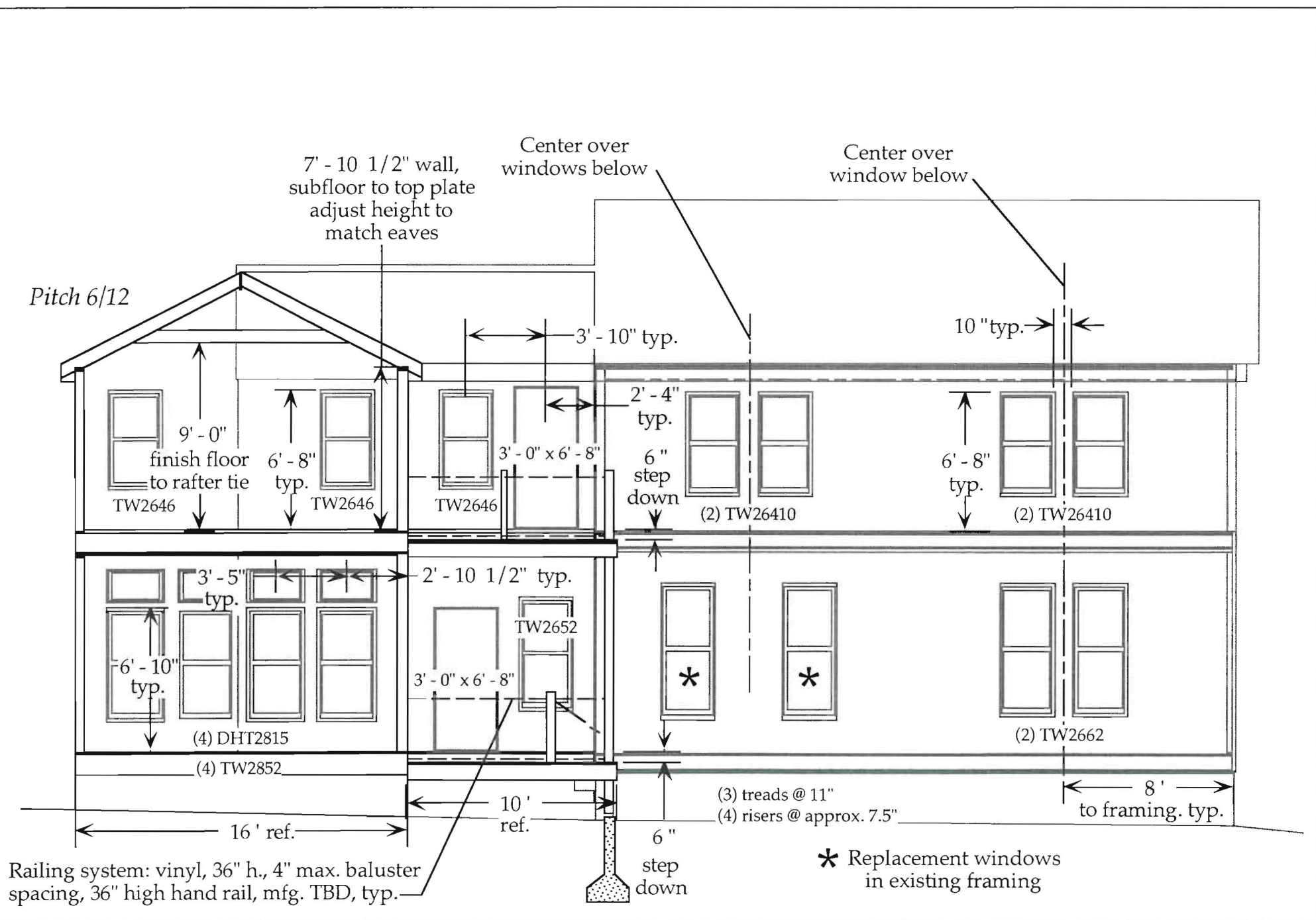
Date: March 3, '11

Scale: 1" = 6'

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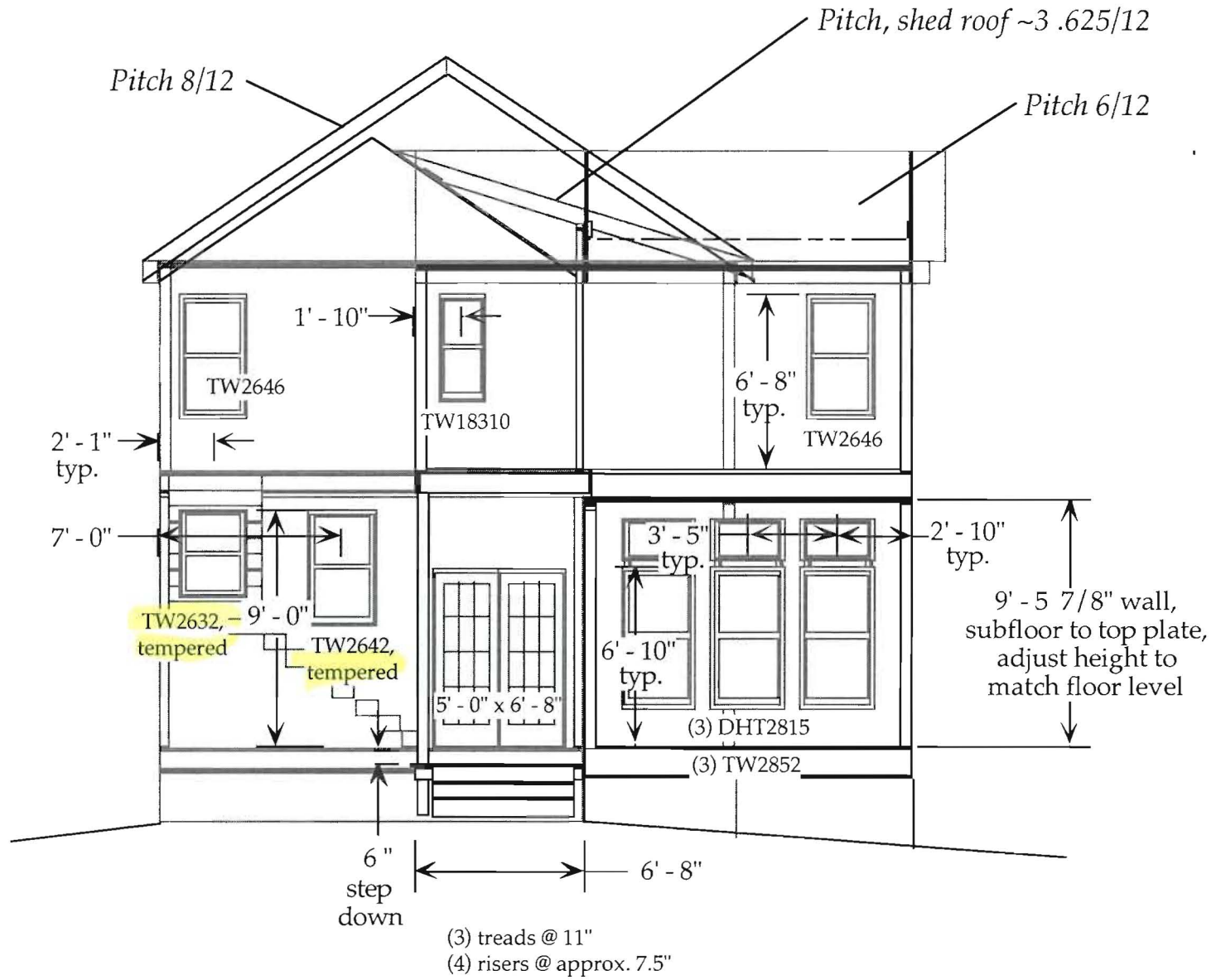
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Drawing:	12 Vesper Street - South Construction Dimensions	Date:	March 3, '11	Scale:	1" = 6'
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Drawing: 12 Vesper Street - West Construction Dimensions

Date: March 3, '11

Scale: 1" = 6'



Fire Separation Wall, 1 hr. rated, two sides, this side of structure

to 2nd floor fixture

O/H light w/ heater

Exhaust fan

to 2nd floor fixture

cellar stairwell, 2 plcs

to 2nd floor flood light

Covered porch

Central room

8 x 8" plumbing chase

Entry

2nd floor flood

Dining

Living

Switched outlet

Sunroom

6' Closet 6'

Pantry/desk

Refrig. 31 x 36"

Disposal

Kitchen

Stove

Sink

Built-in bookcase TBD

Hall

Up

S3

S3DM

S

S

S

S

S

S

S

S

S

S

S

S

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S

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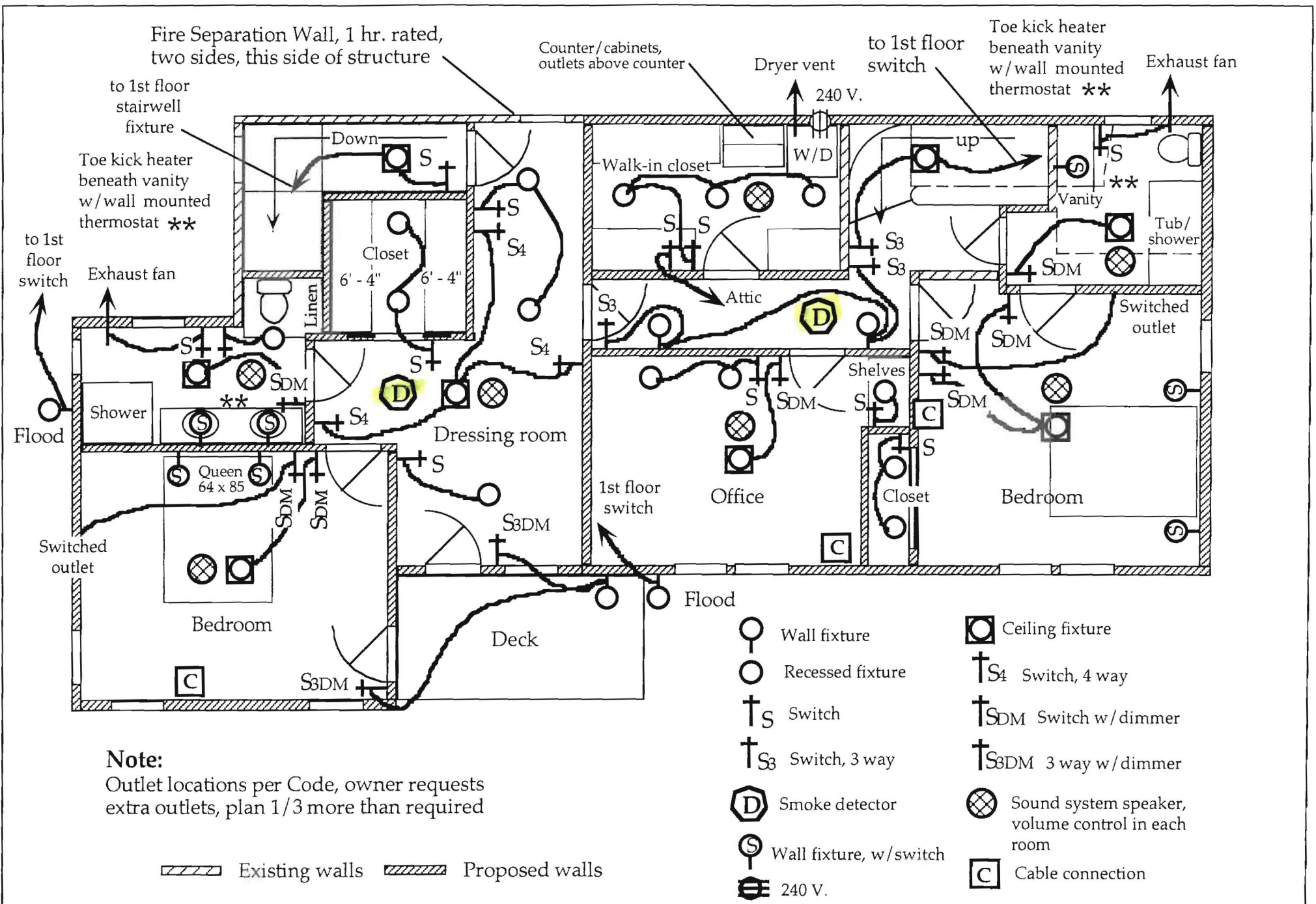
S

S

- Wall fixture
- Recessed fixture
- † S Switch
- † S3 Switch, 3 way
- † S4 Switch, 4 way
- † S<sub>DM</sub> Switch w/ dimmer
- Wall fixture, w/switch
- ◻ Ceiling fixture
- ⬡ Smoke detector
- ▬ Under cabinet light
- ⊗ Sound system speaker, volume control in each room
- † S<sub>3DM</sub> 3 way w/ dimmer
- ⊞ 240 V.
- ◻ Cable connection

**Note:**  
 1. Outlet locations per Code, owner requests extra outlets, plan 1/3 more than required  
 2. # Outlets above and beneath desk unit

Existing walls Proposed walls



Drawing: 12 Vesper Street - Electrical Plan, Second Floor      Date: March 3, '11      Scale: 1" = 6'

## 1st Floor

### Living & Dining rooms

Windows: replace, add per drawings

Trim: strip or duplicate existing molded casings,

baseboard: 1 x 8 per drawings

Pocket door trim: refinish, reuse existing molded trim as available

Hall doorway trim:

Hall side: flat, beaded, 1 x 6

Living room side: refinish, reuse existing molded trim

Wall & ceiling: gypsum wall board, 1/2", all over

Floor: birch, 3/4" over existing floor, TBD

### Hall

Windows & front door: retain existing, repaint

Trim: refinish/match existing; bathroom door,

flat, beaded joint, 1 x 6 per drawings

Wall & ceiling: gypsum, 1/2" (5/8" on Fire Separation Wall), all over

Floor: birch, 3/4" over existing floor, TBD

### Bath

Trim: flat, beaded joint, 1 x 6 per drawings

Wall & ceiling: gypsum, 1/2" (5/8" on Fire Separation Wall), all over

Floor: linoleum, TBD

### Kitchen

Windows: remove, add per drawings

Trim: flat, beaded joint, 1 x 4

Wall & ceiling: gypsum, 1/2" (5/8" on Fire Separation Wall), all over

Floor: birch, 3/4" over existing floor, TBD

### Central Room & Sunroom

Windows: remove, add per drawings

Trim: flat, beaded joint, 1 x 6 per drawings

Wall & Ceiling: 1 x 6 edge & center bead, paint before installation

Floor: birch, 3/4" over existing floor, TBD

### Stairway

Windows: remove, add per drawings

Trim: flat, beaded joint, 1 x 6 per drawings

Wall: 1 x 6 edge & center bead, paint before installation (5/8" GWB on Fire Separation Wall)

Ceiling: GWB, 1/2"

Stairs: maple treads, painted risers, birch (TBD) landing

## 2nd Floor

Front bedroom, office, hall, dressing room, rear bedroom

Windows: replace, add per drawings

Trim: flat, beaded joint, 1 x 4 per drawings

Wall & ceiling: gypsum wall board, 1/2" (5/8" GWB on Fire Separation Wall), all over

Floor: birch, 3/4" over existing floor, TBD

### Walk-in closet/laundry

Trim: flat, beaded joint, 1 x 4 per drawings

Wall & ceiling: gypsum, 1/2" (5/8" on Fire Separation Wall), all over

Floor: linoleum, TBD

## Cellar

Stairs: 2 x 12 treads, closed risers

Drawing: 12 Vesper Street - Interior Finishes

Date: March 3, '11

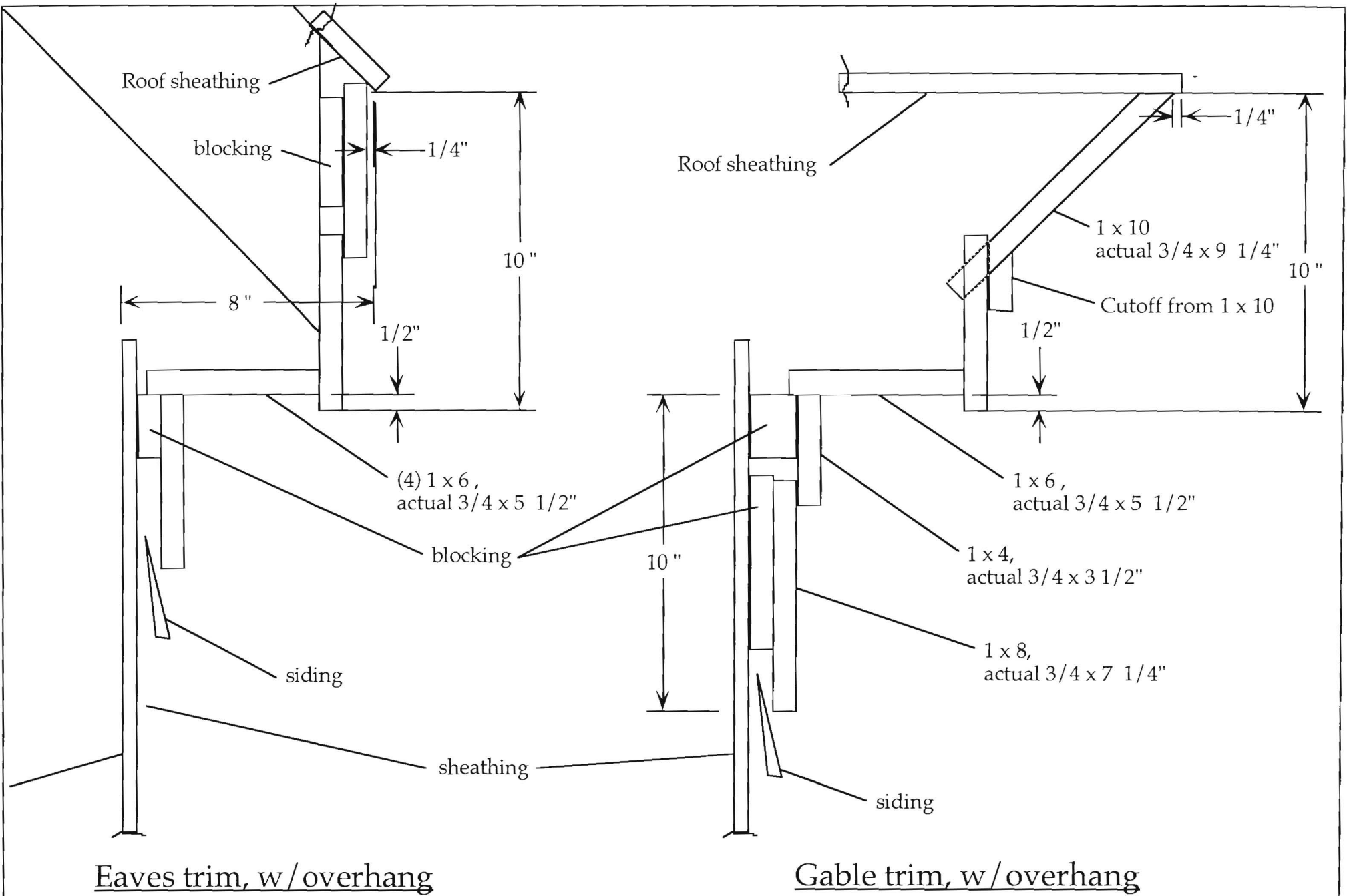
Scale: 1" = 6'

**Whole Home Resource**

3 Tide Mill Lane, Scarborough, ME 04074

WholeHomeResource.com

207.883.6050



Drawing: 12 Vesper Street - Fascia Trim Details

Date: March 3, '10

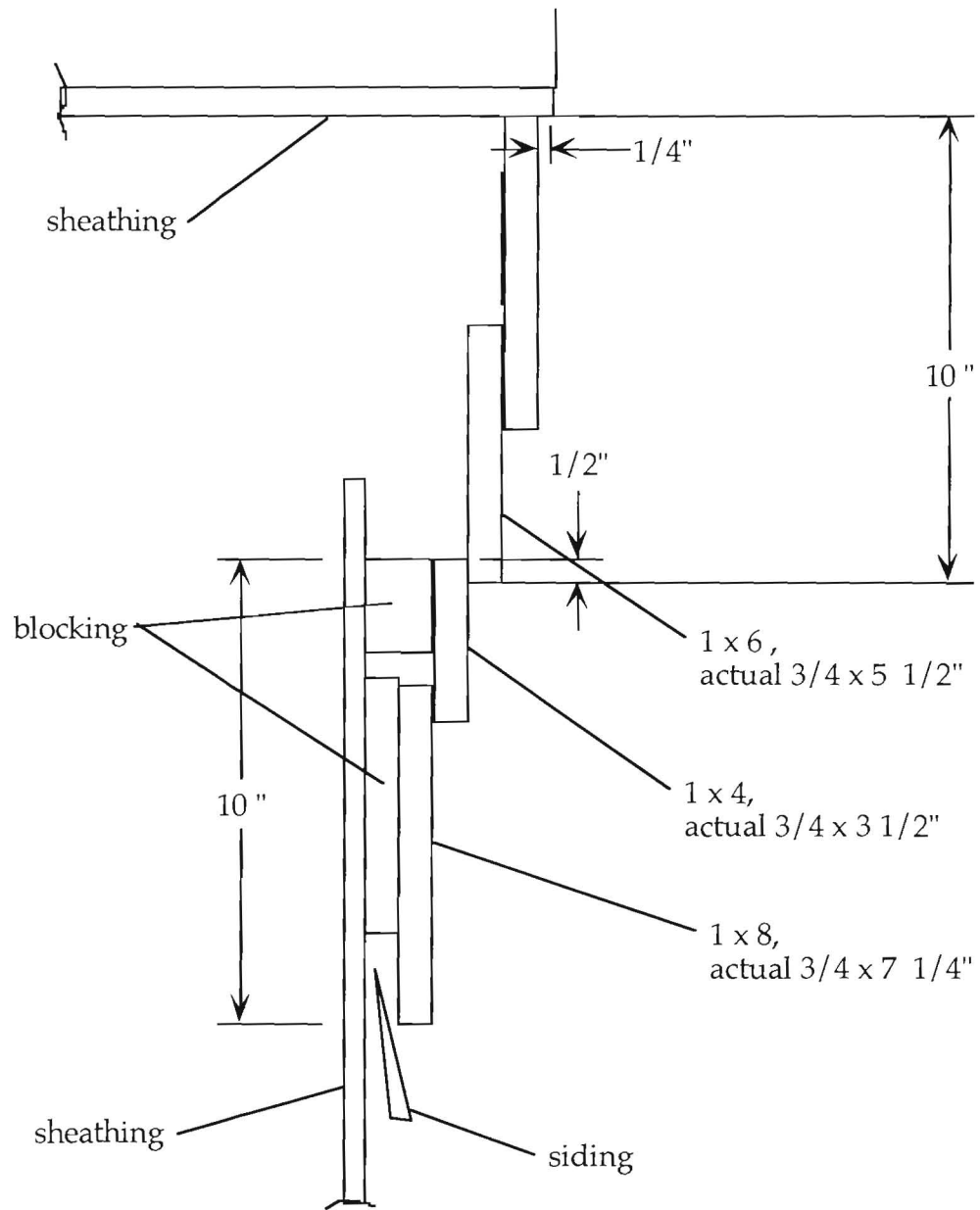
Scale: 1" = 4"

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Gable trim, no overhang

Drawing: 12 Vesper Street - Fascia Trim Details

Date: March 3, '11

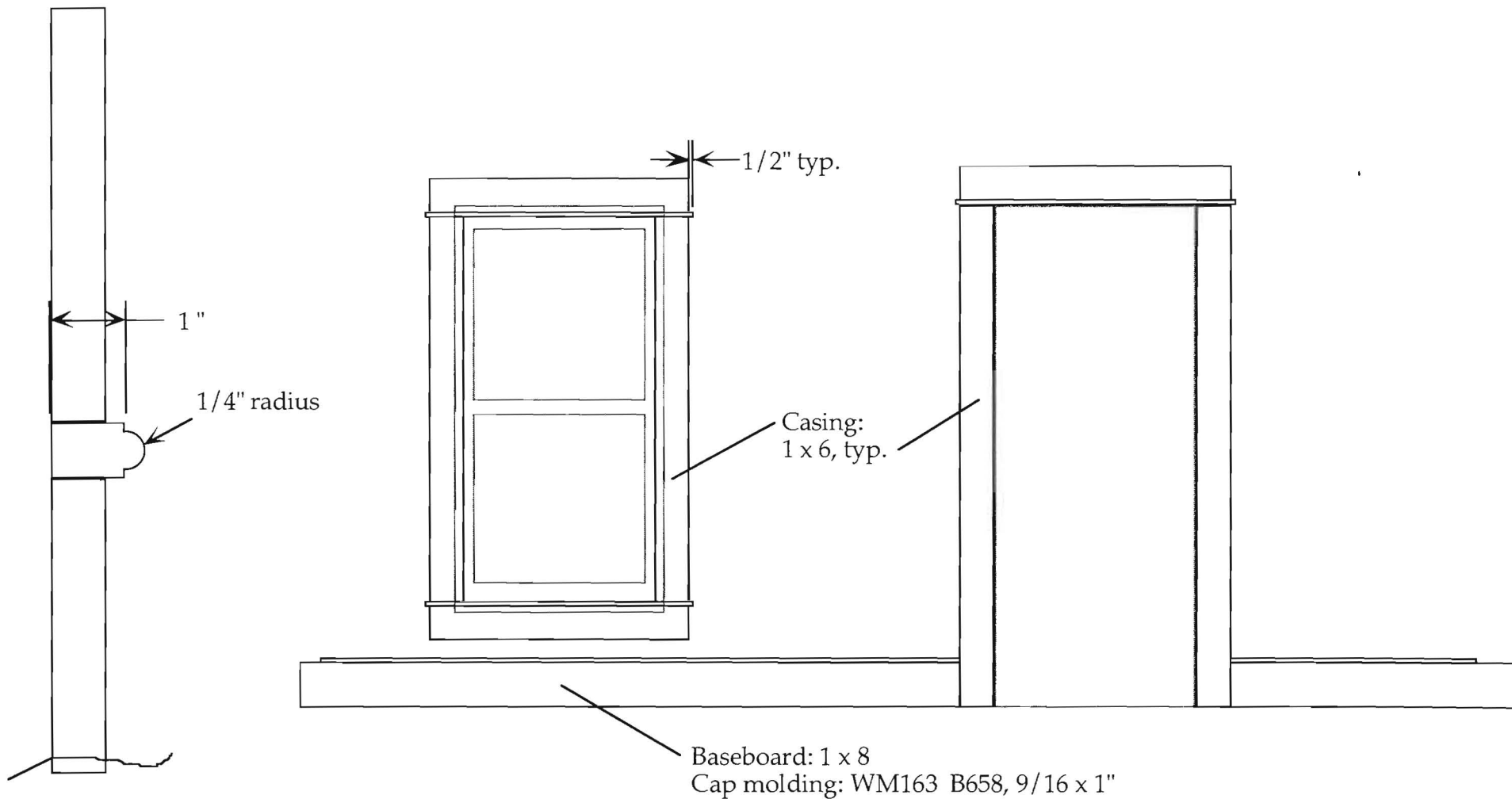
Scale: 1" = 4"

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**Bead Detail**

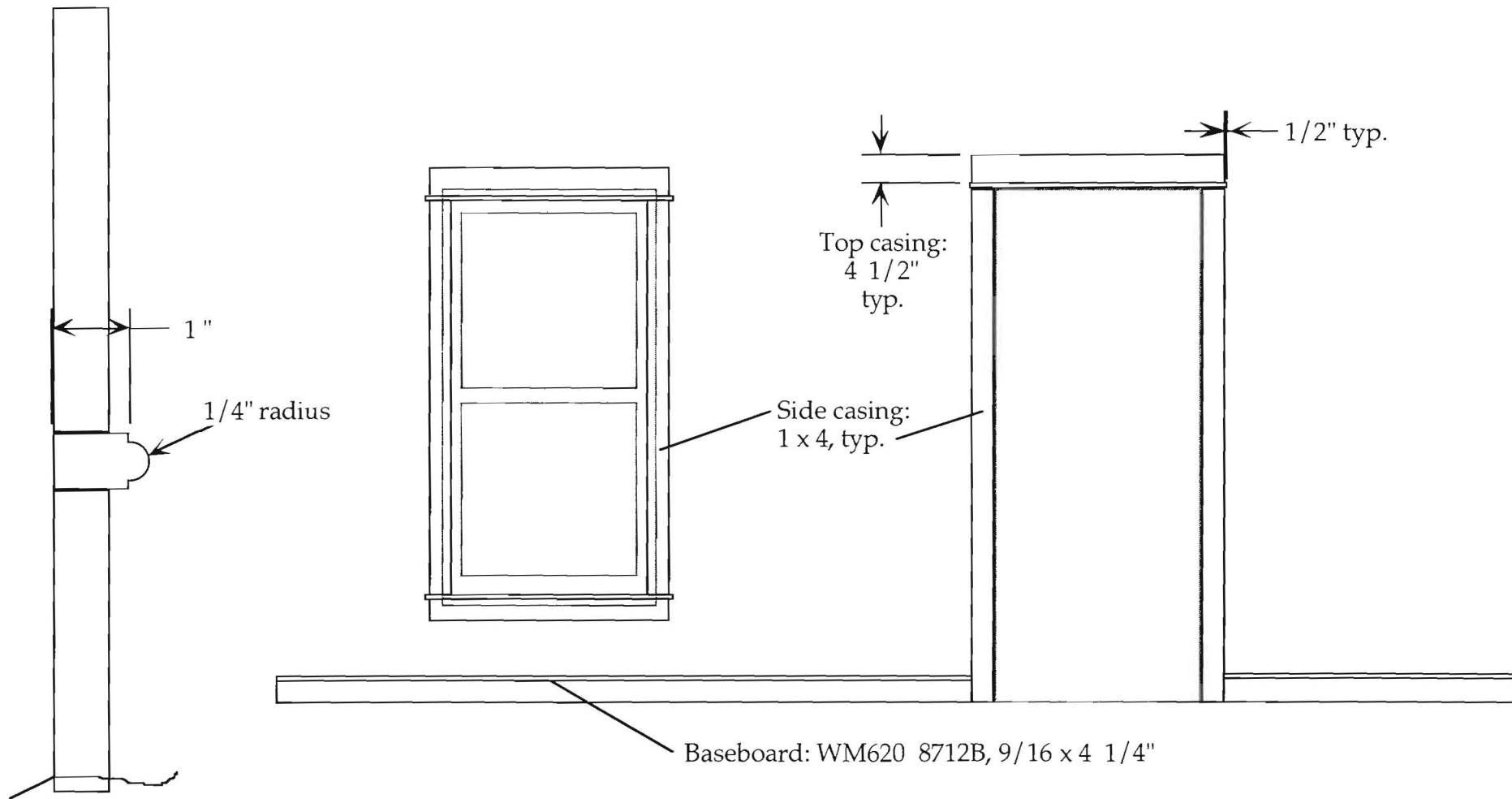
Scale: 1" = 2"

**For all rooms with flat trim (first floor)**

Brosco stock numbers

Drawing: 12 Vesper Street -Trim Details	Date: March 3, '11	Scale: 1" = 2'
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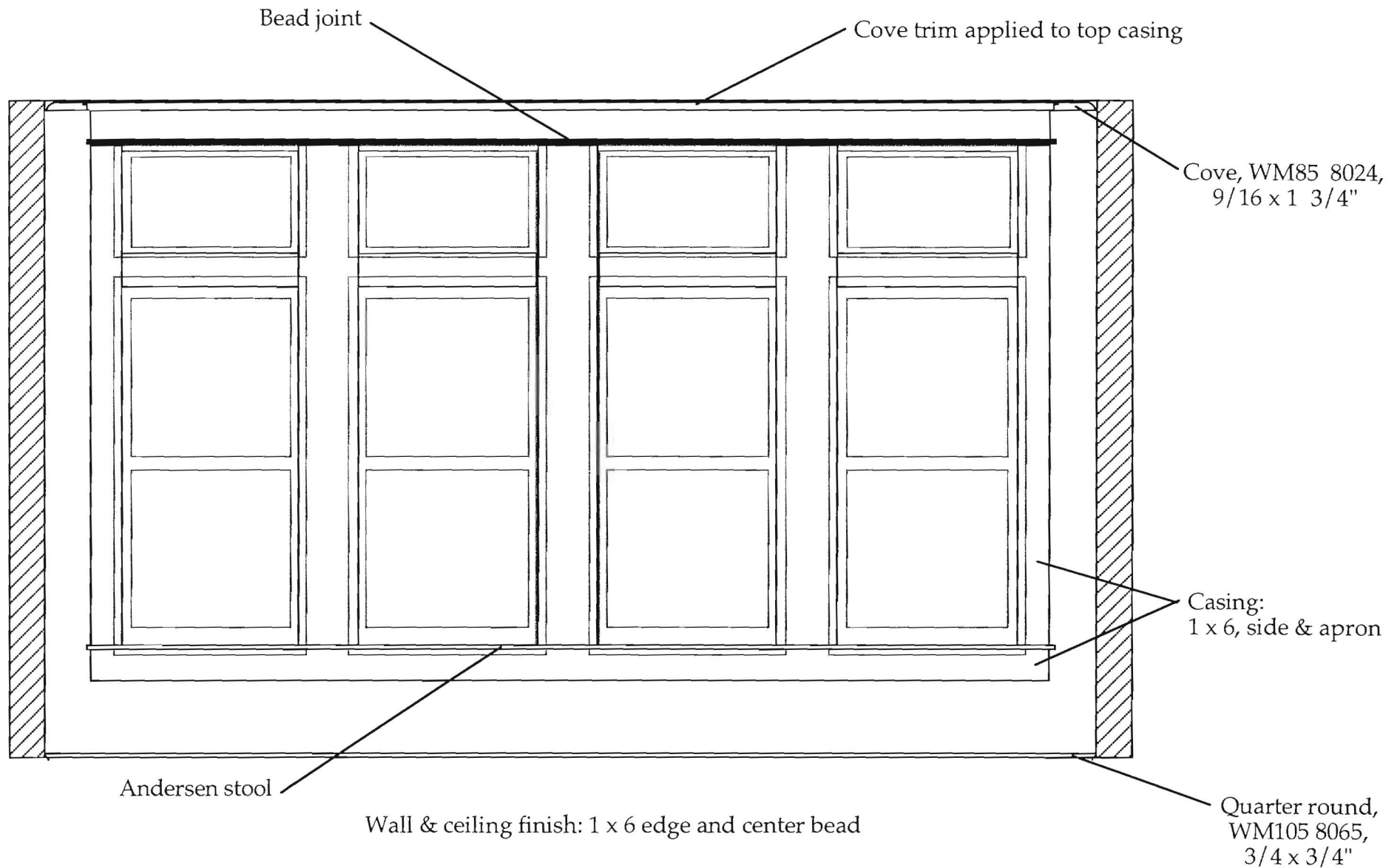
**Bead Detail**

Scale: 1" = 2"

**For all rooms, second floor**

Brosco stock numbers

Drawing: 12 Vesper Street -Trim Details	Date: March 3, '11	Scale: 1" = 2'
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These finishes typical for all walls in Sunroom and Central room, except fire separation wall on north side

Brosco stock numbers

Drawing: 12 Vesper Street - Sunroom and Central Room Finishes

Date: March 3, '11

Scale: 1" = 2'

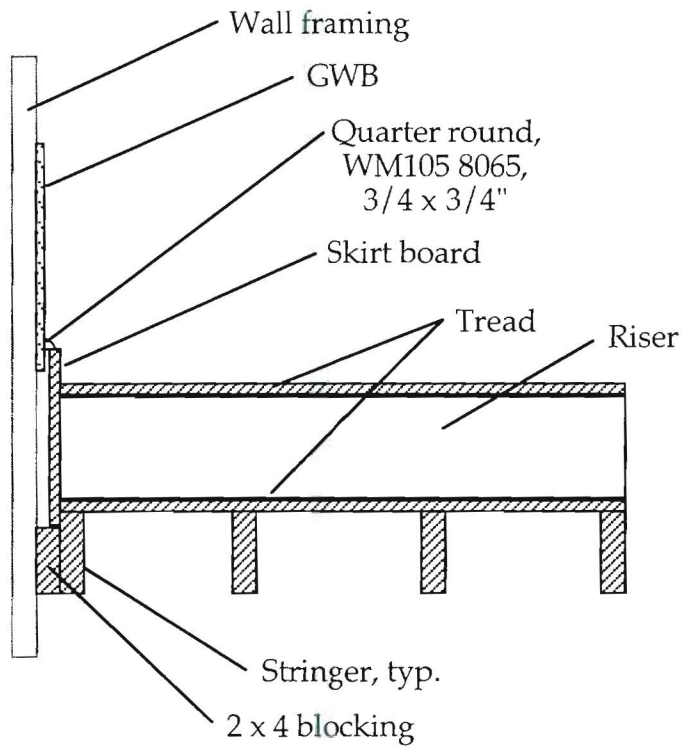
Whole Home Resource

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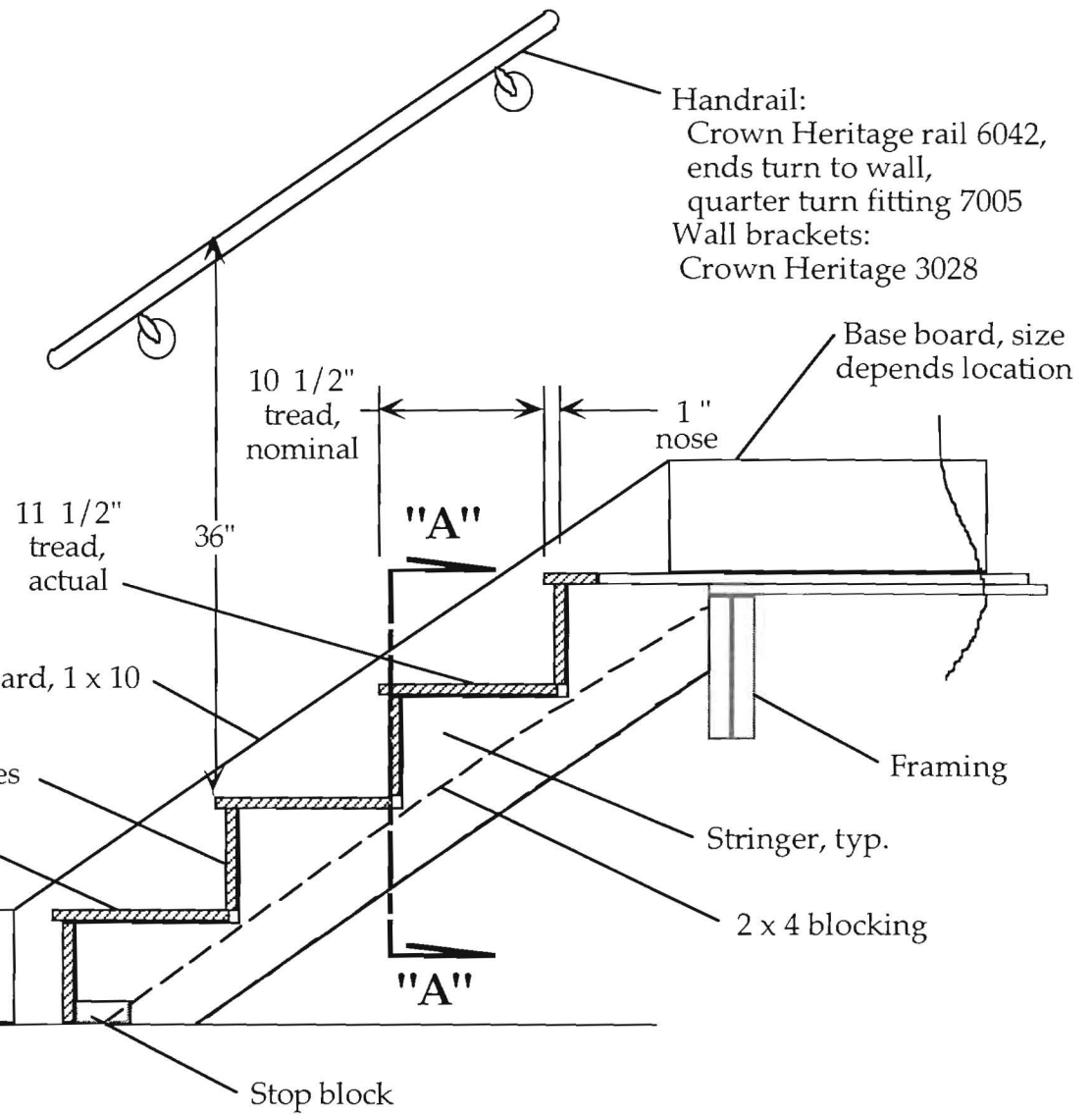
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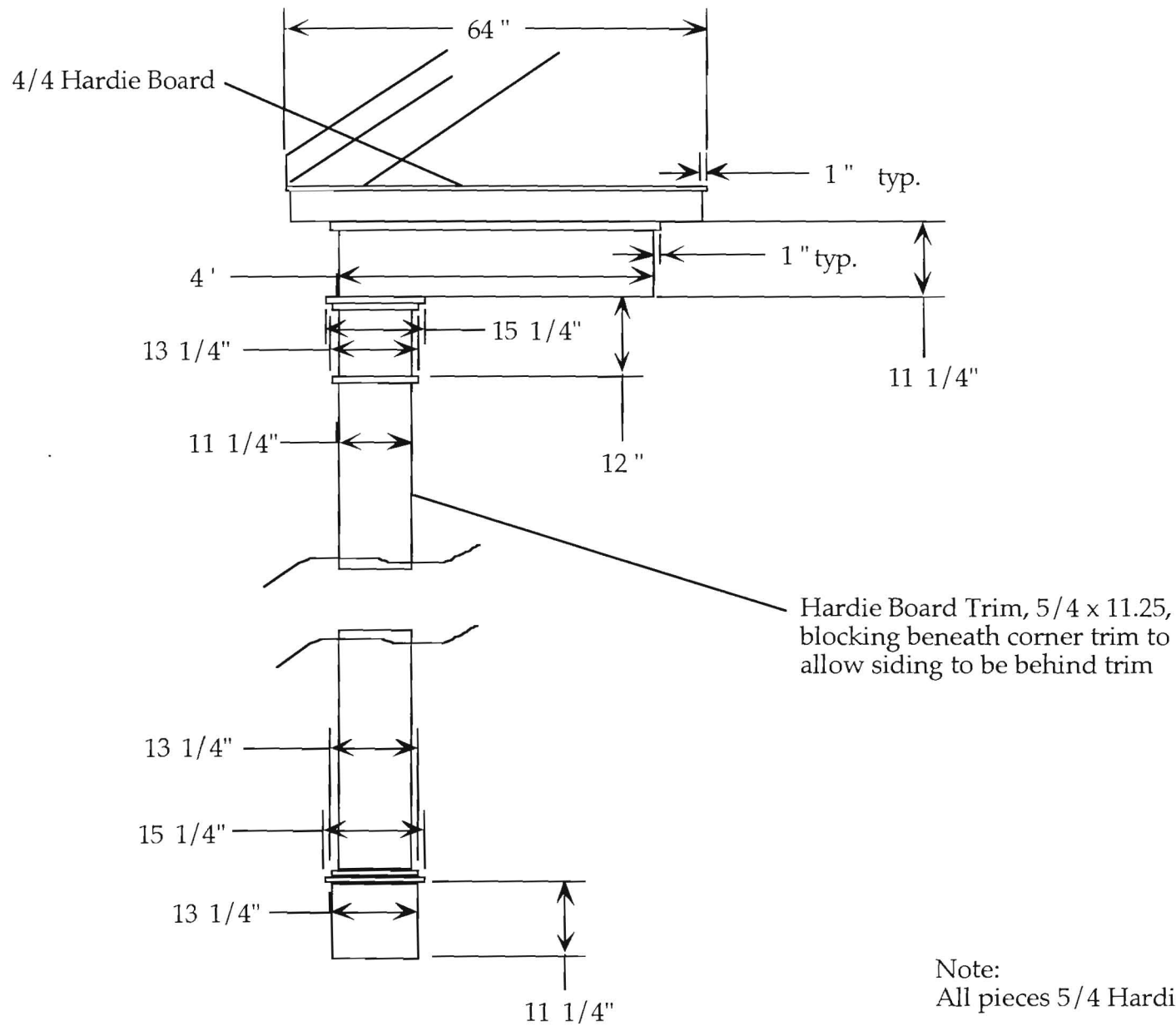
**Stair Section "A" - "A"**



Drawing: 12 Vesper Street - Interior Stair Detail

Date: March 3, '11

Scale: 1" = 1'



Note:  
All pieces 5/4 Hardie Board Trim

Drawing: 12 Vesper Street - Front Corner Trim

Date: March 3, '11

Scale: 1" = 2'

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Andersen PN**	Q'ty	Rough Opening, w. x h.	Location	Glass area, ea.	Comments
DHT2815	7	2' - 10 1/8" x 1' - 7 7/8"	Sunroom	2.62	
TW2852	7	2' - 10 1/8" x 5' - 4 7/8"	Sunroom	10.48	
TW2652	5	2' - 8 1/8" x 5' - 4 7/8"	Sunroom, entry	9.7	
TW20210	1	2' - 2 1/8" x 3' - 0 7/8"	Attic	3.68	
TW18310	1	1' - 10 1/8" x 4' - 0 7/8"	Rear bath	4.15	
TW2632	1	2' - 8 1/8" x 3' - 4 7/8"	Rear stairwell	6.23	tempered glass
TW2642	1	2' - 8 1/8" x 4' - 4 7/8"	Rear stairwell	7.62	tempered glass
TW2852	1	2' - 10 1/8" x 5' - 4 7/8"	Front BR	10.48	egress approved
TW26410	4	2' - 8 1/8" x 5' - 0 7/8"	South, Br & Office	9.01	
CN12	2	1' - 9" x 2' - 0 5/8"	Kitchen	2.2	
TW20310	1	2' - 2 1/8" x 4' - 0 7/8"	Front Bath	5.26	
Replacement	3	TBD	Dining	approx. 11.78	Measure on site
Replacement	2	TBD	Living room, front	approx. 7.0	Measure on site
TW2662	2	2' - 8 1/8" x 6' - 4 7/8"	Living room, side	11.78	
TW2646	8	2' - 8 1/8" x 4' - 8 7/8"	Rear BR, dress., stair, center, bath	8.31	
	46				

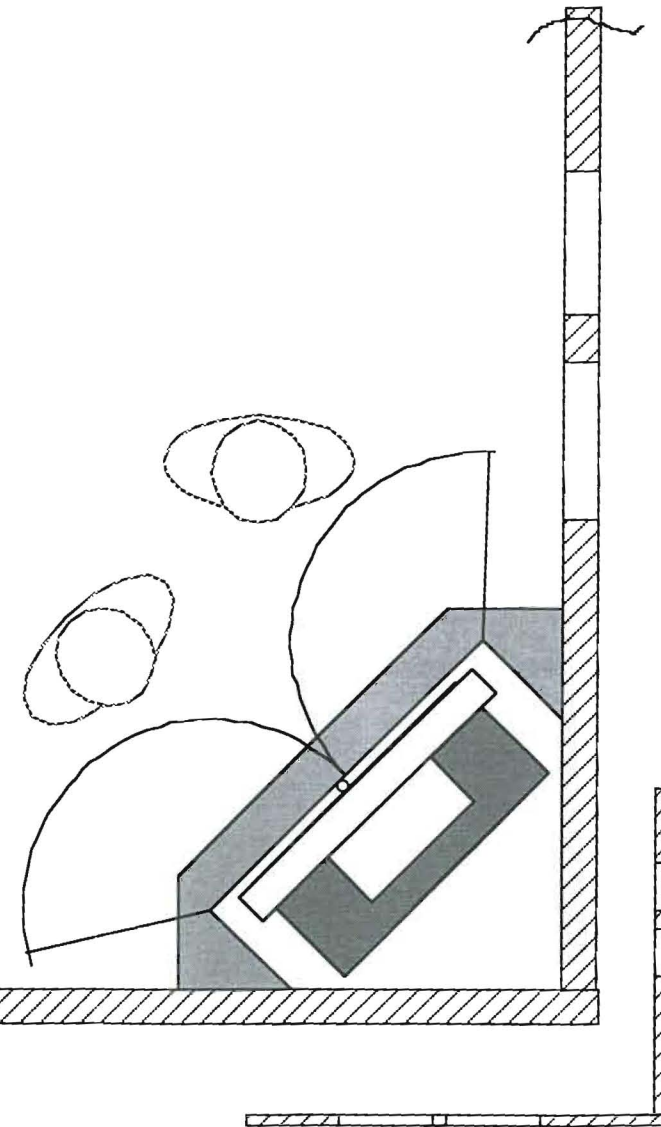
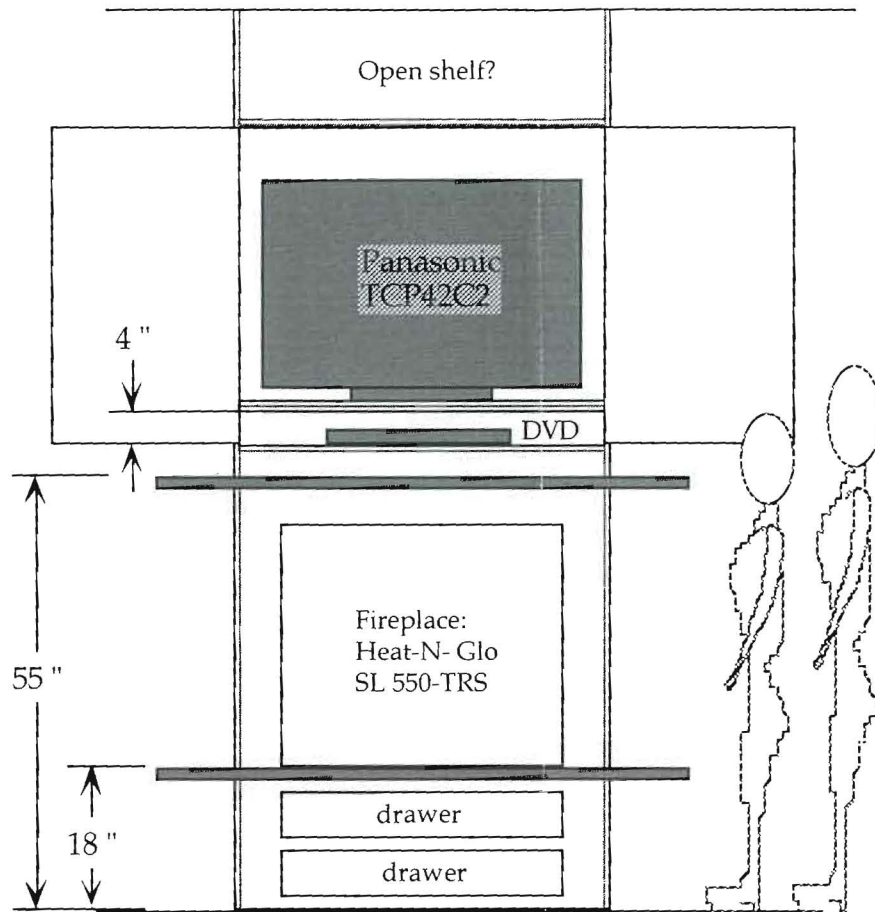
\*\* Specify High Performance Low-E glass= U -.28

Drawing:	12 Vesper Street - Window Schedule	Date:	March 3, '11	Scale:	None
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Andersen PN**	Q'ty	Size	Location	Style	Comments
	2	2' - 8" x 6' - 8"	first floor	existing panel& casing	strip & reuse doors
	7	" "	second floor	existing panel& casing	strip & reuse as possible, hall first
	2	3' - 0" x 6' - 8"	entry	French	exterior, fiberglass
	2	3' - 0" x 6' - 8"	living room	French	slab, pocket doors, HD hardware
FWO 5068APLR	1	5' - 0" x 6' - 8"	central room	French	sliding
	1	2' - 6" x 6' - 8"	2nd floor, rear bath	panel, match existing	
	1	2' - 4" x 6' - 8"	2nd floor, front bath	panel, match existing	
	2	2' - 6" x 6' - 8"	front bedroom closet	TBD	slab, site build casing
	2	2' - 8" x 6' - 8"	rear BR, dressing room	French	exterior, fiberglass
	2	2' - 8" x 6' - 8"	1st & 2nd floor closet	edge & center bead, site build	2' - 6" x 6' - 8" opening, surface mount sliding hardware
MFS Imperial (Brosco)	1	25 1/2" x 54"	attic	pull down	8' - 9" h., 300 lb. w/thermogard

\*\* Specify High Performance Low-E glass= U -.28

Drawing:	12 Vesper Street - Door Schedule	Date:	March 3, '11	Scale:	None
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Drawing: 12 Vesper Street - Cabinet Sketch	Date: March 4, '11	Scale: 1" = 2'
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