

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

Please Read
 Application And
 Notes, If Any,
 Attached

BU **PERMIT** ION

Permit Number: 090510

This is to certify that VESPA LLC / Rob Krouskup
 has permission to install foundation (12'6" x 11'6" x 16") and existing 1st story - close 2nd & 3rd floor decks over existing 1st fl
 AT 22 VESPER ST CL 003 K003001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lath or other used-in. 2
 HOW NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. 5/17/09
 Health Dept. _____
 Appeal Board _____
 Other _____
 Department Name

Leanne Burke 6/17/09
 Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

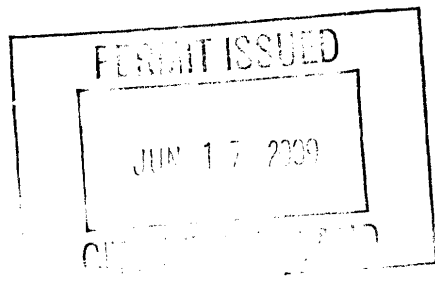
Permit No: 09-0510	Issue Date:	CBL: 003 K003001
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Location of Construction: 22 VESPER ST	Owner Name: VESPA LLC	Owner Address: 20 COVESIDE RD	Phone:
Business Name:	Contractor Name: Rob Krouskup	Contractor Address: 8 Clover Leaf Lane Scarborough	Phone 2072403668
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Multi Family	Zone: R-6

Past Use: 3 Unit Residential	Proposed Use: 3 Unit Residential - install foundation (12'6" x 11'6 7/16") under existing 1st story - enclose 2nd & 3rd floor decks over existing 1st floor - reconfigure 1st floor deck & add 2nd & 3rd floor decks w/in	Permit Fee: \$400.00	Cost of Work: \$38,000.00	CEO District: 1
Proposed Project Description: install foundation (12'6" x 11'6 7/16") under existing 1st story - enclose 2nd & 3rd floor decks over existing 1st floor - reconfigure 1st floor deck & add 2nd & 3rd floor decks w/in existing footprint - add rear entry		FIRE DEPT: <i>w/ conditions</i> <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied 6/4/09	INSPECTION: Use Group: R-2 Type: SB DBL-2003 Signature: <i>[Signature]</i> Date: 6/17/09	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____		

Permit Taken By: Ldobson	Date Applied For: 05/27/2009	Zoning Approval
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<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <i>Using section 14-43(6)-10/a of allowable work</i> <input type="checkbox"/> Flood Zone <i>using section 14-427, 14-284</i> <input type="checkbox"/> Subdivision <i>14-425</i> <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: _____	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied <i>ABM</i> Date: _____
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0510	Date Applied For: 05/27/2009	CBL: 003 K003001
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Business Name:	Contractor Name: Rob Krouskup	Contractor Address: 8 Clover Leaf Lane Scarborough	Phone (207) 240-3668
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Multi Family	

Proposed Use: 3 Unit Residential - install foundation (12'6" x 11'6 7/16") under existing 1st story - enclose 2nd & 3rd floor decks over existing 1st floor - reconfigure 1st floor deck & add 2nd & 3rd floor decks w/in existing footprint - add rear entry	Proposed Project Description: install foundation (12'6" x 11'6 7/16") under existing 1st story - enclose 2nd & 3rd floor decks over existing 1st floor - reconfigure 1st floor deck & add 2nd & 3rd floor decks w/in existing footprint - add rear entry
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Ann Machado **Approval Date:** 06/04/2009

Note: Using section 14-436(b) to build 2nd story over existing 1st story. 80% is 1274.4. Addition is 124.55 sf, **Ok to Issue:**

Using section 14-427 to enclose third floor porch.

Using section 14-382(d) to extend third floor enclosed porch 1'8" to edge of building.

Using section 14-425 to add second entry on rear.

- 1) This property shall remain a three family dwelling. Any change of use shall require a separate permit application for review and approval.
- 2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Jeanine Bourke **Approval Date:** 06/17/2009

Note: **Ok to Issue:**

- 1) All penetrations through rated assemblies must be protected by an approved firestop system installed in accordance with ASTM 814 or UL 1479, per IBC 2003 Section 712.
- 2) All penetrations between dwelling units and dwelling units and common areas shall be protected with approved firestop materials, and recessed lighting/vent fixtures shall not reduce the (1 hour) required rating.
- 3) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.
- 4) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.
- 5) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm or HVAC or exhaust systems. Separate plans may need to be submitted for approval as a part of this process.

Dept: Fire **Status:** Approved with Conditions **Reviewer:** Ben Wallace Jr. **Approval Date:** 06/04/2009

Note: No reconfiguration of egress. Ceiling renovation in existing units and modification of rear decks. **Ok to Issue:**

- 1) Smoke alarms shall be in accordance with NFPA 101 and photoelectric.
- 2) All means of egress to remain accessible at all times the building is occupied.
- 3) A single source supplier should be used for all through penetrations.
- 4) All construction shall comply with NFPA 101-2006
- 5) CO detectors are required in units.

Comments:

Location of Construction: 22 VESPER ST	Owner Name: VESPA LLC	Owner Address: 20 COVESIDE RD	Phone:
Business Name:	Contractor Name: Rob Krouskup	Contractor Address: 8 Clover Leaf Lane Scarborough	Phone (207) 240-3668
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Multi Family	

5/28/2009-amachado: Left vcm for Clare Yarn. Need o talk about the existing footprint verses the proposed as far as the rear of the building and all three floors. Spoke to Rob Krouskup. He will come in tomorrow.

5/29/2009-amachado: Met with Clare Yarn & Rob Krouskup. Went over section 14-436(b) which allows them to go up one floor over the existing first floor room in the rear. Explained section 14-427 which allows them to enclose the top porch if majority is glass. Talked about cutting the second & third floor decks back to the existing footprint. Revised plans will be submitted.

6/2/2009-amachado: Moved permit forward in system. Waititng for plot plan that shows the changes in the footprint.

6/1/2009-amachado: Received revised plans.

6/4/2009-amachado: Received plot plan showing proposed conditions.

6/17/2009-jmb: Spoke with Bob K. About all review details and specs as noted on plans, ok to issue.



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>22-24 VESPER ST. PORTLAND</u>		
Total Square Footage of Proposed Structure/Area <u>450 SQ FT + Decks</u>		Square Footage of Lot <u>3200 SQ FT</u>
Tax Assessor's Chart, Block & Lot Chart# <u>3</u> Block# <u>K</u> Lot# <u>3</u>	Applicant * must be owner, Lessee or Buyer * Name <u>VESPA LLC</u> Address <u>20 COVESIDE RD</u> City, State & Zip <u>CUMBERLAND FORESIDE ME 04110</u>	Telephone: <u>(207) 317 0408</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>38000 --</u> C of O Fee: \$ _____ Total Fee: \$ <u>400</u>
Current legal use (i.e. single family) <u>3 FAMILY UNIT</u> If vacant, what was the previous use? <u>SAME</u> Proposed Specific use: <u>3 FAMILY UNIT</u> Is property part of a subdivision? <u>NO</u> If yes, please name _____ Project description: <u>See attached Scope of work Interior & exterior renovation w/ 3 story 12' x 12' addition</u>		
Contractor's name: <u>ROB KROVSKUP</u>		
Address: <u>8 CLOVER LEAF LANE</u>		
City, State & Zip <u>SCARBOROUGH ME 04074</u>		Telephone: <u>(207) 240 3668</u>
Who should we contact when the permit is ready: <u>CLARE YARN</u>		Telephone: <u>(207) 317 0408</u>
Mailing address: <u>20 COVESIDE RD, CUMBERLAND FORESIDE ME 04110</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature] Date: 5/28/09

This is not a permit; you may not commence ANY work until the permit is issued.

MAY 27 2009



Demolition Call List & Requirements

Site Address: 22-24 VESPER ST, PORTLAND Owner: VESPA LLC

Structure Type: 3 Story mult family Contractor: ROB KRUSKOP

Utility Approvals	Number	Contact Name/Date
Central Maine Power	1-800-750-4000	<u>Cindy Deschane</u>
Northern Utilities <u>Unit 1</u>	797-8002 ext 6241 <u>541-2533</u>	<u>Mouk Allen</u>
Portland Water District	761-8310	<u>Gordon Shoemaker</u>
Dig Safe	1-888-344-7233	<u>Carol G</u>

After calling Dig Safe, you must wait 72 business hours before digging can begin.

DPW/ Traffic Division (L. Cote)	874-8891	<u>Lucy Cote</u>
DPW/ Sealed Drain Permit (C. Merritt)	874-8822	<u>Carroll Merritt</u>
Historic Preservation	874-8726	<u>Deb Andrews</u>
Fire Dispatcher	874-8576	<u>Dispatch Denison</u>
DEP – Environmental (Augusta)	287-2651	<u>Eric Hamlin</u>

Additional Requirements

- 1) Written notice to adjoining owners
- 2) A photo of the structure(s) to be demolished
- 3) A plot plan or site plan of the property
- 4) Certification from an asbestos abatement company

All construction and demolition debris generated in Portland must be delivered to Riverside Recycling Facility at 910 Riverside Street. Source separated salvage materials placed in specifically designated containers are exempt from this provision. For more information contact Troy Moon @ 874-8467.

U.S. EPA Region 1 – No Phone call required. Just mail copy of State notification to:

Demo / Reno Clerk
US EPA Region I (SEA)
JFK Federal Building
Boston, MA 02203

I have contacted all of the necessary companies/departments as indicated above and attached all required documentation.

Signed: [Signature] Date: 5/28/09

For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov

22 Vesper Street Portland, Maine

General Building Permit Table of Contents

- **Section 1 General Building Permit Application**
- **Section 2 Scope of Work and Building Notes**
 - Includes window schedule
- **Section 3 Cross Sections (as req.)**
 - Includes ceiling, wall (int. and ext), flooring, deck, foundation, and stairway (riser and tread) details
- **Section 4 Existing Floor Plans with Elevations**
- **Section 5 Proposed Floor Plans with Elevations**
- **Section 6 Electrical and Plumbing Layouts**
- **Section 7 Additional info (surveys etc.)**
 - Includes Plot Plan and hazardous material survey

MAY 27 2009

Scope of Work and Additional Building Notes

Demolition Phase-

Note: Hazardous Materials survey conducted prior to any demolition either with existing permit or upcoming building permit. Results of survey included in appendix of building permit application.

- ***Exterior Demolition*** (previously filed permit for destruction, and removal and disposal of exterior deck, exterior 3 story structure, and garage.) All to be rebuilt in accordance with newly applied building permit. (*exterior demo nearly complete*)
- ***Interior Demolition*** removal of :
 - Bathroom vanities, tubs and toilets in accordance with proposed building plan and permit. All bathrooms reconstruction will meet ADA compliance as required by State Fire Marshall as well as local and state codes.
 - 3 bathroom windows (1 window per floor) to be removed to accommodate placement of proposed shower unit.
 - Bathroom plaster on Wet Wall to ensure proper and adequate access for plumber and electrician to access any existing conditions which will need to be brought up to code.
 - 2 boarded up cellar windows on right side elevations to be removed and re-bricked to match existing foundation walls. Ventilation provided by 3 remaining windows
 - Removal of existing staircase leading to cellar. To be replaced as shown on proposed drawings.
 - Removal of remaining plaster ceilings throughout each unit and floor. Unit was stripped of a suspended ceiling, exposing a ceiling which was falling down and in need of replacement. Ceilings in each of the 3 units will be brought up to local codes for fire and sound by sealing all penetrations, insulated, installed sound channel, re-strapped and re-rocked with 5/8 " 1 hour fired rated gypsum sheetrock.

Construction Phase

Note: see building notes and proposed building plans for additional information

- Excavate and install foundation at rear of building on existing footprint. Install additional sonotubes/piers to accommodate support for proposed exterior deck.
- Build proposed 3 story structure (using new foundation placed on existing footprint) with a deck attached to each floor. See proposed plans for details.
- Create/Install new door to cellar on driveway side of house (left elevation) as required to access cellar.

- Replace existing non-fired rated with new fire (6) doors as required to meet fire/egress code.
- Re-Installation of sheetrock and fixtures 3 new bathroom walls and ceilings (post inspection of plumbing work) (plumber to pull permits independently)
- Install tile floors in bathrooms (3) and kitchens (3).
- Install (frame) proposed laundry space in accordance with plans set forth.
- Complete insulation of existing ceilings and new proposed structures and partitions in accordance with requirements set forth by IECC 2003.
- Installation of resilient sound channel and 5/8" (1hr) rated sheetrock throughout units with previously removed ceilings to meet all sound and fired codes required by IBC 2003.
- Electrical upgrades as set forth on plans and to meet code requirements (electrician to file permit independently)

****Revision note to proposed building addition (bedroom) located at the rear of existing house. Revised Floor Plans and Elevations provided. We are seeking an exemption for the 3rd floor of the proposed structure in the plans set forth in the attached building plan.**

3rd Floor Proposed addition:

According to ordinance 14-427, and in order to meet regulations for our proposed 3rd floor addition, there is a requirement of a majority of the wall space to be glassed in this proposed living space. We have revised previously submitted plans to meet said requirements by placing an additional 4 windows, all of which meet building egress codes, and measure enough to cover a majority of the proposed wall space.

Additionally we are attempting to place the 3rd floor proposed addition wall (north/right elevation) directly over the supporting foundation, 1st and 2nd floor walls; rather than placed in at the previous footprint location for previously existing 3rd story deck. The reason for our request is to maintain safety, structural support, and general aesthetic appearance. Having to place this 3rd floor wall in the 18' where the deck used to be located, would place undue stress on the framing members of the 2nd floor ceiling and potentially compromise the integrity of the proposed 3 story structure by placing too much unsupported weight on a non structural load point in the middle of the floor below.

Using section 14-332(d) allow an addition to building nonconforming as to dimensional requirements where the proposed change in existing exterior wall and/or roof is within space occupied by existing steel.

JUN

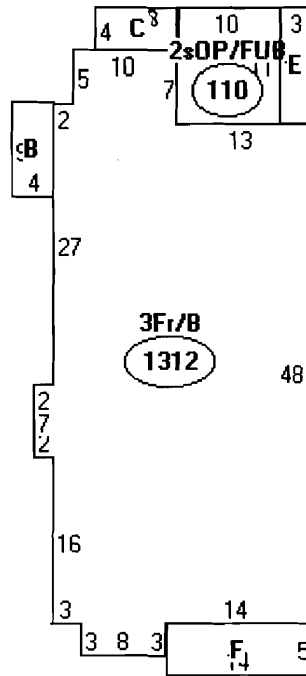
General Building Notes:

1. All Notes and details contained within these drawings are to be used as they would apply to the house being constructed.
2. If plans are used in conjunction with builder, manufacturer, and local code specifications and any discrepancy occurs, the specifications will supersede the drawings.
3. All dimensions are to be field verified by the contractor and any adjustments made accordingly.
4. All work shall be conducted in compliance with all applicable Building, Plumbing and Electrical Codes. Any Other local (IBC 2003), state or federal codes that may apply to this project shall be considered as part of these construction documents.
5. All waste materials and debris shall be removed disposed of properly. 6/17/09 per Bodo & JMB
6. As required, new bathroom construction to meet ADA compliance.

Window Schedule									
Number	QTY	Floor	Size	Dimensions	Width	Height	R/O	Description	Header
W01	2	1st floor	2954	33 * 64	33"	64"	34 * 65 1/2 "	Double Hung	2" * 10" * 37" (3)
W02	2	2nd floor	2954	33 * 64	33"	64"	34 * 65 1/2 "	Double Hung	2" * 10" * 37" (3)
W03	3	3rd floor	2954	33 * 64	33"	64"	34 * 65 1/2 "	Double Hung	2" * 10" * 37" (3)
W04	3	3 rd floor	3355	37 * 65	37"	65"	38 * 66 1/2 "	Double hung	2 * 12 * 37 (3)

Paradigm Argon. U Factor will meet = 35

Door Schedule									
Number	QTY	Floor	Size	Dimensions	Width	Height	R/O	Description	Header
D01	1	1st floor	5068	60" * 80 "	60"	80 "	61" * 81 1/2"	Glass Slider	2" * 10 " * 64"
D02	1	2nd floor	5068	60" * 80 "	60"	80"	61" * 81 1/2"	Glass Slider	2" * 10 " * 64"
D03	1	3rd floor	5068	60" * 80 "	60"	80"	61" * 81 1/2"	Glass Slider	2" * 10 " * 64"
D04	2	1st floor	2868	32" * 80"	32"	80"	34 1/2" * 81 1/2"	Fired Rated Entry	Existing 2 * 4
D05	2	2nd floor	2868	32" * 80"	32"	80"	34 1/2" * 81 1/2"	Fired Rated Entry	Existing 2 * 4
D06	2	3rd floor	2868	32" * 80"	32"	80"	34 1/2" * 81 1/2"	Fired Rated Entry	Existing 2 * 4



Descriptor/Area

- A: 3Fr/B
1312 sqft
- B: OFP
36 sqft
- C: 3sOP
32 sqft
- D: 2sOP/FUB
110 sqft
- E: FUB
33 sqft
- F: OFP
70 sqft

1593

Using section 14-436(b) to add second story over existing 1st story in rear.

80% of 1593 = 1274.4

adding: 10'10" x 11'6" =

10.83 x 11.5 = 124.55 sqft

using 10% of allowable increase.

R-6

lot size 3200 sqft

land area per du - 1000 sqft - 3 units - 3000 sqft ok.

front setback - N/A

side setback - 10' existing - right 1' proposed - same - right
" left 10.75' " left 14.67'

rear setback - 20' existing 9' (from rear stairs) proposed same.

lot coverage 50% = 1600

new rear entry adds 18.06 sqft but removed 36 sqft side porch

OK

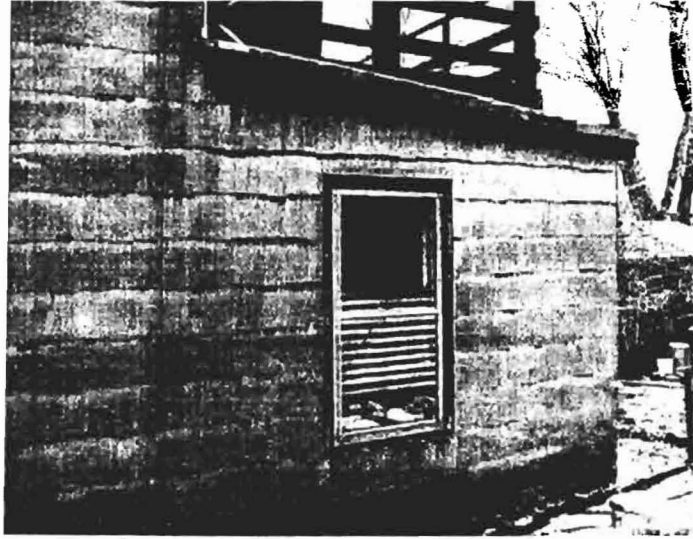
Using section 14-427 to enclose the 3rd floor porch - majority of walls are glass.

Using section 14-382(d) to expand the third floor porch 1'5" to edge of building to match 2nd's 3rd floor - "... addition may be made ... proposed change in existing exterior wall and/or roof would be within space occupied by existing shell of building.

Using section 14-425 to add one story entry porch extends 4.35' off building; 18.06 sqft footprint.

22-24 Vesper st. Portland

1st Floor addition
under deck



4/13/2009



4/13/2009



4/13/2009

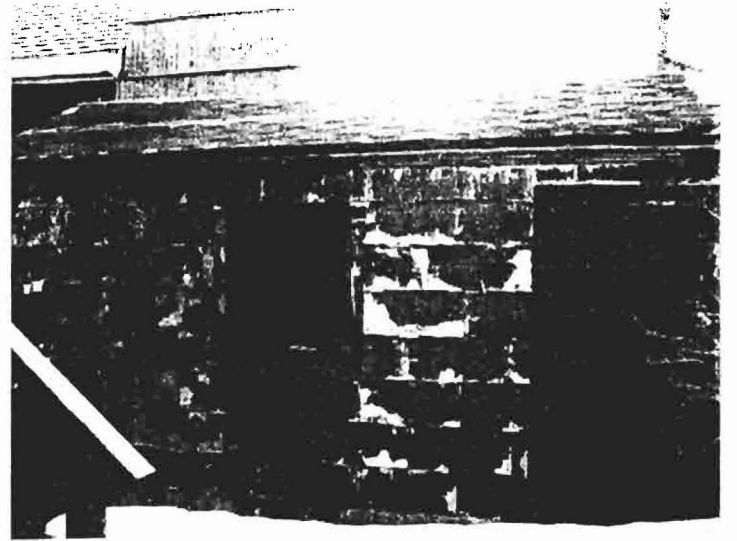


4/13/2009

22-24 Vesper st,
Portland.



4/13/2009



3/18/2009

Garage



4/13/2009

22-24 Vesper St, Portland
Deck



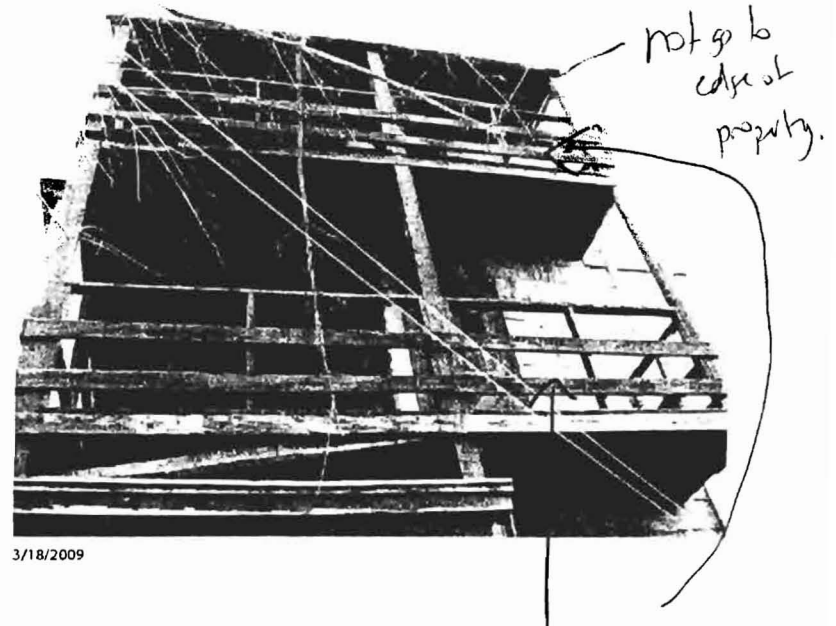
4/13/2009



3/18/2009



3/18/2009



3/18/2009

Enclosed
exterior structure

22-24 Vesper St. Portland
Side stairs entrance



4/13/2009

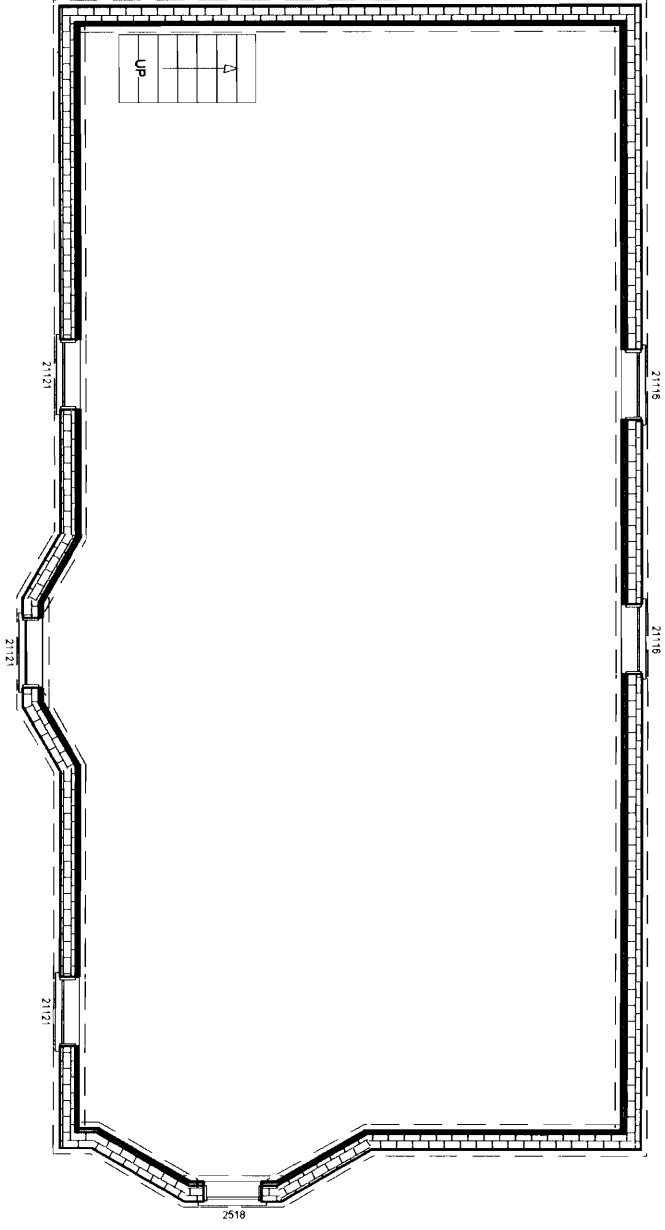


4/13/2009

Back porch / deck
Stairs



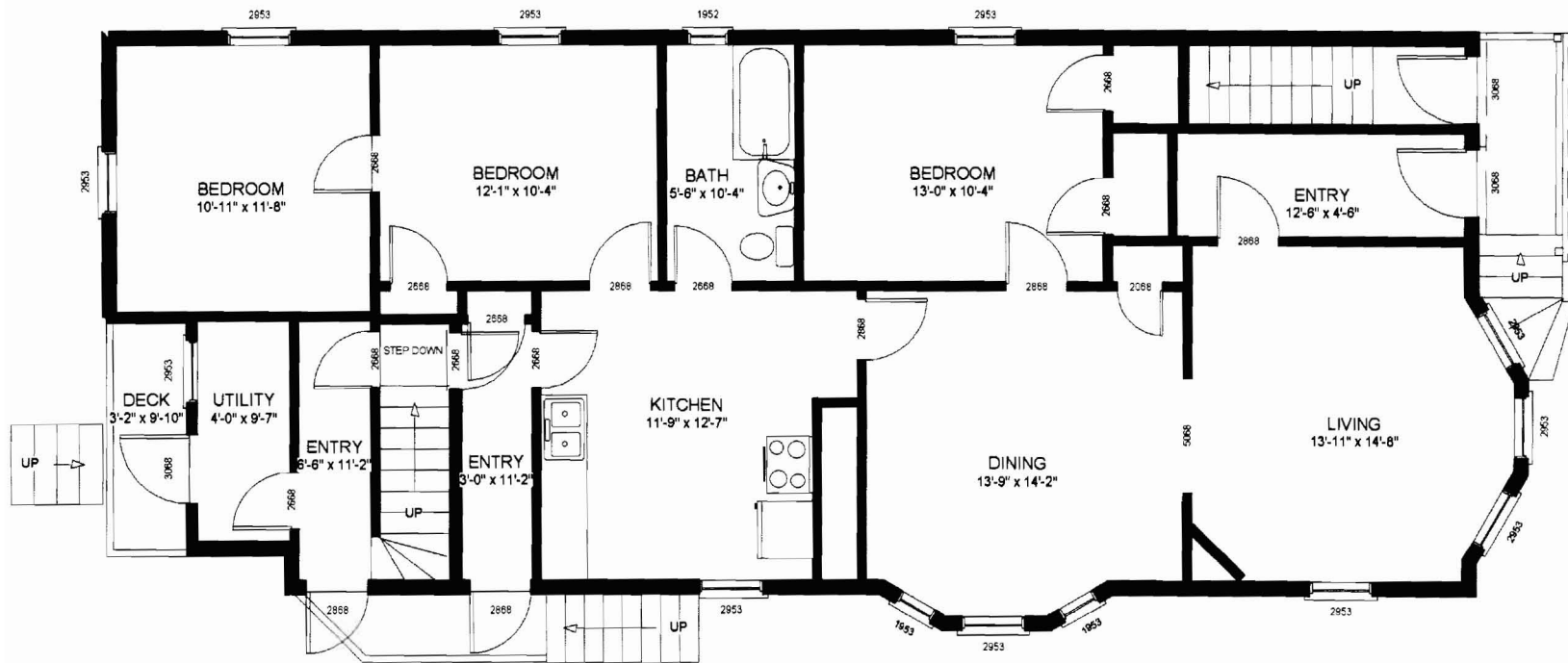
4/13/2009



LIVING AREA
1192 sq ft

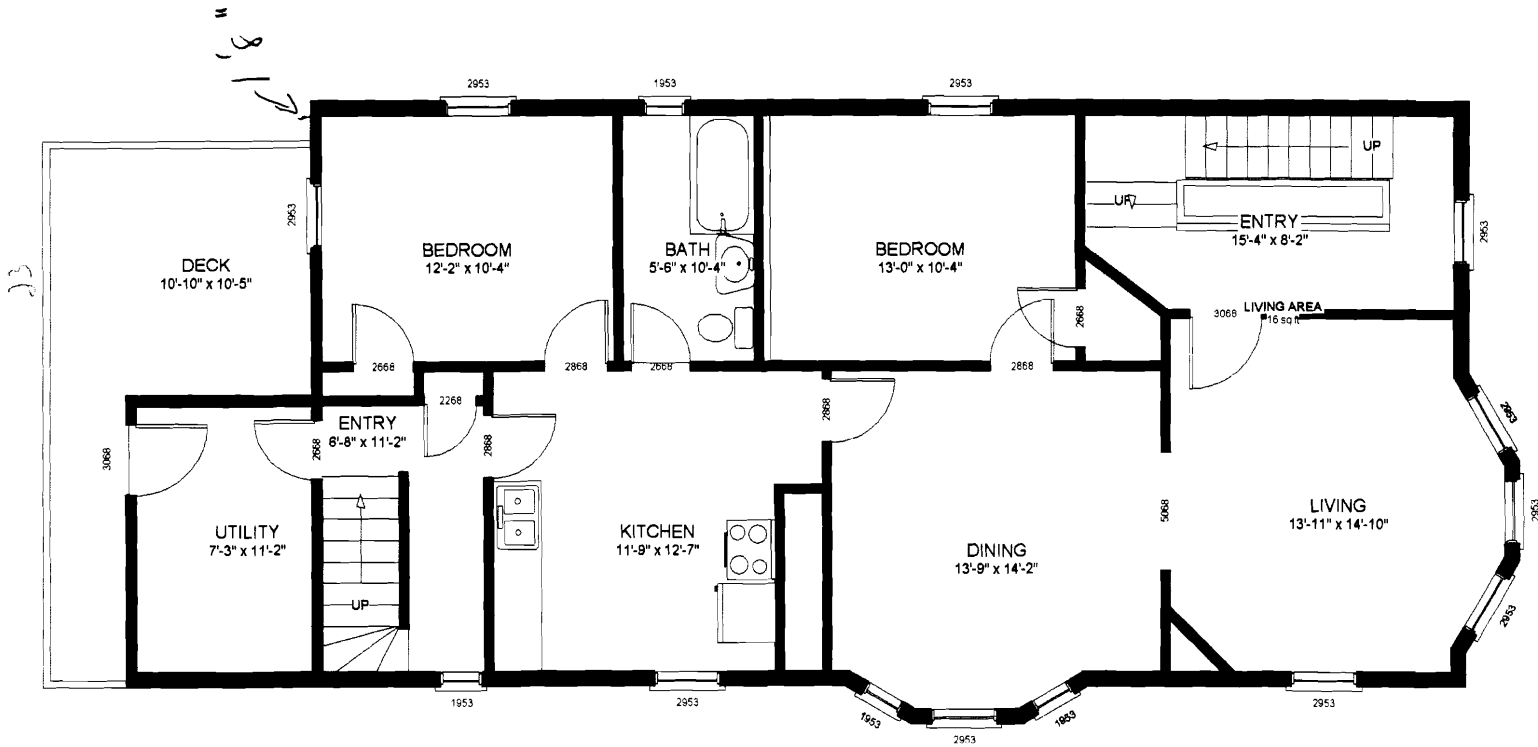
**EXISTING BASEMENT
FLOOR PLAN**

Scale 1/8" = 1 Foot



52

LIVING AREA
1430 sq ft
EXISTING FIRST FLOOR PLAN
SCALE 1/8" = 1 FOOT

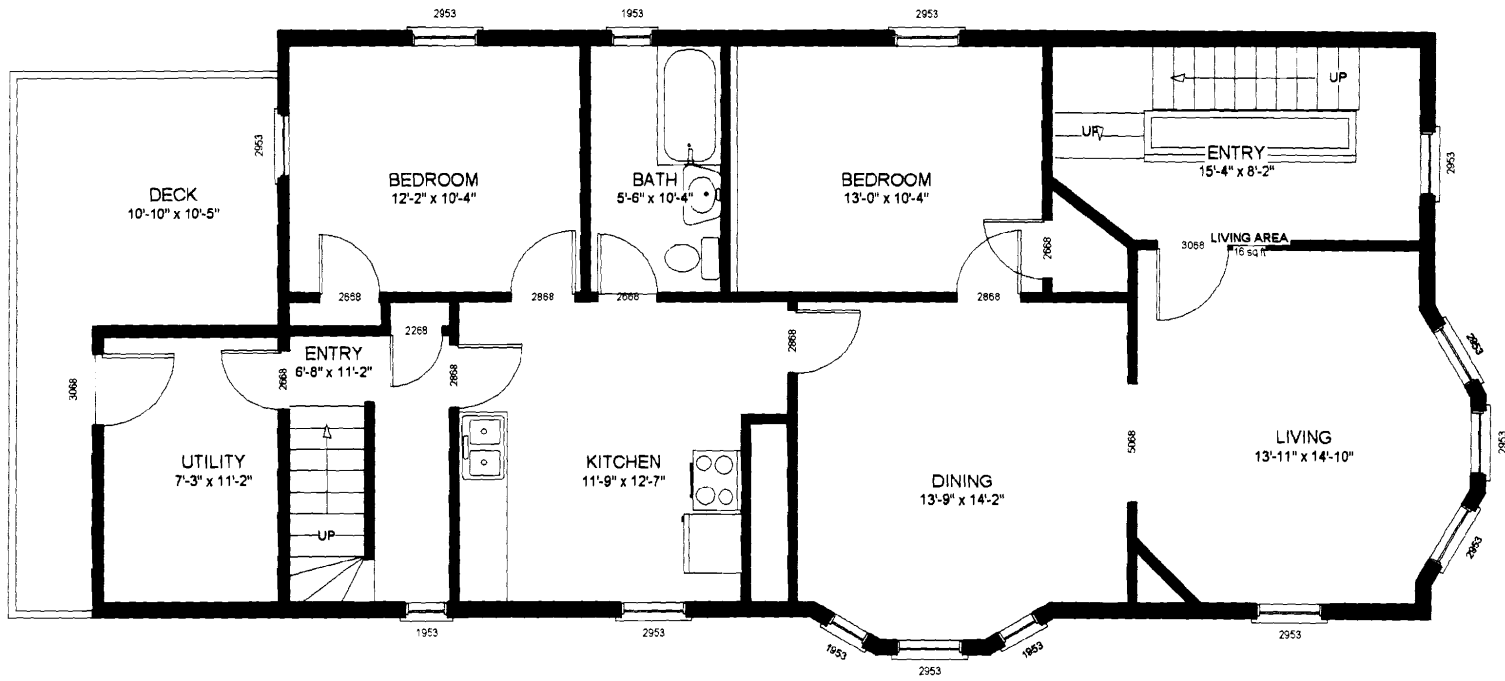


**EXISTING
SECOND FLOOR
PLAN**

SCALE 1/8" = 1 FOOT

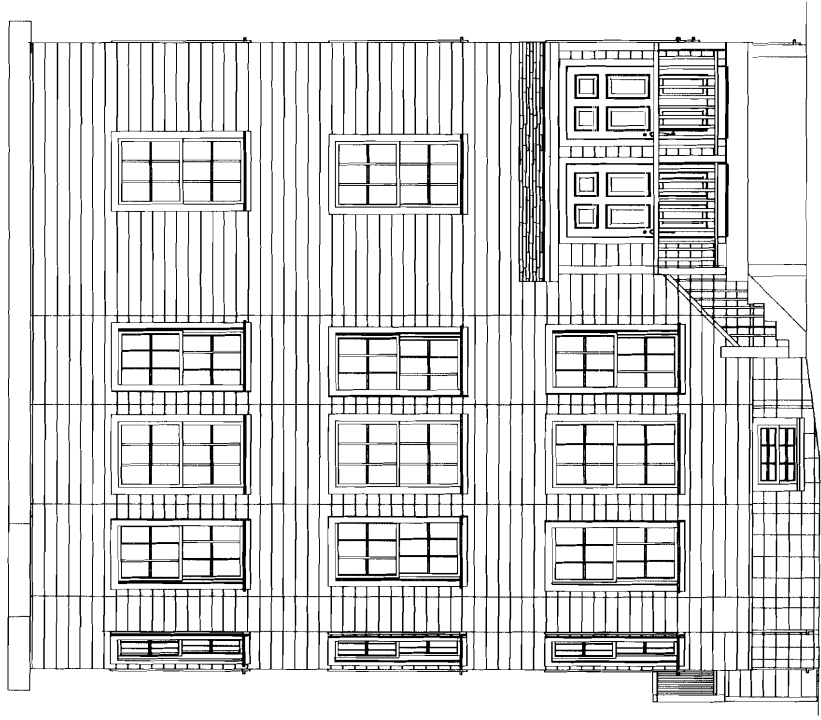
LIVING AREA
1289 sq ft

5+



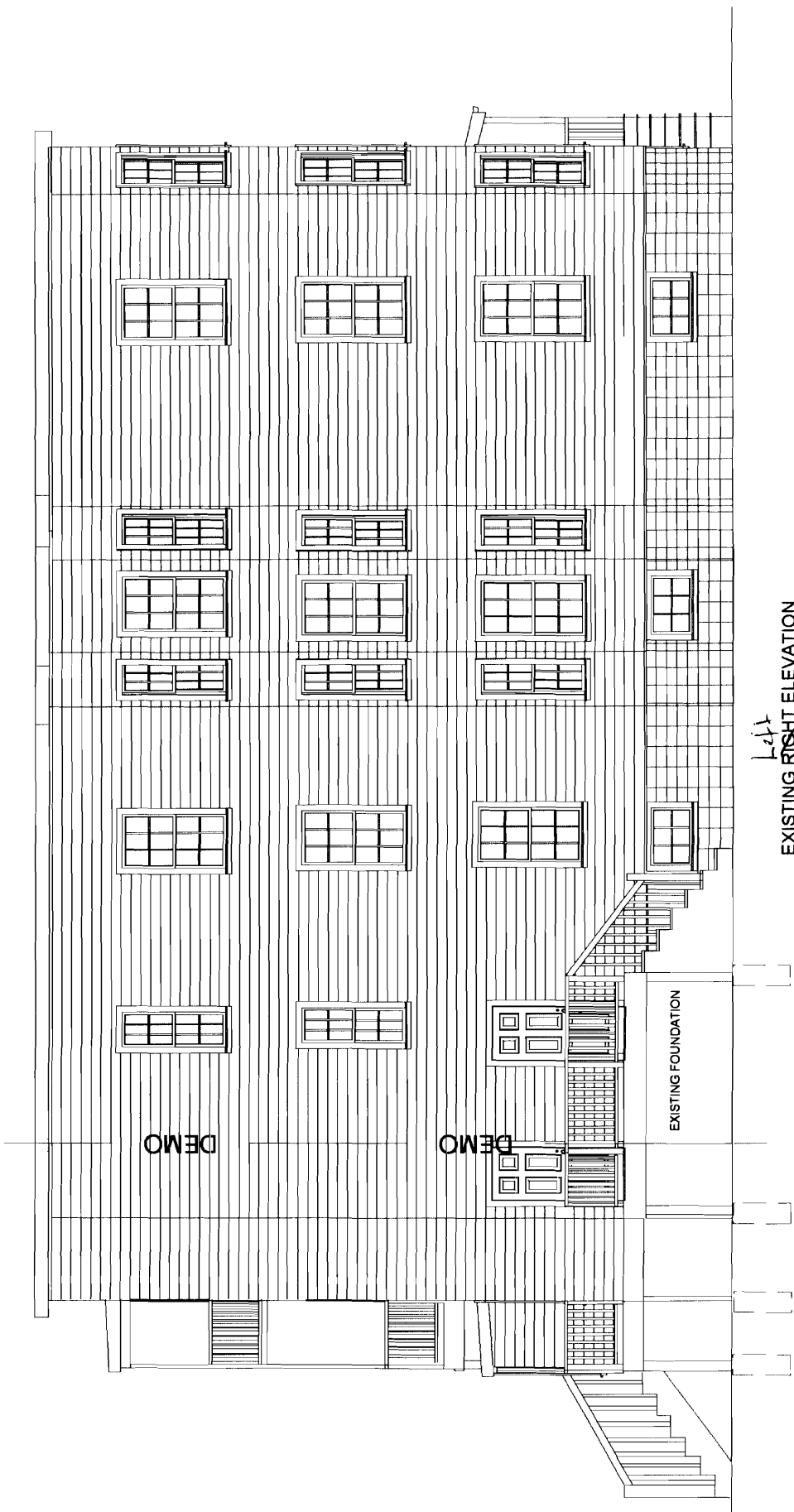
EXISTING THIRD
FLOOR PLAN
SCALE 1/8" = 1 FOOT

LIVING AREA
1289 sq ft

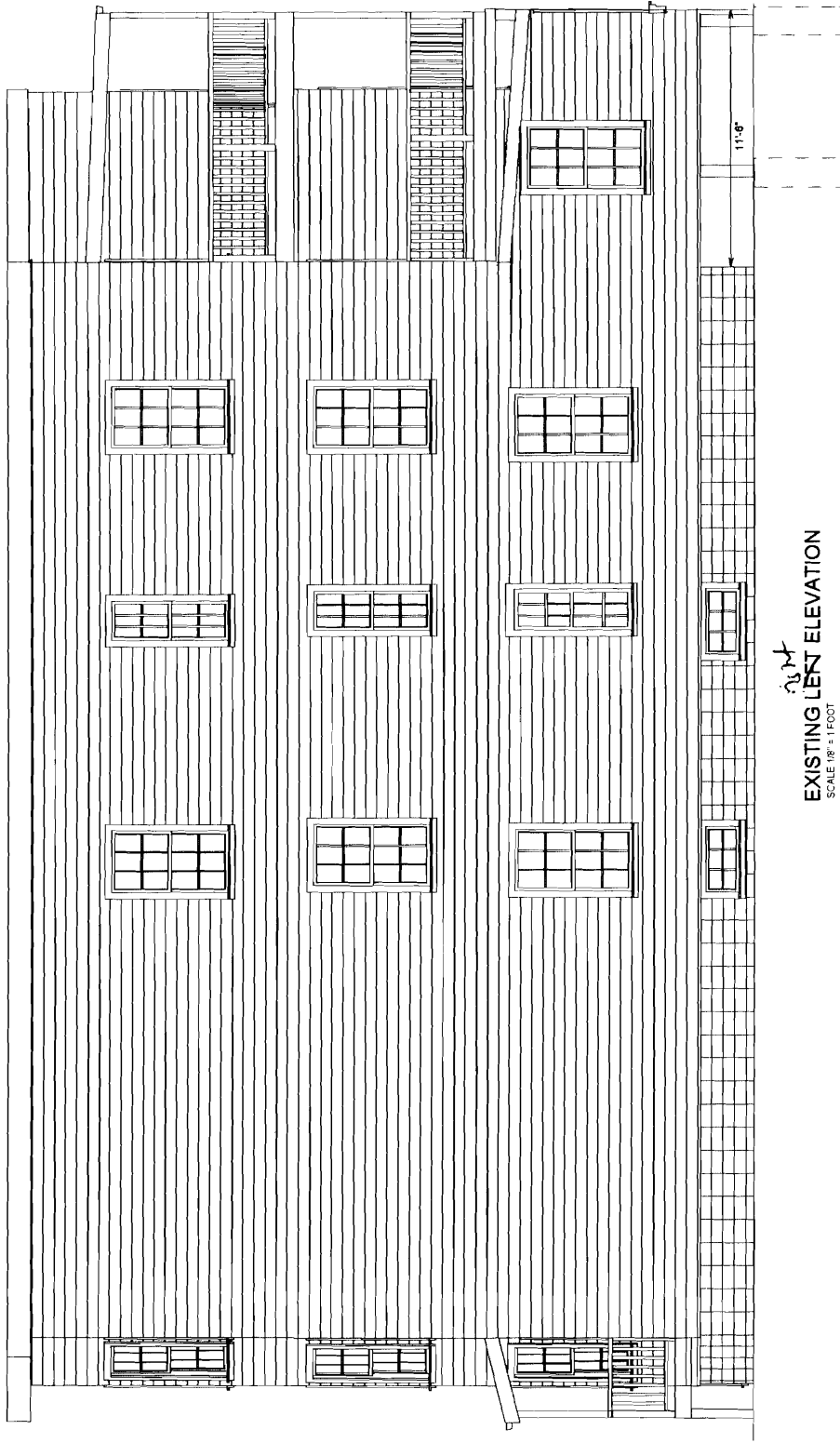


EXISTING FRONT
ELEVATION
SCALE 1/8" = 1'-0"

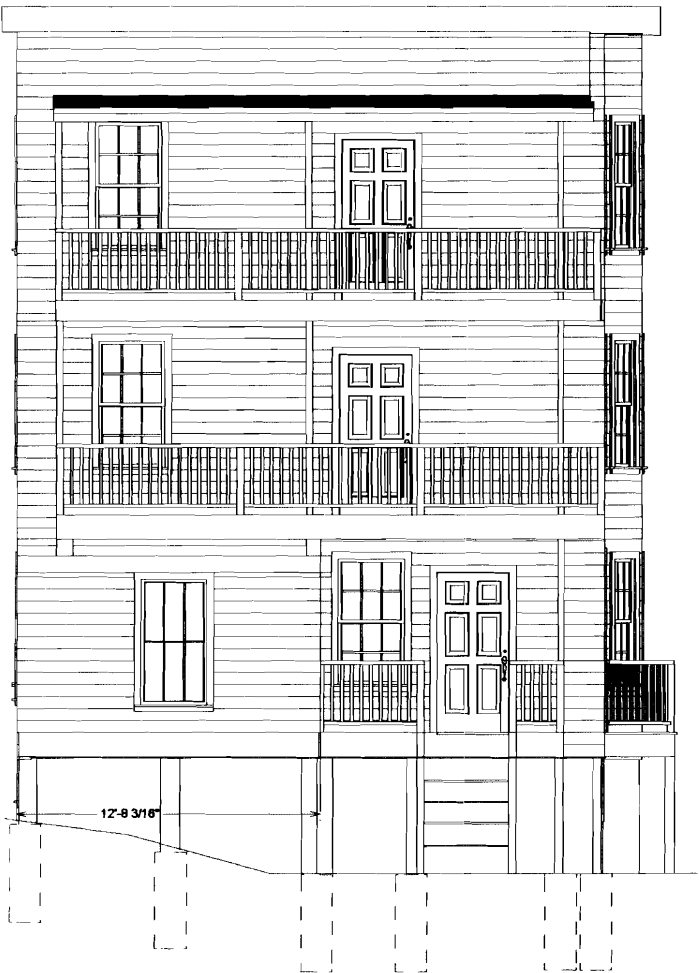
NTS



L41
EXISTING RIGHT ELEVATION
SCALE 1/8" = 1'-0"



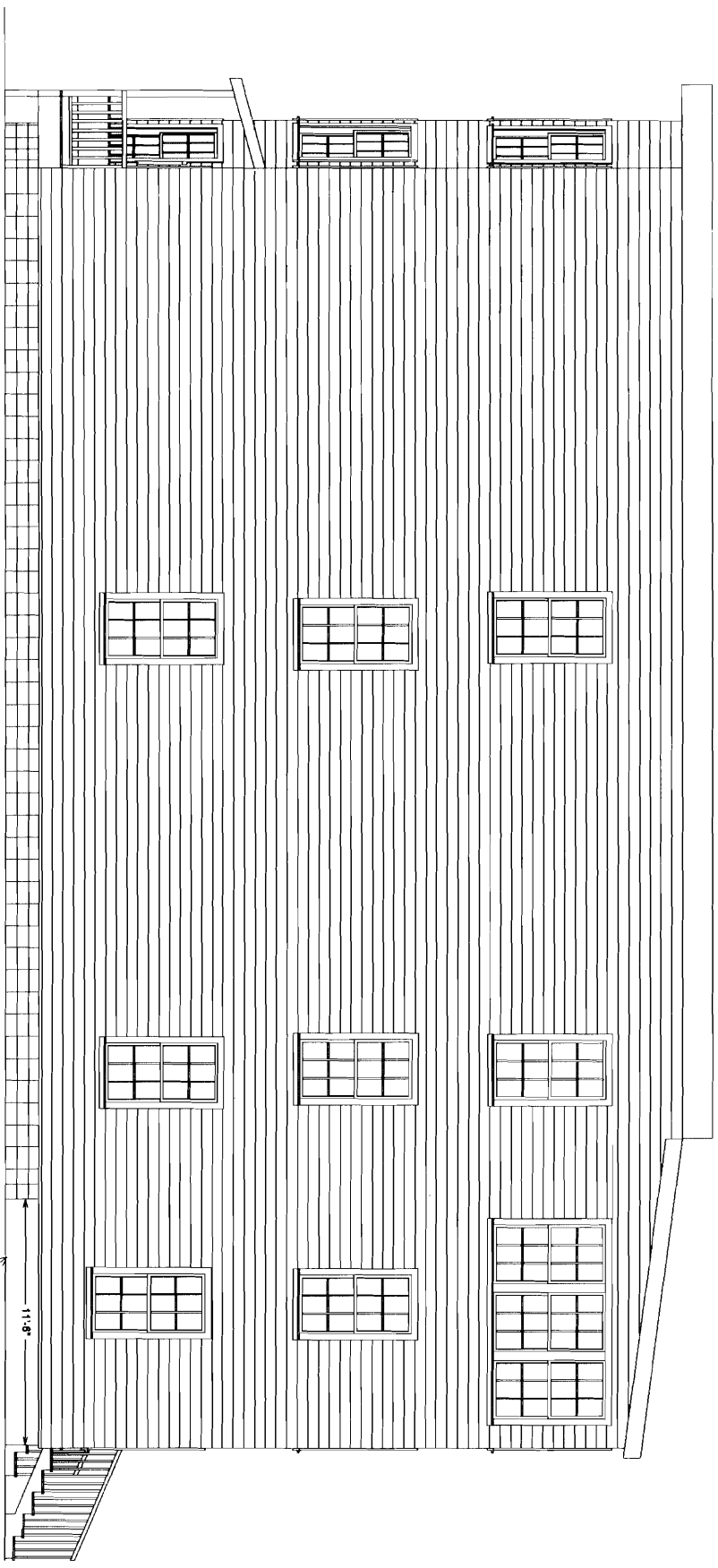
SM
EXISTING LEFT ELEVATION
SCALE 1/8" = 1 FOOT



REAR ELEVATION

SCALE 1/8" = 1 FOOT

Existing?

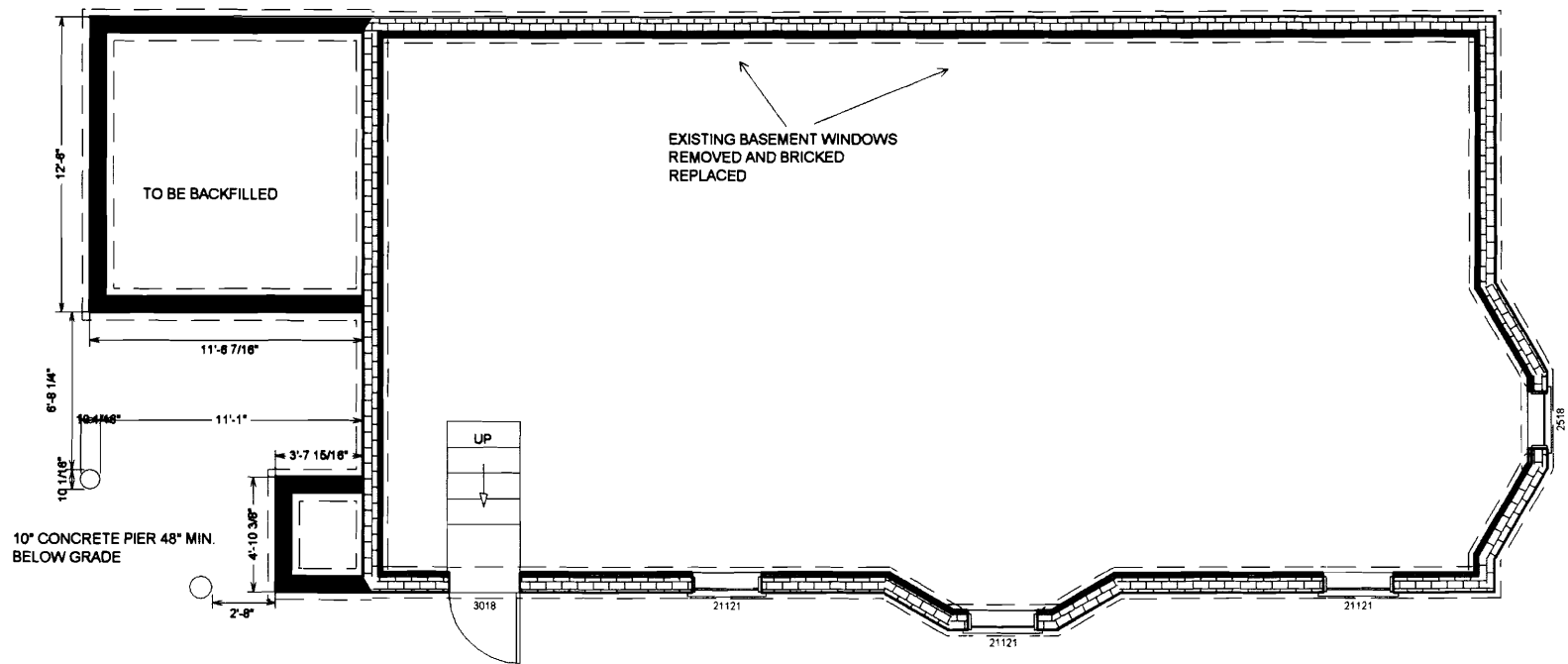


PROPOSED RIGHT ELEVATION

PROPOSED NEW FOUNDATION

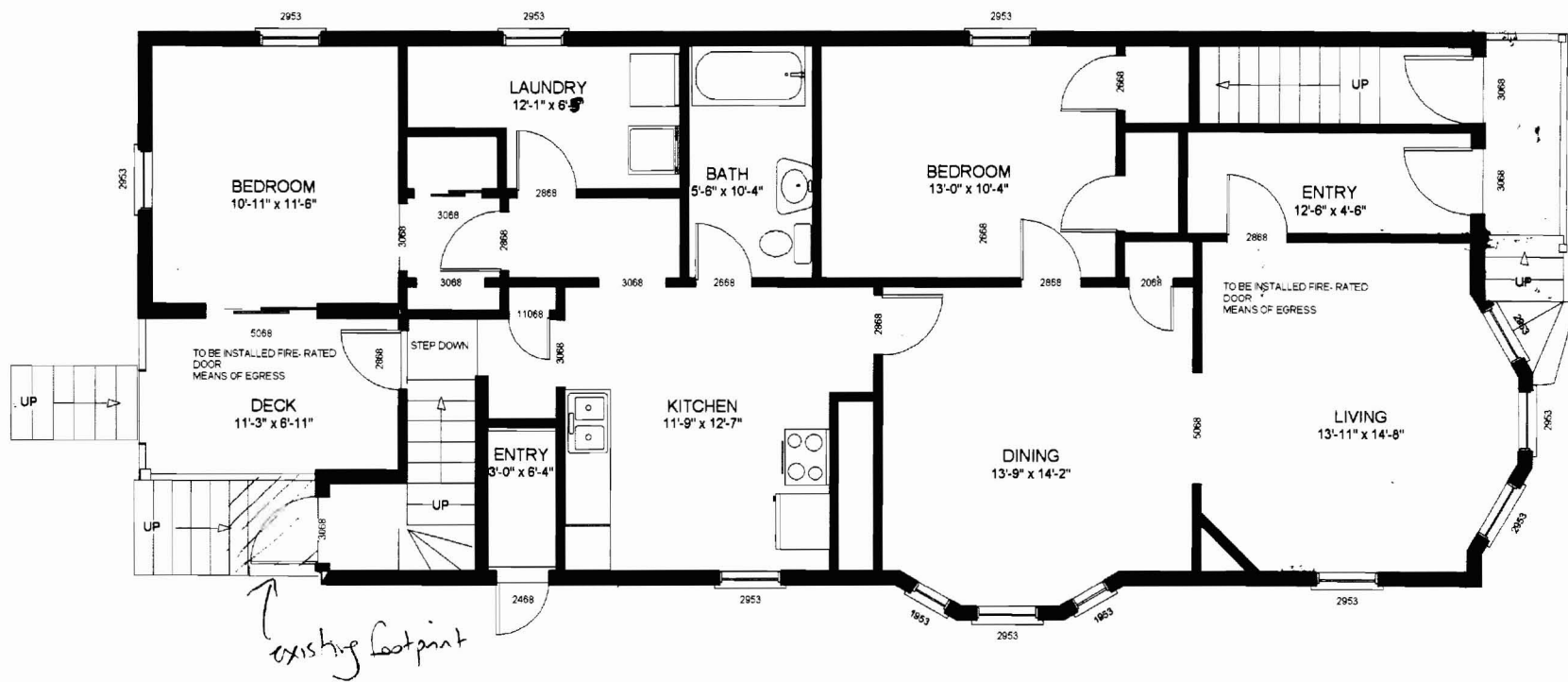
11'-8"

JUN 1 2009



PROPOSED
FOUNDATION FLOOR
PLAN

JUN 1 2009

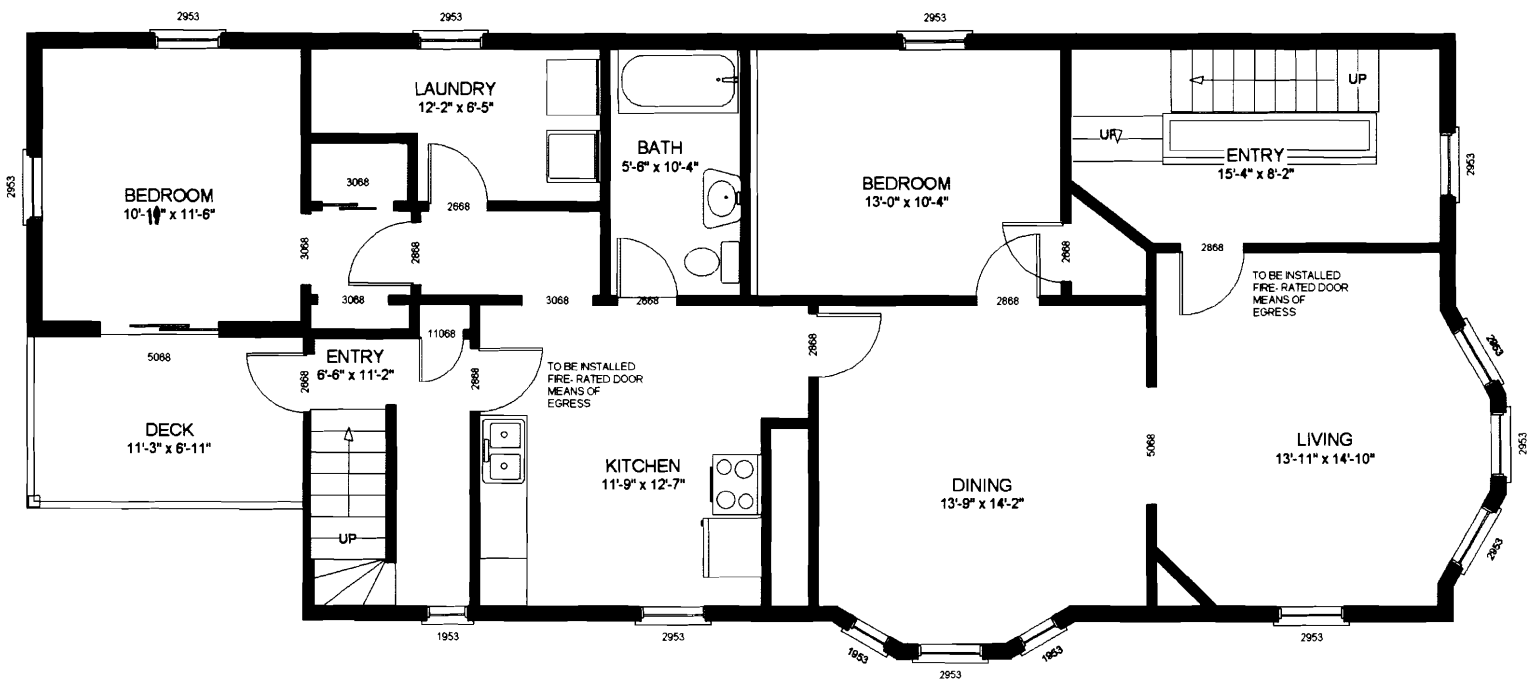


PROPOSED FIRST FLOOR
PLAN

LIVING AREA
1358 sq ft

4.25x 4.25 = 18.06 ϕ section 11-425

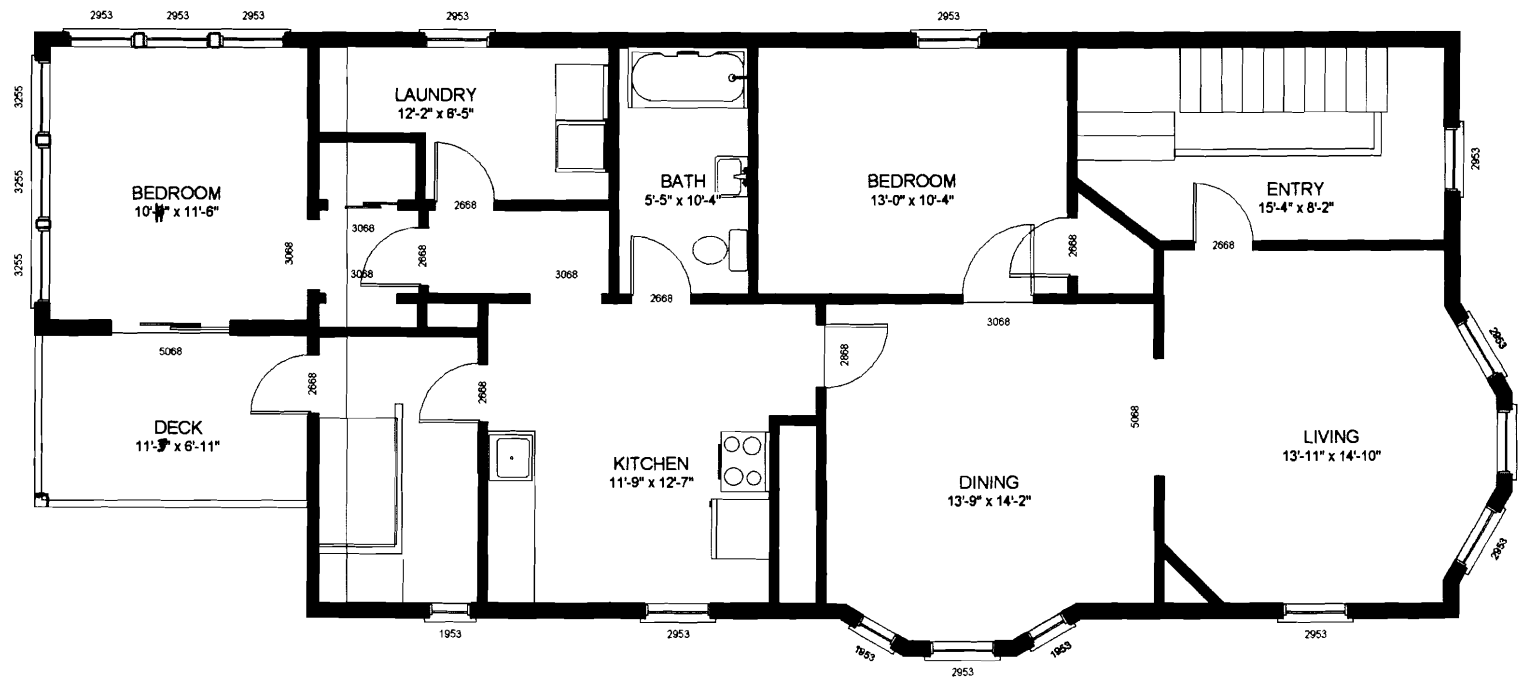
JUN 1 2009



PROPOSED
SECOND
FLOOR PLAN

LIVING AREA
1337 sq ft

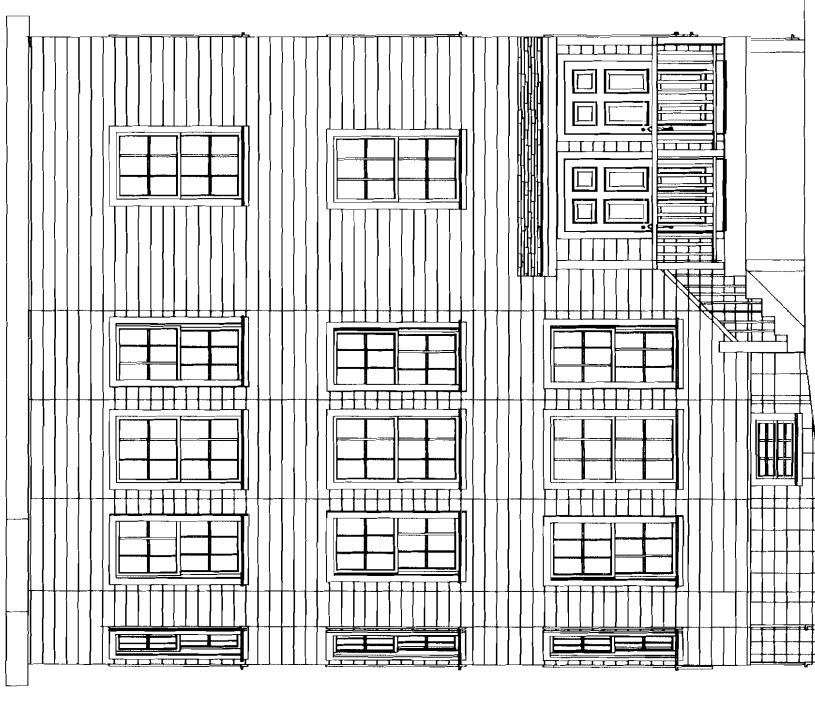
JUN 1 2000



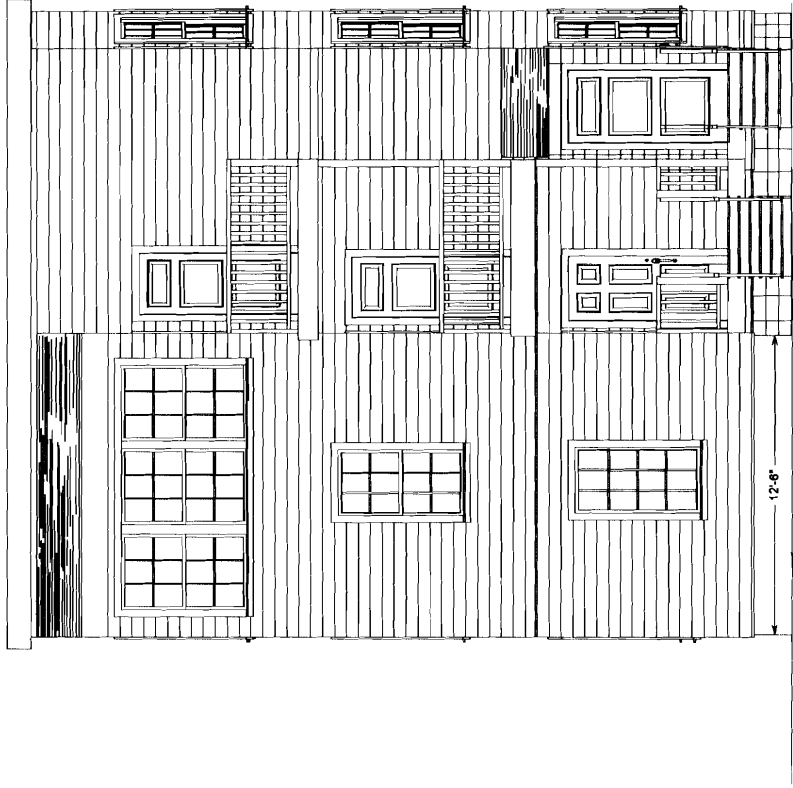
PROPOSED THIRD FLOOR PLAN

LIVING AREA
1339 sq ft

JUN 1 2009



PROPOSED FRONT ELEVATION
SCALE 1/8" = 1'-0"

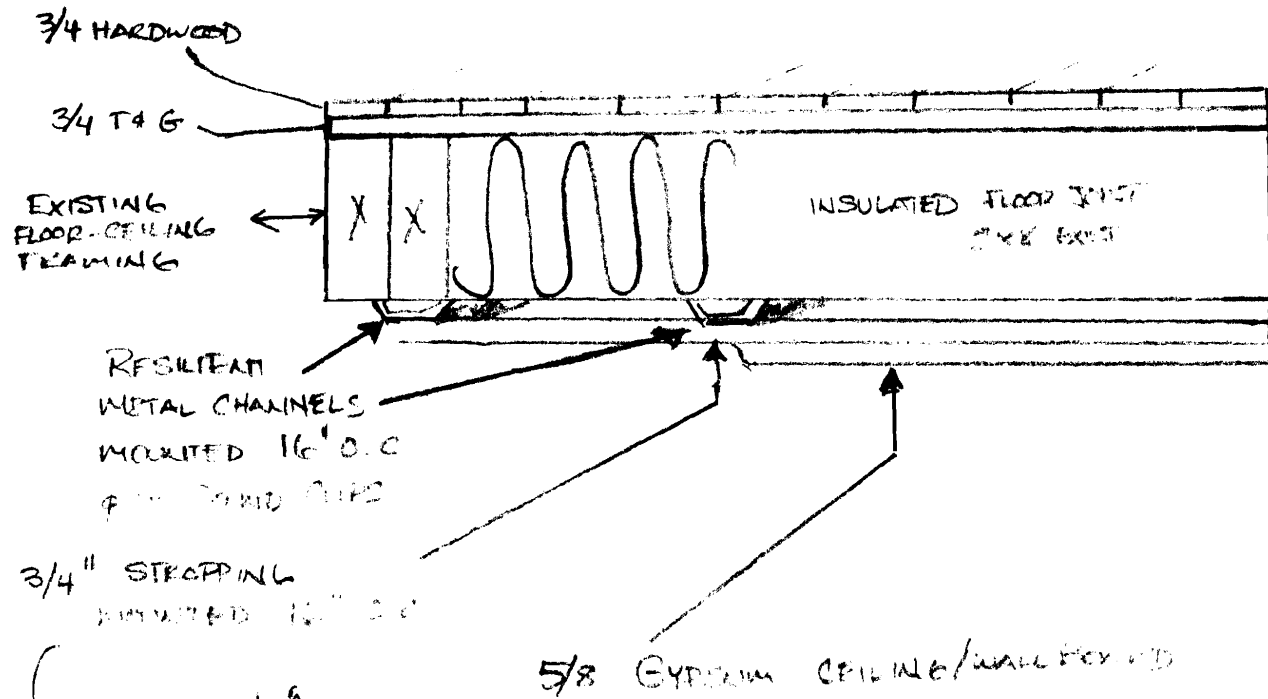


PROPOSED NEW
FOUNDATION

PROPOSED REAR ELEVATION

JUN 1 2009

22 VESPER
CEILING CROSS SECTION



CODE REQ.

6/12/09

Bob has

detail spec
from channel

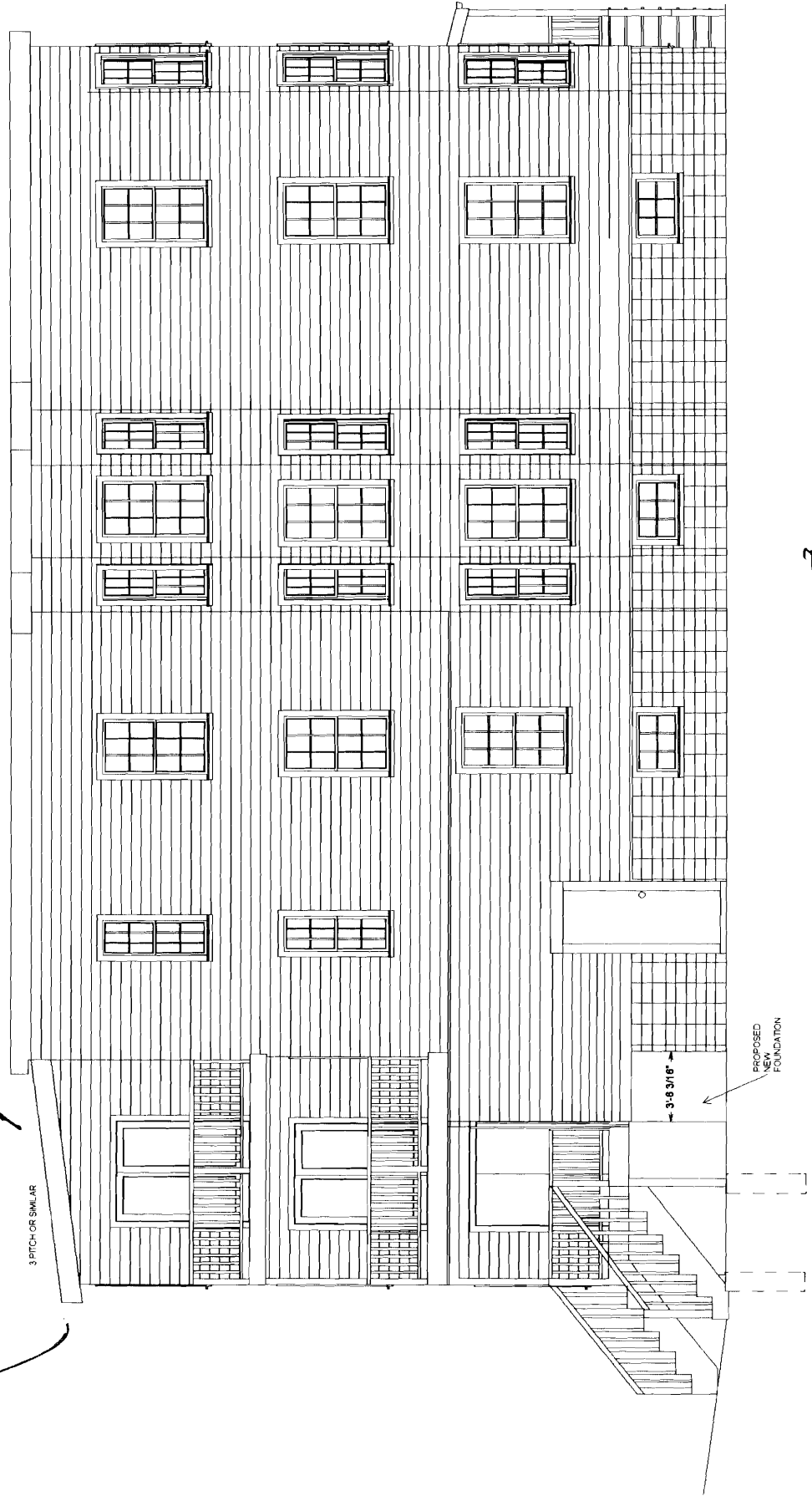
man. to apply
strapping over channel

Asked for a copy of this

John

2x10 @ 16" O.C.
R-38 collar tie
2x6 collar tie
2x6 collar tie
2x6 collar tie

3 PITCH OR SIMILAR



[Handwritten signature]

PROPOSED LEFT ELEVATION
SCALE 1/8" = 1'-0"

2X8 ROOF RAFTERS 16" O.C.
W/ 1/2" PER FOOT PITCHED
TWD ROOF DRAIN.
RUBBER MEMBRANE ROOF

BLOWN IN ATTIC INSULATION
2X4 CEILING JOIST 16 O.C

VINYL (CEDAR IMPRESSIONS)
EXT. WALL FINISH

TYPAR HOUSE WRAP

2 LAYER 7/16" O.S.B. / 7/8"
ROUGH CUT PINE WALL
SHEATHING AS REQUIRED

2X4 FRAMING 16 O.C.

8'-9" ROOM HEIGHT
(FROM SUB FLOOR TO FRAMING)

VINYL CLAPBOARD EXT. WALL
FINISH

TYPAR HOUSE WRAP

2 LAYER 7/16 O.S.B. / 7/8" ROUGH
CUT PINE WALL SHEATHING AS
REQUIRED

2X4 FRAMING 16 O.C.

8'-9" ROOM HEIGHT
(FROM SUB FLOOR TO FRAMING)

VINYL CLAPBOARD EXT. WALL
FINISH

TYPAR HOUSE WRAP

2 LAYER 7/16 O.S.B. / 7/8" ROUGH
CUT PINE WALL SHEATHING AS
REQUIRED

2X4 FRAMING 16 O.C.

9'-1 3/4" ROOM HEIGHT
(FROM SUB FLOOR TO FRAMING)

R-19 WALL INSULATION

PLASTER WALL FINISH

3/4" T&G SUB FLOOR

2X8 FLOOR STRUCTURE

R-30 JOIST INSULATION

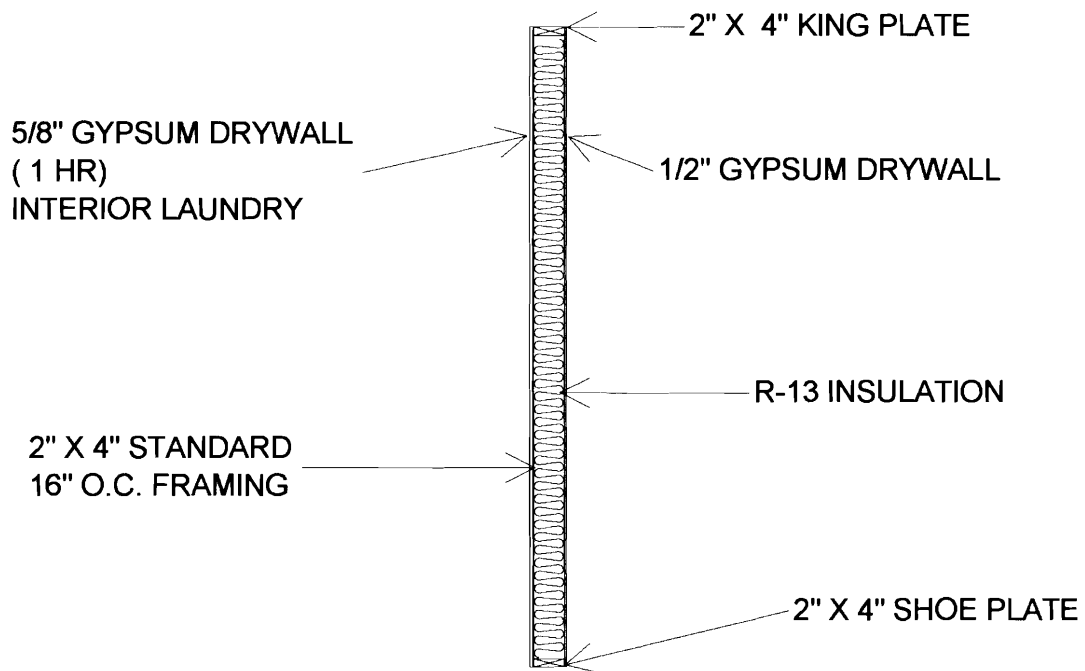
5/8" FIRE -RATED GYPSUM BOARD W/
RESILIENT CHANNEL CEILING TYP.
THROUGHOUT

GRADE

7' ROOM HEIGHT
(FROM SLAB TO FRAMING)

DATE 2.7.20

THREE STORY WALL SECTION FRAMING

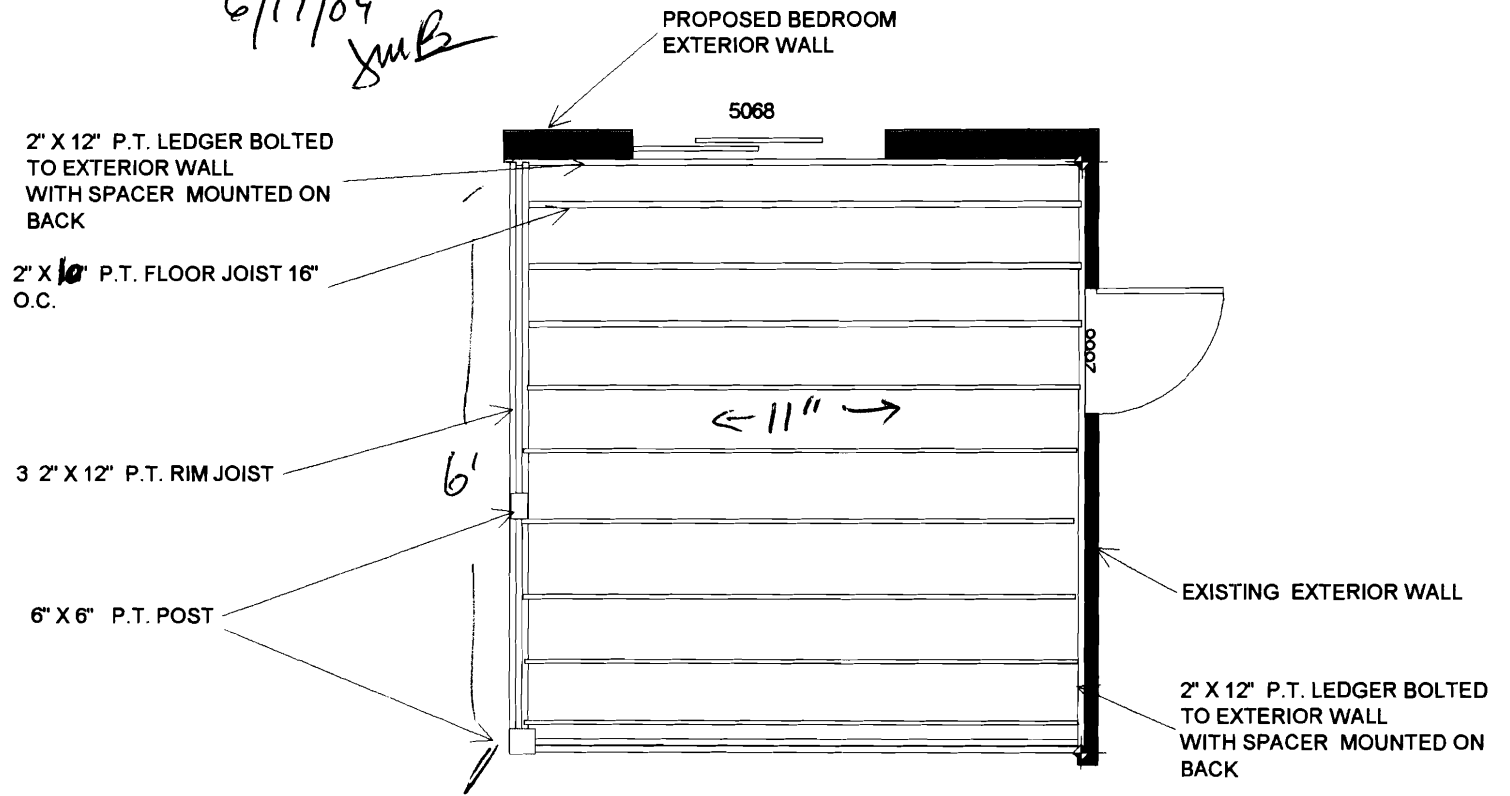


PROPOSED INTERIOR LAUNDRY WALL CROSS SECTION

WOOD WALL SYSTEM- 2" X 4"
INTERIOR WALL PARTITIONS FOR
PROPOSED LAUNDRY

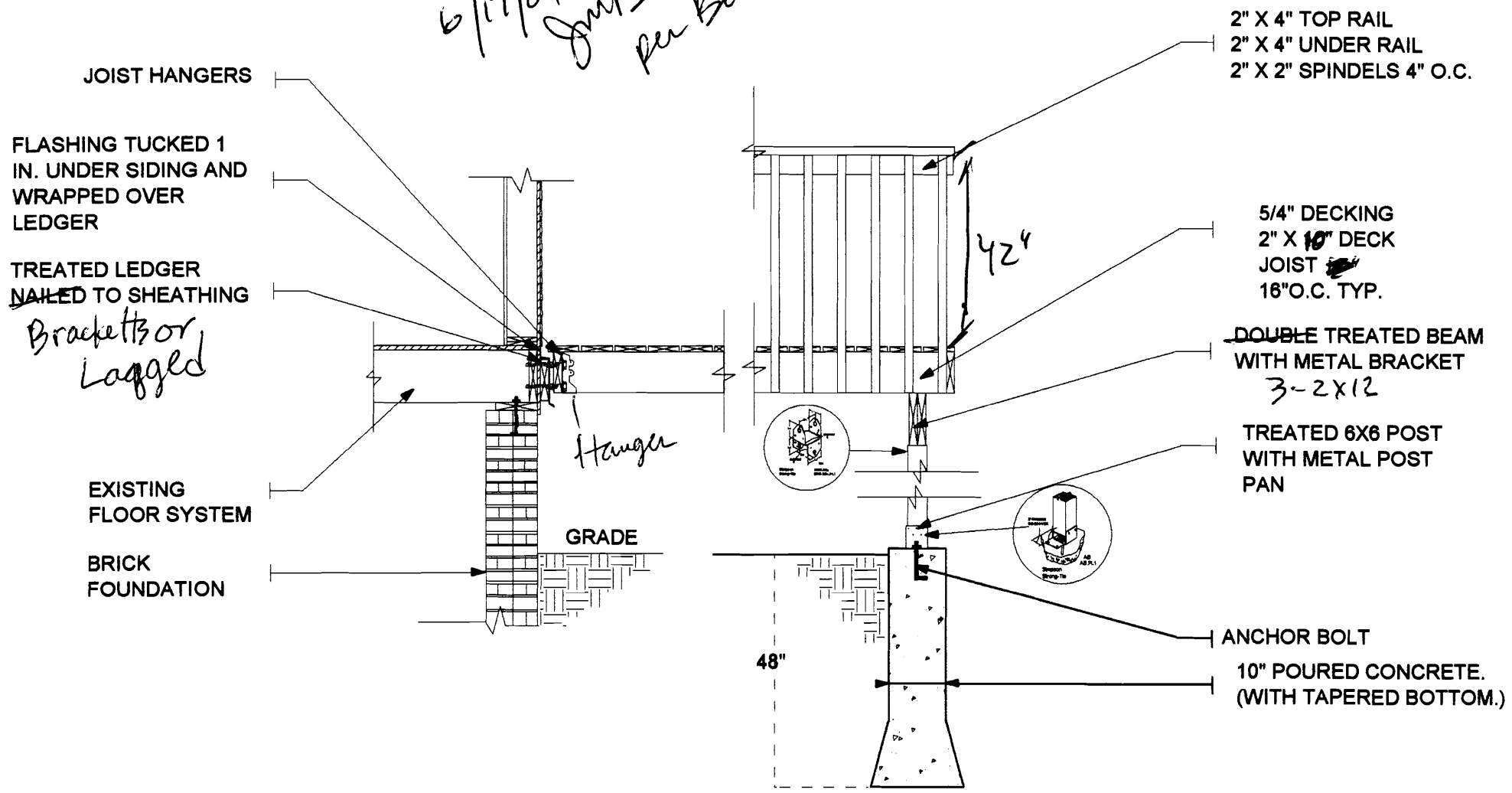
LAUNDRY AREA NOT TO
EXCEED 70 SQ.FT

6/17/09
JMB

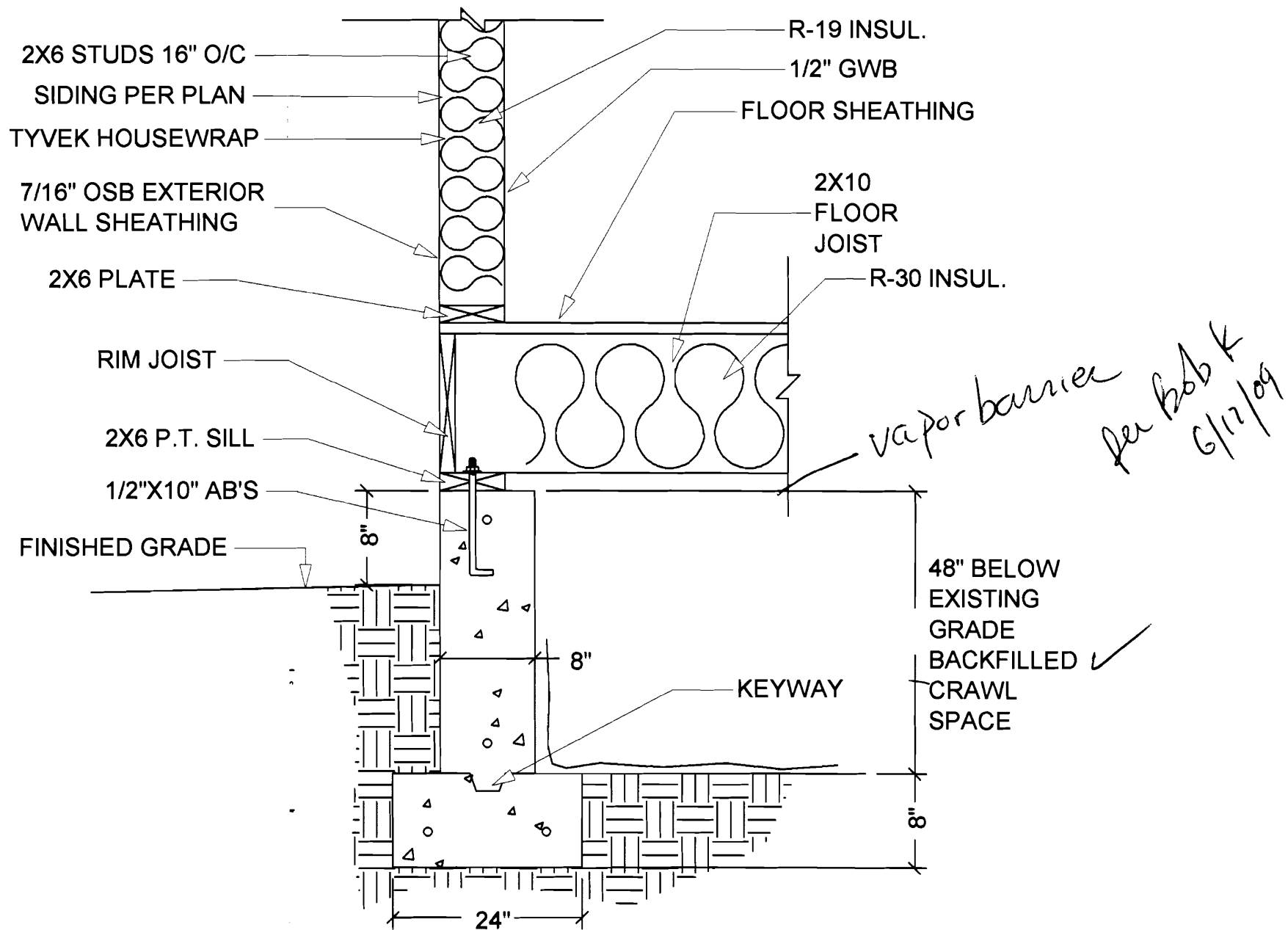


11'-3" 6'11"
PROPOSED ~~11'-1" X 11'-7"~~
DECK FRAMING PLAN - see revised plans
6/17/09 for size of decks.

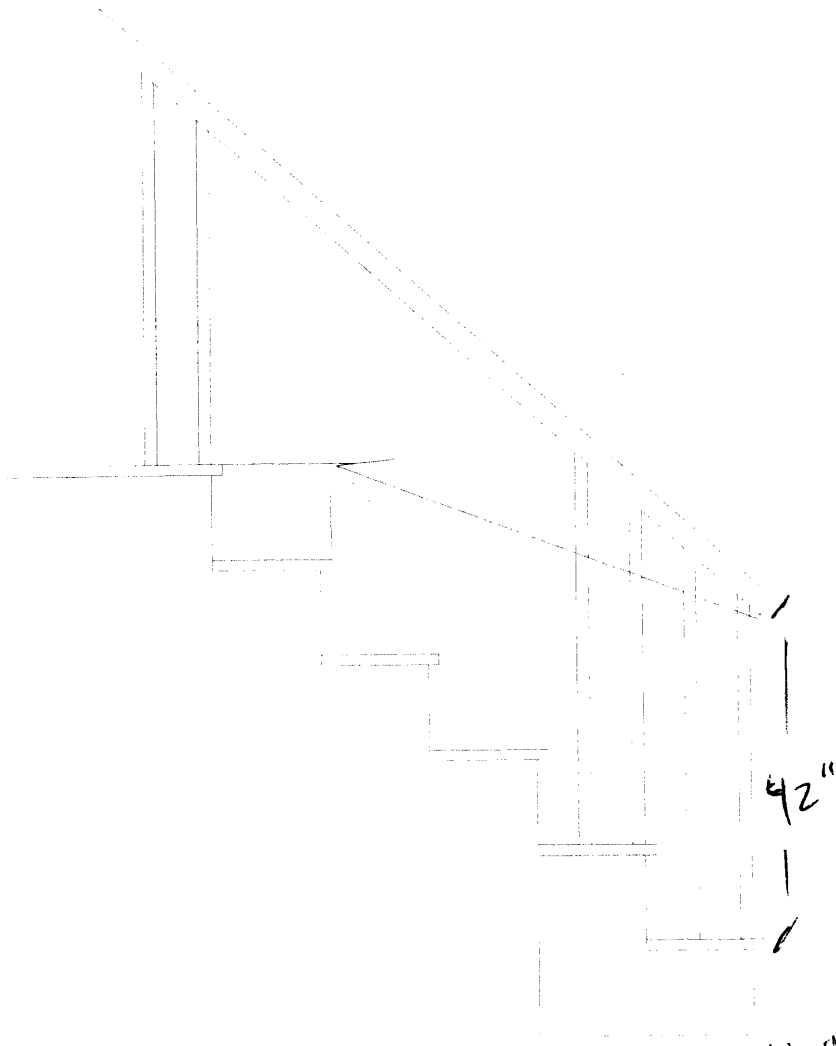
6/17/09
JMB
per Bobk.



Typical Deck Detail



PROPOSED ADDITION / ENTRY FOUNDATION SECTION



Exterior Stairs Back Deck and Entry

Riser Height 7" , tread to tread

Tread Depth 11" edge to edge

~~1" overhang nosing on stair treads~~
90° w/ minimal overhang

Handrails 36" off tread height

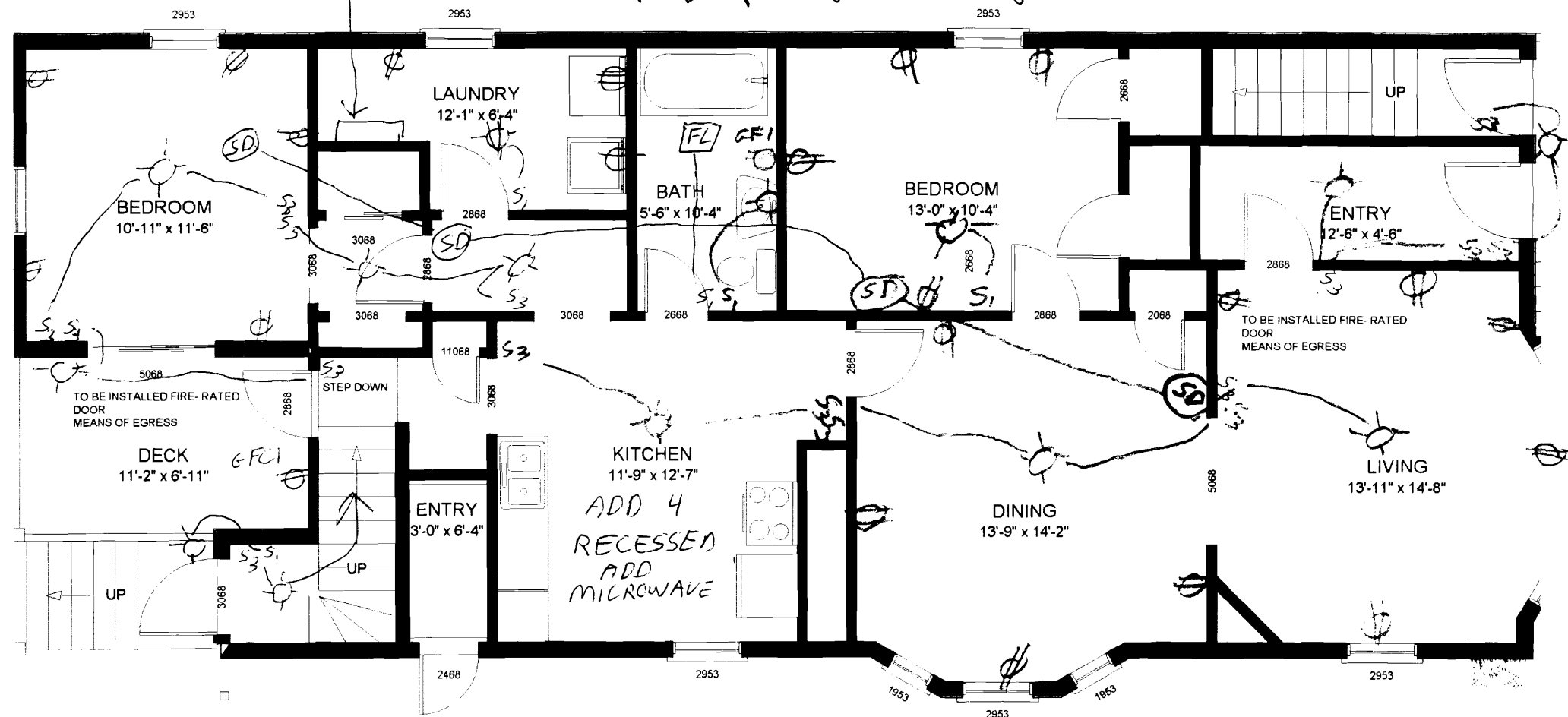
Ballister spacing 4" or less

*w/ handrail
@ 34"-38"
Returned
per Bob K.
6/17/09*

PENCIL - EXISTING
PEN - NEW

6/17/09
Per Bob K
Fixtures will
be rated or
meet 712.4.2
Will give us
Specs
JMB

SUBPANEL



OUTLETS - 8	24
SWITCHES - 11	31
LIGHTS - 11	27
DRYER - 1	3 FLOOR TOTAL
WASHER - 1	3
MICRO - 1	3
SUBPANEL - 1	3
SMOKES - 2	8
DISHWASHER - 1	3

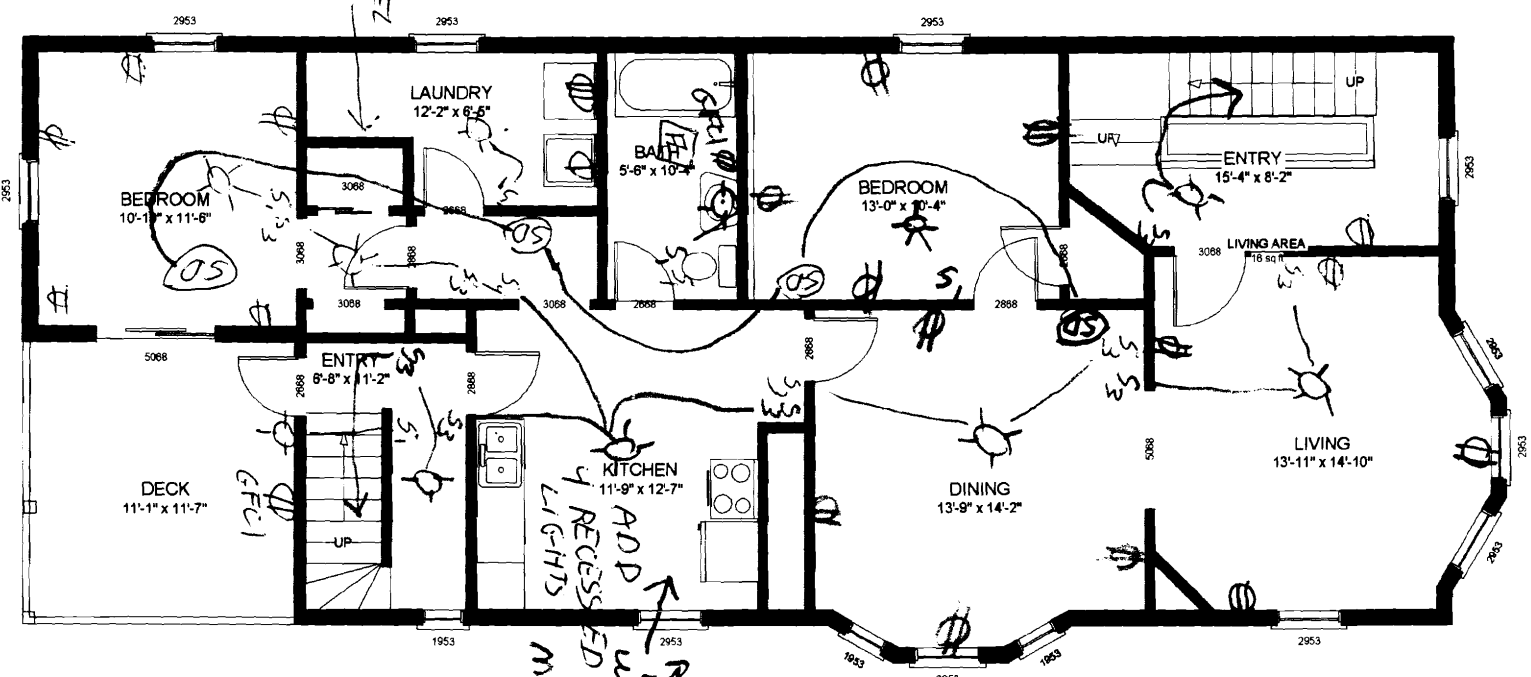
PROPOSED FIRST FLOOR
PLAN

SCALE 1/8" = 1 FOOT

LIVING AREA
1358 sq ft

ADD HOUSE PANEL - METER EXISTING
REFEED HOUSE CIRCUITS TO HOUSE PANEL

REROUTE ALL CIRCUITS TO SUBPANELS
 ELIMINATE KNOBTUBE WIRING TO EXISTING LIGHTS & OUTLETS
 MOSTLY NEW ROMEX, VERY LITTLE KNOBTUBE



SUB PANEL FROM BSMT

REWORK EXISTING WIRING
 ADD RECESSED LIGHTS
 ADD MICROVAVE

PROPOSED SECOND FLOOR & 3rd FLOOR PLAN
 SCALE 1/8" = 1 FOOT

- 2nd & 3rd FLOOR TOTAL
- NEW SWITCHES — 10 x 2 = 20
 - NEW OUTLETS — 8 x 2 = 16
 - WASHING MACHINE — 1 x 2 = 2
 - DRYER — 1 x 2 = 2
 - MICROWAVE — 1 x 2 = 2
 - SUBPANEL — 1 x 2 = 2
 - SMOKE DETECTORS — 3 x 2 = 6
 - NEW LIGHTS — 8 x 2 = 16
 - DISHWASHER — 1 x 2 = 2

PENCIL - EXISTING
 PEN - NEW



ENVIRONMENTAL SAFETY & HYGIENE ASSOCIATES, INC.

- Indoor Air Quality
- OSHA Compliance
- Asbestos Consulting
- Training
- Lead Consulting
- Industrial Hygiene

May 12, 2009

Clare Yam
Vespa LLC
20 Coveside Road
Cumberland Foreside Maine 04110

Re: Asbestos Bulk Sampling Results for 22 Vesper Street, Portland Maine.

Dear Ms. Yam:

Environmental Safety & Hygiene Associates Inc. (ESHA) is providing you with the asbestos bulk testing results for the samples collected on May 8, 2009. The bulk samples were collected with standard sampling protocols, properly packaged and shipped to EMSL Analytical Laboratory, Westmont, New Jersey for analysis by Polarized Light Microscopy (PLM) specific to asbestos content by volume.

Building materials sampled for asbestos:

- Rolled roofing on the garage.
- Rolled roofing on rear single story structure attached to the main building that is to be demolished.
- Red spec linoleum in the 2nd floor rear stairwell
- Brick pattern linoleum in the 2nd floor rear stairwell
- Block pattern linoleum in the 1st floor rear stairwell
- Ceiling plasters in the 3 story main building and rear single story structure that is to be demolished.
- Wall Plaster in rear single story structure that is to be demolished

Building materials containing asbestos:

- Rolled roofing on the garage- **12% Chrysotile Asbestos**
- Brick pattern linoleum in the 2nd floor rear stairwell - **12% Chrysotile Asbestos**
- Rolled roofing on rear single story structure attached to the main building that is to be demolished. **<1% Chrysotile Asbestos & <1% Amosite**

Any suspect materials with greater than 1% asbestos by volume are Maine DEP regulated asbestos materials. Materials < 1% asbestos by volume are an OSHA regulated material.

We appreciate the opportunity to service your asbestos testing needs, should you require further bulk or air quality sampling please feel free to contact us at any time.

Very truly,

Mark Griffith
Asbestos Inspector AI-0230

**EMSL Analytical, Inc.**

107 Haddon Ave., Westmont, NJ 08108

Phone: (856) 858-4800 Fax: (856) 858-4960 Email: westmonteslab@EMSL.com

Attn: **Peter Jabbusch**
Environmental Safety & Hygiene Assoc.
5 Delta Drive
Westbrook, ME 04092

Fax: Phone: (207) 854-2711
Project: 09-116/22 VESPER ST. PTCO

Customer ID: ESH50
Customer PO:
Received: 05/11/09 9:45 AM
EMSL Order: 040911764
EMSL Proj:
Analysis Date: 5/12/2009

Asbestos Analysis of Bulk Materials via EPA 600/R-93/116 Method using Polarized Light Microscopy

Sample	Description	Appearance	Non-Asbestos		Asbestos % Type
			% Fibrous	% Non-Fibrous	
B1-Skim Coat 040911764-0001	1ST-3RD	White Non-Fibrous Homogeneous		100% Matrix	None Detected
B1-Rough Coat 040911764-0001A	1ST-3RD	Brown Fibrous Homogeneous	2% Hair	98% Matrix	None Detected
B2-Skim Coat 040911764-0002	1ST-3RD	White Non-Fibrous Heterogeneous		100% Matrix	None Detected
B2-Rough Coat 040911764-0002A	1ST-3RD	Brown Fibrous Homogeneous	15% Hair	85% Matrix	None Detected
B3-Skim Coat 040911764-0003	1ST-3RD	White Non-Fibrous Heterogeneous		100% Matrix	None Detected
B3-Rough Coat 040911764-0003A	1ST-3RD	Brown Fibrous Homogeneous	15% Hair	85% Matrix	None Detected
B4-Skim Coat 040911764-0004	1ST-3RD	White Non-Fibrous Heterogeneous		100% Matrix	None Detected

Analyst(s)

Delores Beard (26)

Stephen Siegel, CIH, Laboratory Manager
or other approved signatory

Due to magnification limitations inherent in PLM, asbestos fibers in dimensions below the resolution capability of PLM may not be detected. The limit of detection as stated in the method is 1%. The above test report relates only to the items tested and may not be reproduced in any form without the express written approval of EMSL Analytical, Inc. EMSL's liability is limited to the cost of analysis. EMSL bears no responsibility for sample collection activities or analytical method limitations. Interpretation and use of test results are the responsibility of the client. Samples received in good condition unless otherwise noted. This report must not be used to claim product endorsement by NVLAP or any agency of the U.S. Government.

AIHA IHLAP 100184, NVLAP Lab Code 101048-0, NYS ELAP 10872

**EMSL Analytical, Inc.**

107 Haddon Ave., Westmont, NJ 08108

Phone: (856) 858-4800 Fax: (856) 858-4980 Email: westmontlab@EMSL.com

Attn: **Peter Jabbusch**
Environmental Safety & Hygiene Assoc.
5 Delta Drive
Westbrook, ME 04092

Phone: (207) 854-2711
Project: 09-116/22 VESPER ST. PTCD

Customer ID: ESH50
Customer PO:
Received: 05/11/09 9:45 AM
EMSL Order: 040911764

EMSL Proj:
Analysis Date: 5/12/2009

Asbestos Analysis of Bulk Materials via EPA 600/R-93/116 Method using Polarized Light Microscopy

Sample	Description	Appearance	Non-Asbestos		Asbestos
			% Fibrous	% Non-Fibrous	% Type
B10 040911764-0010	2ND FLOOR REAR STAIRS	Non-Fibrous Heterogeneous		100% Non-fibrous (other)	None Detected
B11 040911764-0011	2ND FLOOR REAR STAIRS	Non-Fibrous Heterogeneous		100% Non-fibrous (other)	None Detected
B12 040911764-0012	SINGLE STORY STRUCTURE REAR	Brown/White Fibrous Heterogeneous	20% Cellulose	80% Matrix	None Detected
B13 040911764-0013	SINGLE STORY STRUCTURE REAR	Brown/White Fibrous Heterogeneous	15% Cellulose	85% Matrix	None Detected
B14 040911764-0014	SINGLE STORY STRUCTURE REAR	Brown/White Fibrous Heterogeneous	15% Cellulose	85% Matrix	None Detected
B15 040911764-0015	1ST FLOOR REAR STAIRS	Red/Black/Orange Fibrous Heterogeneous	25% Cellulose	75% Matrix	None Detected
B16 040911764-0016	1ST FLOOR REAR STAIRS	Red/Black/Orange Fibrous Heterogeneous	20% Cellulose	80% Matrix	None Detected

Analyst(s)

DeLores Beard (26)

Stephen Siegel, CIH, Laboratory Manager
or other approved signatory

Due to magnification limitations inherent in PLM, asbestos fibers in dimensions below the resolution capability of PLM may not be detected. The limit of detection as stated in the method is 1%. The above test report relates only to the items tested and may not be reproduced in any form without the express written approval of EMSL Analytical, Inc. EMSL's liability is limited to the cost of analysis. EMSL bears no responsibility for sample collection activities or analytical method limitations. Interpretation and use of test results are the responsibility of the client. Samples received in good condition unless otherwise noted. This report must not be used to claim product endorsement by NVLAP or any agency of the U.S. Government.

AIHA HLAP 100184, NVLAP Lab Code 101048-0, NYS ELAP 10672



3/18/2009

3rd Floor



3/18/2009

1st Floor



3/18/2009

2nd Floor



(A) APARTMENT BUILDING
APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class

Portland, Maine, May 14, 1920

PERMIT ISSUED
 Permit No. 0900
 MAY 15 1920

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter ~~insert~~ the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 24 Vesper Street Ward 2 Within Fire Limits? Yes Dist. No. 8
 Owner's or Lessee's name and address Charles Knats, 24 Vesper St. Telephone 7 8002
 Contractor's name and address Joe. Sheriff, 155 Commercial Ave. Telephone 7 2753
 Architect's name and address _____
 Proposed use of building tenement house No. families 8
 Other buildings on same lot garage

Description of Present Building to be Altered

Material wood No. stories 2 Heat _____ Style of roof _____ Roofing _____
 Last use tenement house No. families 8

General Description of New Work

To erect three story open piazza on rear corner of building app 14' x 17'
 To change window to door on first floor to lead onto new piazza

Details of New Work

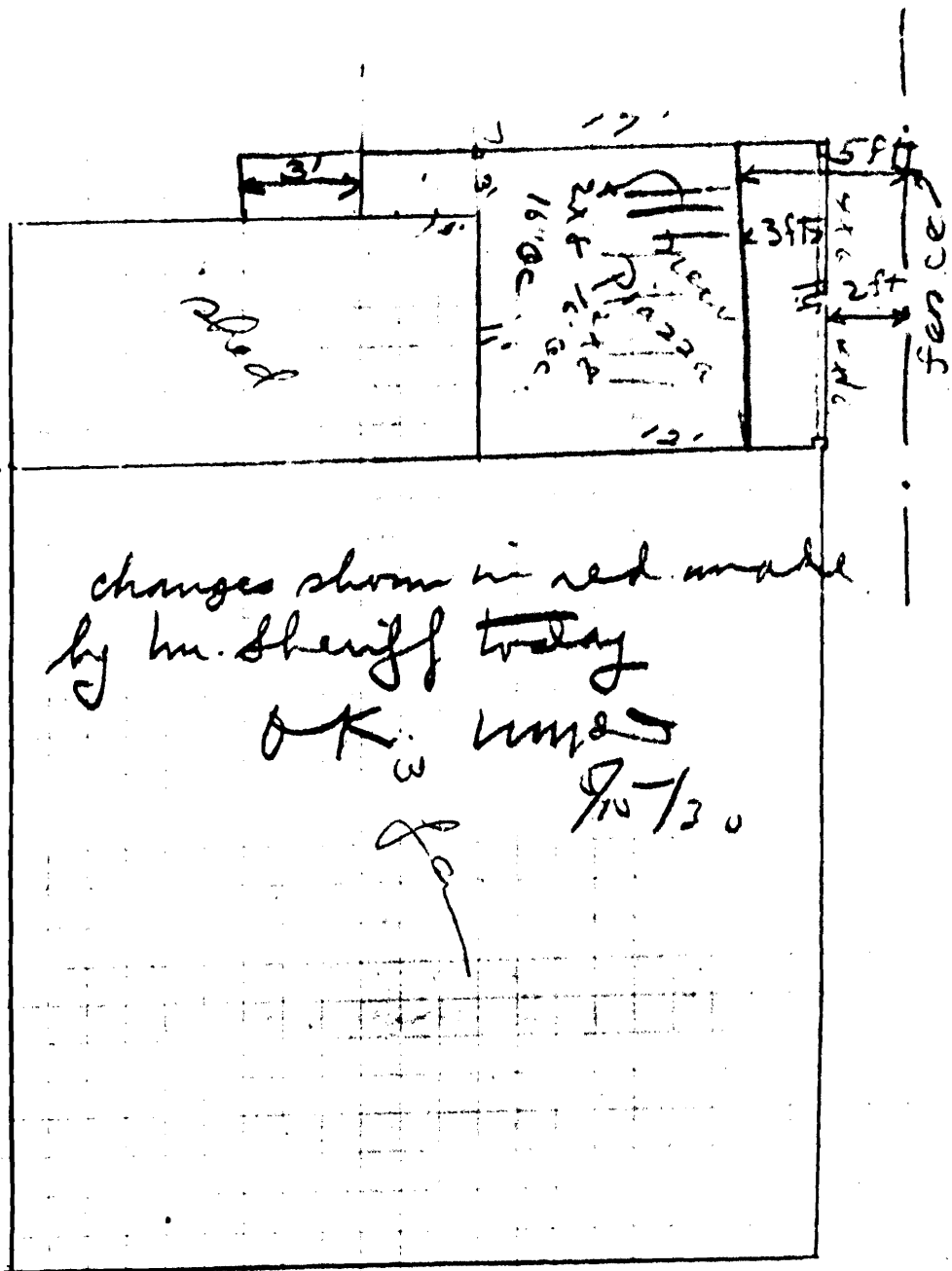
Size, front _____ depth _____ No. stories _____ Height average grade to highest point of roof _____
 To be erected on solid or filled land? solid earth or rock? earth
 Material of foundation concrete piers Thickness, top _____ bottom _____
 Material of underpinning _____ Height _____ Thickness _____
 Kind of roof flat 1 1/2" to feet Roof covering Asphalt roofing Class C Und. Lab.
 No. of chimneys no Material of chimneys _____ of lining _____
 Kind of heat _____ Type of fuel _____ Distance, heater to chimney _____
 If oil burner, name and model _____
 Capacity and location of oil tanks _____
 Is gas fitting involved? _____ Size of service _____
 Corner posts 4x8 Sills 4x8 Girt or ledger board? _____ Size _____
 Material columns under girders _____ Size _____ Max. on centers _____
 Studs (outside walls and carrying partitions) 2x4-16" O.C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.
 Joists and rafters: 1st floor 2x8 2nd 2x8 3rd 2x8 2x8 roof 2x8 2x8
 On centers: 1st floor 16" 2nd 20" 16" 3rd 20" 16" roof 20" 16"
 Maximum span: 1st floor 12' 2nd 12' 3rd 12' roof 12'
 If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____ to be accommodated _____
 Total number commercial cars to be accommodated _____
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no





(A) ALTERATION PERMIT No. 6108

APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class

Portland, Maine, February 4, 1929

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to ~~erect~~ alter ~~in~~ the following building ~~structure~~ in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 22-24 Vesper Street Ward 1 Within Fire Limits? Yes Dist. No. 5

Owner's or ~~lessor's~~ name and address Charles Keats, 15 Massachusetts Ave. Telephone 7 8338

Contractor's name and address Louis Setola, 413 St. John Street Telephone _____

Architect's name and address _____

Proposed use of building three family tenement No. families _____

Other buildings on same lot garage to be built

Description of Present Building to be Altered

Material wood No. stories 5 Heat _____ Style of roof _____ Roofing _____

Last use three family tenement No. families _____

General Description of New Work

To alter the shed of tenement house cutting off the side of the shed in the first story which is toward the proposed garage 2 feet or more so that allocombustible parts of this shed will be at least 6 feet from all parts of the garage. Corner of shed to be supported at second story by an iron pipe column at least 4 inches in diameter.

Details of New Work

Size, front _____ depth _____ No. stories _____ Height average grade to highest point of roof _____

To be erected on solid or filled land? _____ earth or rock? _____

Material of foundation _____ Thickness, top _____ bottom _____

Material of underpinning _____ Height _____ Thickness _____

Kind of roof _____ Roof covering _____

No. of chimneys _____ Material of chimneys _____ of lining _____

Kind of heat _____ Type of fuel _____ Distance, heater to chimney _____

If oil burner, name and model _____

Capacity and location of oil tanks _____

Is gas fitting involved? _____ Size of service _____

Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____

Material columns under girders _____ Size _____ Max. on centers _____

Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____

On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____

Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____

If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____

Total number commercial cars to be accommodated _____

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? NO



APPLICATION FOR PERMIT

Class of Building or Type of Structure

Third Class

Portland, Maine, February 4, 1929

Permit No. 6131

11914 1929

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect ~~and alter~~ the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 22-24 Yepper Street Ward 1 Within Fire Limits? yes Dist. No. 3
 Owner's ~~or Lessee's~~ name and address Charles Kants, 13 Massachusetts Ave. Telephone 7 8302
 Contractor's name and address Louis Gerota, 413 St. John St. Telephone _____
 Architect's name and address _____
 Proposed use of building 1 car garage No. families _____
 Other buildings on same lot three family tenement

Description of Present Building to be Altered

Material _____ No. stories _____ Heat _____ Style of roof _____ Roofing _____
 Last use _____ No. families _____

General Description of New Work

To erect single car garage, 9' x 18', without eaves or other overhang on the sides toward the lot lines. All parts of the garage are to be at least 6 feet from any combustible part of the nearby shed of the tenement house on the same lot. See permit for alterations to shed.

Details of New Work

Size, front 9' depth 18' No. stories 1 Height average grade to top of plate 8'
 Height average grade to highest point of roof 12'
 To be erected on solid or filled land? solid earth or rock? earth
 Material of foundation cinder posts Thickness, top _____ bottom _____
 Material of underpinning _____ Height _____ Thickness _____
 Kind of roof pitch Roof covering asphalt shingles Plans U. Ord. Lab.
 No. of chimneys no Material of chimneys _____ of lining _____
 Kind of heat no Type of fuel _____ Distance, heater to chimney _____
 If oil burner, name and model _____
 Capacity and location of oil tanks _____
 Is gas fitting involved? no Size of service _____
 Corner posts 4x6 Sills 4x6 Girt or ledger board? _____ Size _____
 Material columns under girders _____ Size _____ Max. on centers _____
 Studs (outside walls and carrying partitions) 2x4-10" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.
 Joists and rafters: 1st floor cinder, 2nd _____, 3rd _____, roof 2x6
 On centers: 1st floor _____, 2nd _____, 3rd _____, roof 24
 Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
 If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot none, to be accommodated 1
 Total number commercial cars to be accommodated 1
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? no

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no
 Will this be part of this application? yes No. sheets 1



APPLICATION FOR PERMIT

PERMIT ISSUE
1939

NOV 6 1938

Class of Building or Type of Structure Third Class

Portland, Maine, November 6, 1938

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to ~~erect~~ alter ~~install~~ the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 24 Yeager Street Ward 3 Within Fire Limits? Yes Dist. No. 5

Owner's or lessee's name and address Charles Kanta, 24 Yeager Street Telephone _____

Contractor's name and address C. A. Johnson, 93 Broadway Road, So. Port Telephone 20

Architect's name and address _____

Proposed use of building tenement house No. families 5

Other buildings on same lot 1 car garage

Plans filed as part of this application? yes No. of sheets 1

Estimated cost \$ 140. Fee \$.75

Description of Present Building to be Altered

Material BRK No. stories 3 Heat _____ Style of roof _____ Roofing _____

Last use tenement house No. families 5

General Description of New Work

~~Enlarge first floor of existing three story rear piazza 8' x 11' 4"~~

To enlarge first floor of existing three story rear piazza 8' x 11' 4"

CERTIFICATE OF OCCUPANCY
REQUIREMENT IS WAIVED

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Size, front _____ Depth _____ No. stories 1 Height average grade to top of plate 2'
Height average grade to highest point of roof _____

To be erected on solid or filled land? solid earth or rock? earth

Material of foundation concrete piers Thickness, top _____ bottom _____

Material of underpinning _____ Height _____ Thickness _____

Kind of Roof Asph. & Flt. Rise per foot 1" Roof covering Asph. & Flt. Class C 2nd. Lth.

No. of chimneys _____ Material of chimneys _____ of lining _____

Kind of heat _____ Type of fuel _____ Is gas fitting involved? _____

Corner posts 2x4 Sills 4x6 Girt or ledger board? _____ Size _____

Material columns under girders _____ Size _____ Max. on centers _____

Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all in place in cross section. under 2nd floor of piazza

Joists and rafters: 1st floor 2x8 roof 2x8

On centers: 1st floor 16" 2nd _____ 3rd _____ roof 20"

Maximum span: 1st floor 8' 2nd _____ 3rd _____ roof 12'

If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____

Total number commercial cars to be accommodated _____

Will automobile repairing be done other than repairs to chassis situated in the proposed building? _____

Miscellaneous

Will above work require removal or disarranging of any shade tree on a public street? no



(A) APARTMENT HOUSE ZONE
 APPLICATION FOR PERMIT **PERMIT ISSUED**
 1 10

Class of Building or Type of Structure Third Class

Portland, Maine, August 31, 1938 SEP 8 '38

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter ~~impro~~ the following building structure ~~equipment~~ in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 24 Vander Street Within Fire Limits? Yes Dist. No. 1
 Owner's or lessor's name and address Charles Keats, 24 Vander Street Telephone _____
 Contractor's name and address John Pistaki-Page & Sons, 11 Briggs St. Telephone _____
 Architect _____ Plans filed no No. of sheets _____
 Proposed use of building Tenement house No. families _____
 Other buildings on same lot 1 car garage
 Estimated cost \$ 80. Fee \$.80

Description of Present Building to be Altered

Material wood No. stories 3 Heat _____ Style of roof _____ Roofing _____
 Last use tenement house No. families 3

General Description of New Work

To extend room in first story which was built upon three story rear piazza in 1935 so as to be three feet wider, thus bringing the new outside wall only two feet from the southerly property line.
 This is a supplementary permit only and in event Zoning Appeal is sustained full information will be given.

Suitable gutters, downspouts and other equipment will be provided to drain all water from the new roof to the public cover or otherwise dispose of it so that none of it will ever run upon the adjoining property.

Appeal sustained and Permit Granted by Special Order of Board of Municipal Officers 9/7/38

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Size, front 8' depth 12' No. stories 1 Height average grade to top of plate _____
 To be erected on solid or filled land? solid earth or rock? earth
 Material of foundation concrete piers 8"x8" Thickness, top _____ bottom _____ cellar _____
 Material of underpinning _____ Height _____ Thickness _____
 Kind of Roof flat Rise per foot 1" Roof covering asphalt roofing Class C Und. Lab.
 No. of chimneys none Material of chimneys _____ of lining _____
 Kind of heat steam Type of fuel _____ Is gas fitting involved? _____
 Framing Lumber—Kind hemlock Dressed or Full Size? dressed
 Corner posts 4x8 Sills 4x8 Girt or ledger board? _____ Size _____
 Material columns under girders _____ Size _____ Max. on centers _____
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bracing in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.
 Joists and rafters: 1st floor 2x8, 2nd _____, 3rd _____, roof 2x8
 On centers: 1st floor 16", 2nd _____, 3rd _____, roof 24"
 Maximum span: 1st floor 8', 2nd _____, 3rd _____, roof 8'
 If one story building with masonry walls, thickness of walls? _____ height? _____
 If a Garage _____
 No. cars now accommodated on same lot _____, to be accommodated _____
 Total number commercial cars to be accommodated _____
 If other than minor repairs to cars habitually stored in the proposed building? _____

Rept. 2707C-I

September 8, 1938

Mr. Charles Meats,
24 Vesper Street
Portland, Maine

Dear Sir:

Enclosed is the building permit covering construction of an addition to your tenement house at 24 Vesper Street, your appeal under the zoning Ordinance having been sustained by the Municipal Officers on September 7, 1938, but conditional upon providing suitable gutters, downspouts and other equipment to drain all water from the new roof to the public sewer or otherwise dispose of it so that none of it will ever run upon the adjoining property.

Please observe this condition carefully.

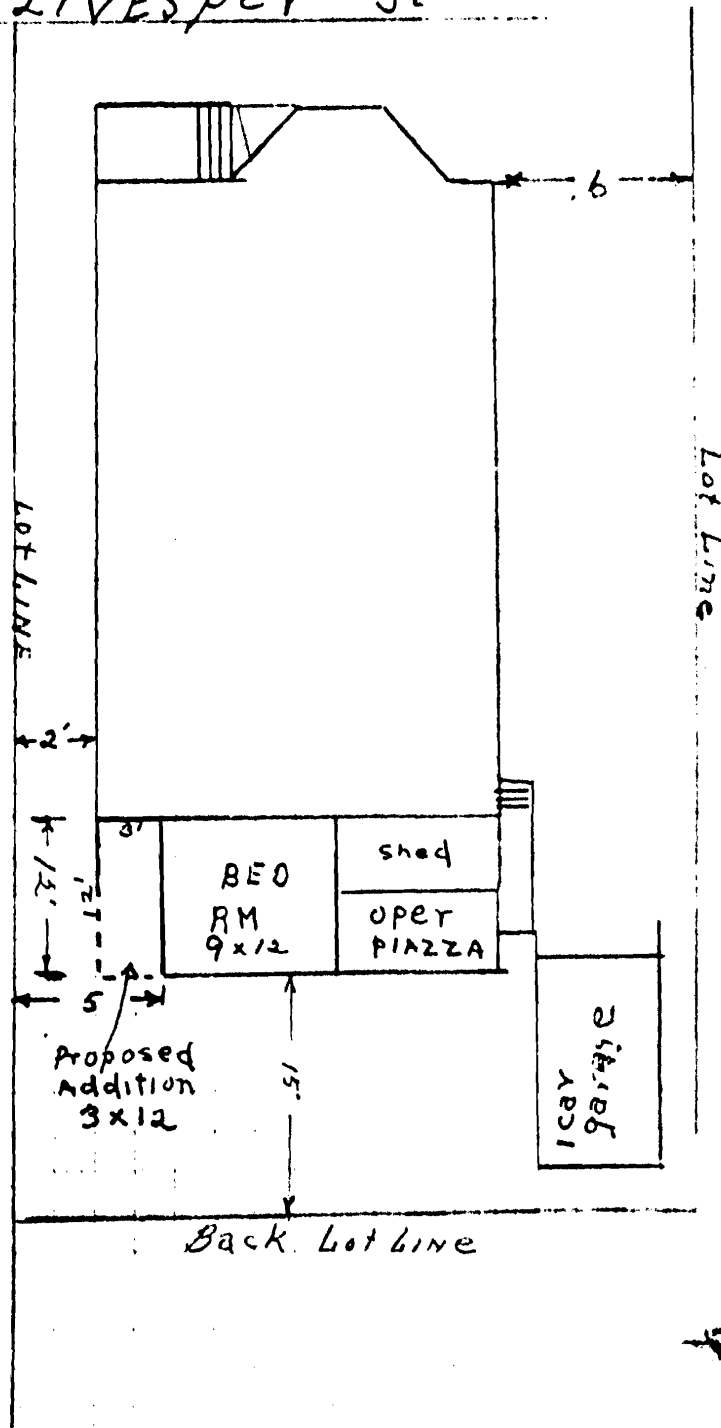
Very truly yours,

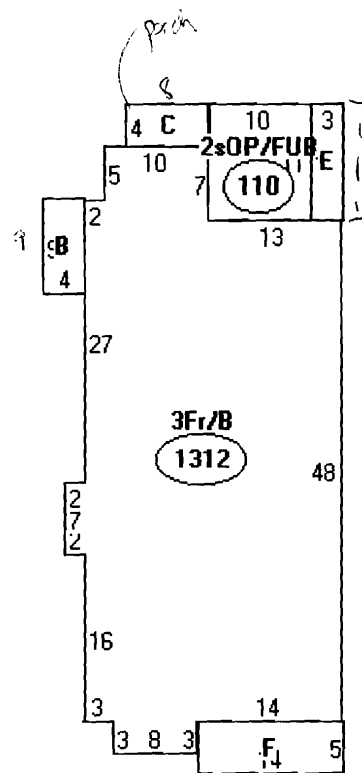
WMD/H
CC: John Pistaki-Page & Son
12 Briggs Street

Inspector of Buildings

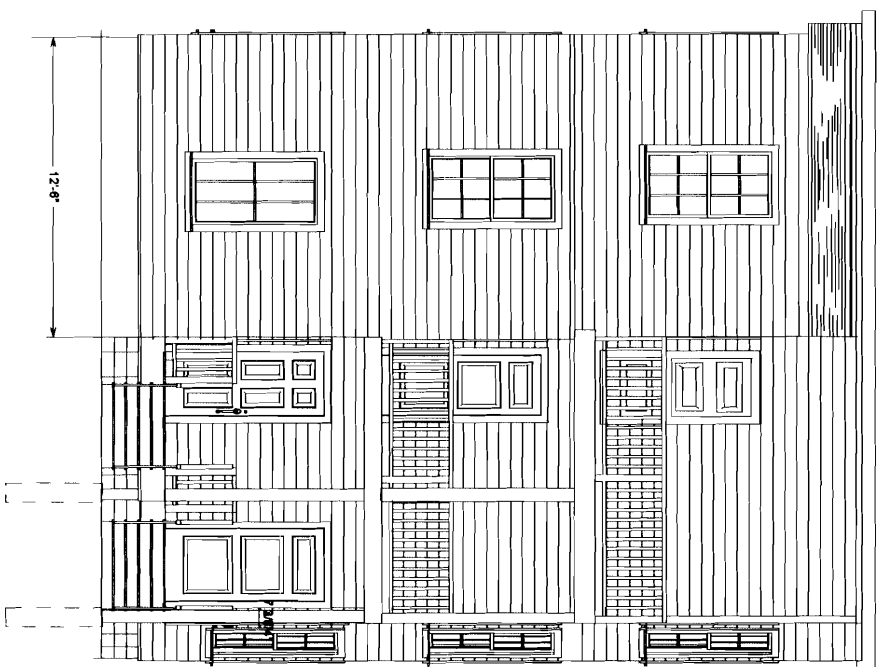
24 VESPER St

RECEIVED
SEP 7 1938
DEPT. OF PUBLIC WORKS
CITY OF PORTLAND



Descriptor/Area

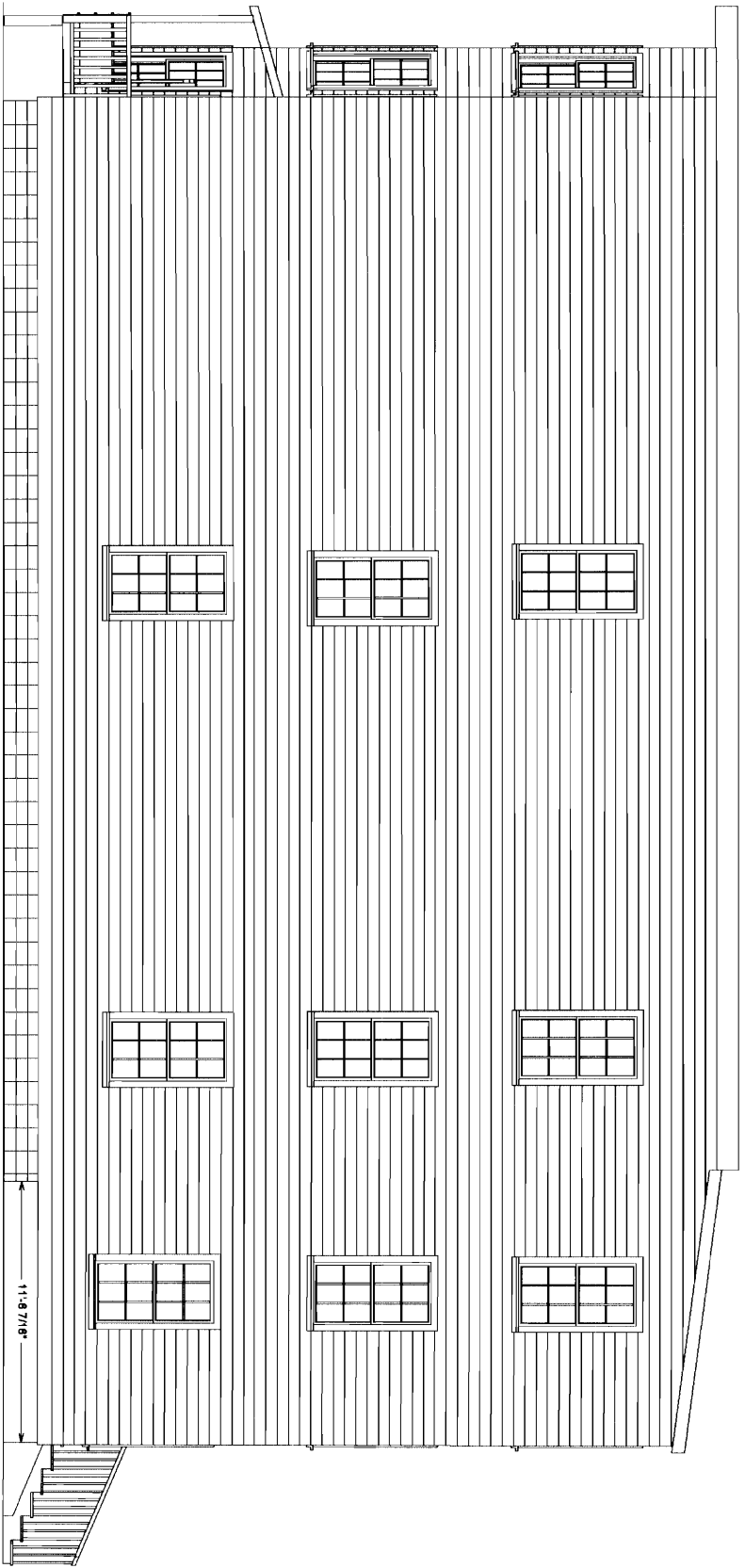
A: 3Fr/B
1312 sqft
B: OFF
36 sqft
C: 3sOP
32 sqft
D: 2sOP/FUB
110 sqft
E: FUB
33 sqft
F: OFF
70 sqft



PROPOSED REAR ELEVATION
SCALE 1/8" = 1'-0"

Old - screen side

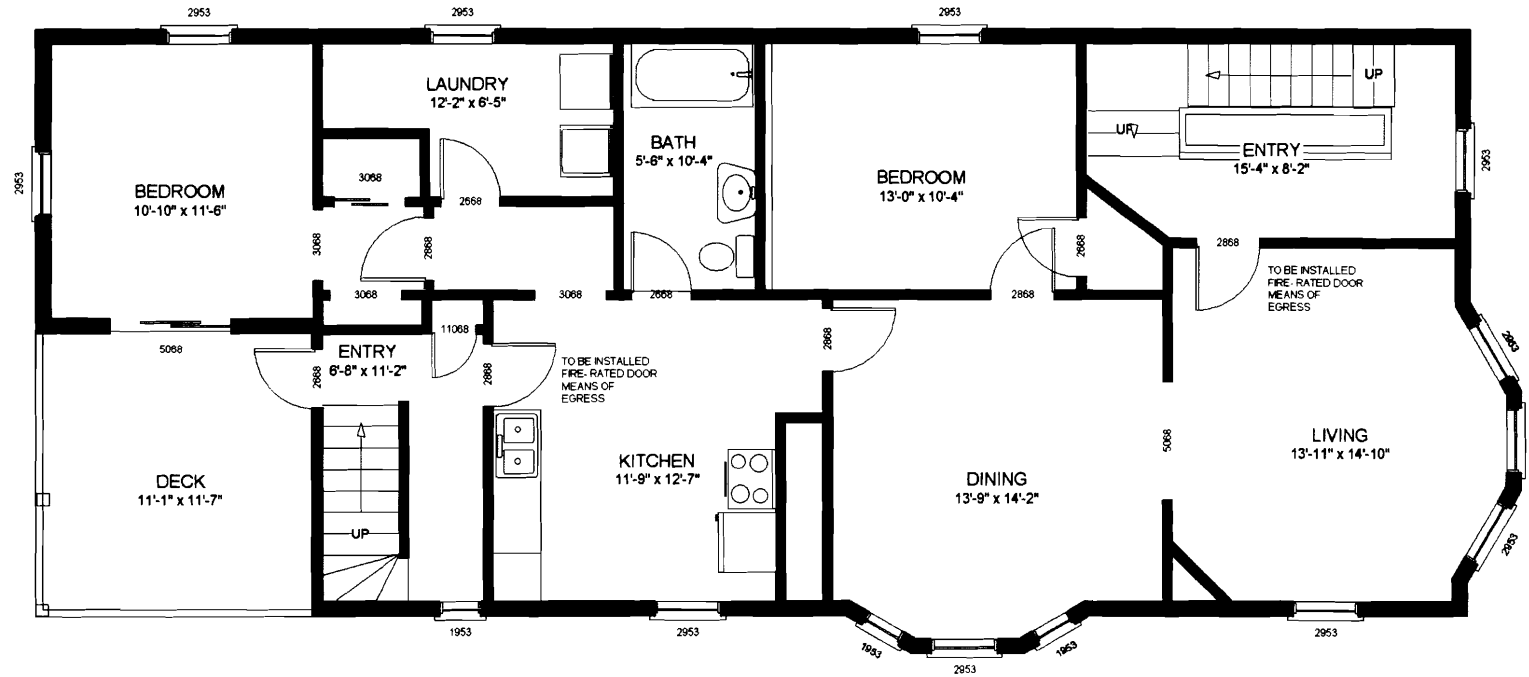
6/11/09



PROPOSED RIGHT ELEVATION
SCALE: 1/8" = 1 FOOT

PROPOSED
NEW
FOUNDATION

Old - see revised 6/1/09

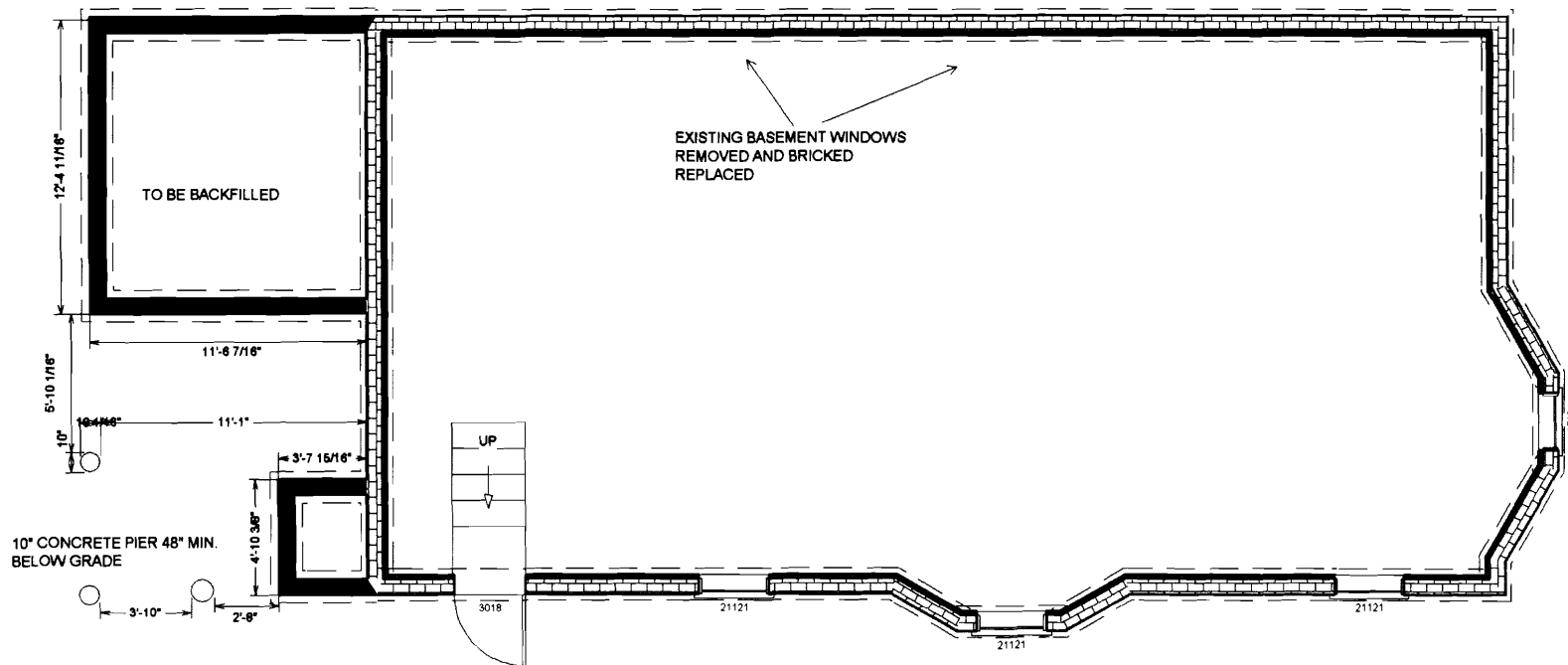


**PROPOSED
THIRD FLOOR
PLAN**

SCALE 1/8" = 1 FOOT

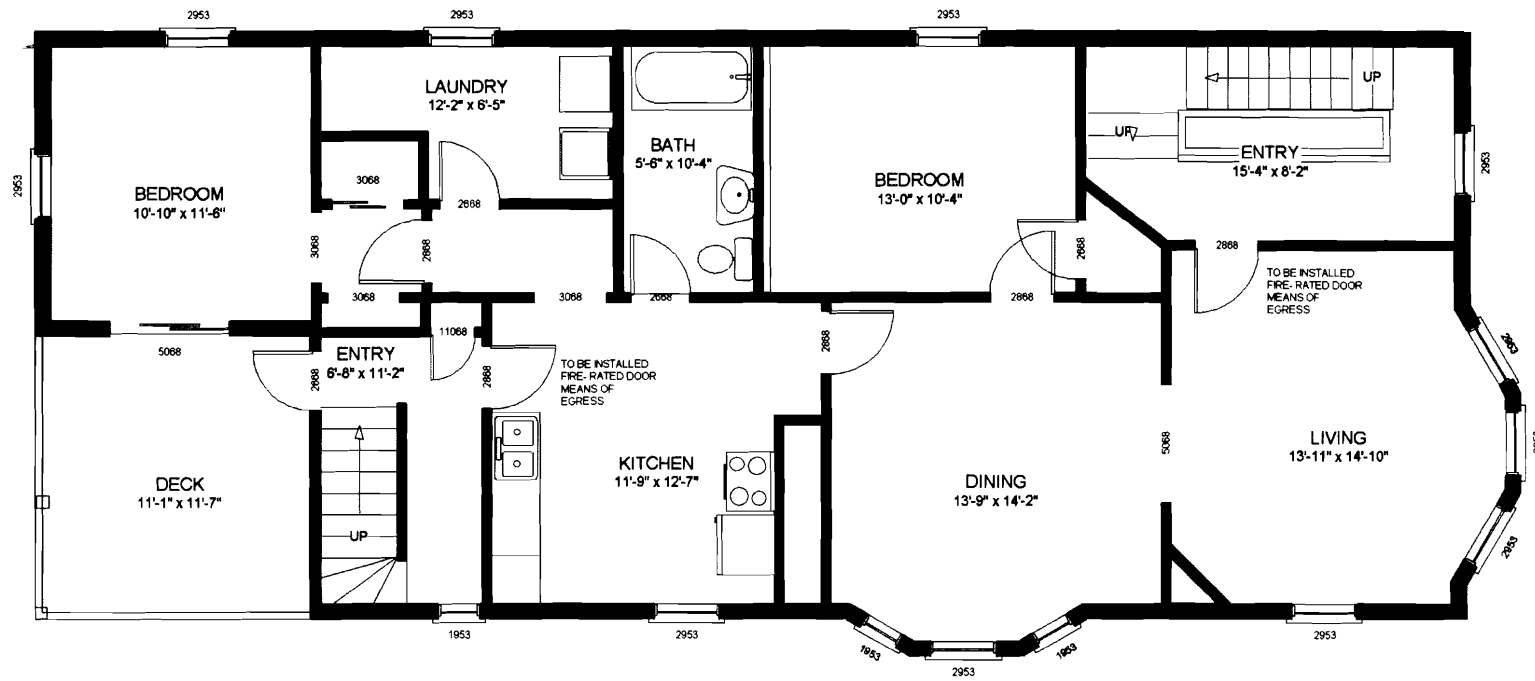
LIVING AREA
1339 sq ft

*Old-new plan submitted
6/1/09*



PROPOSED
FOUNDATION FLOOR
PLAN
SCALE 1/8" = 1 FOOT

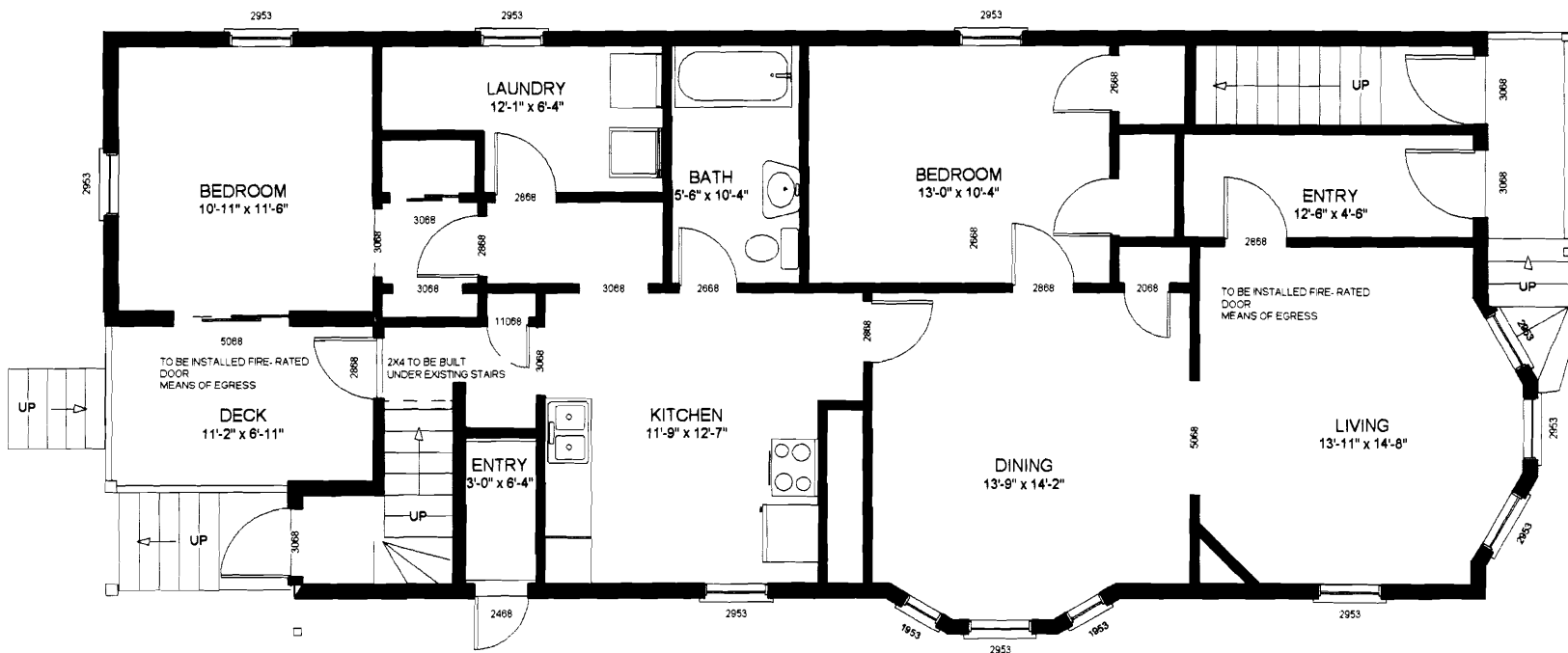
*Revised
see 6/1/24 plan*



**PROPOSED
SECOND
FLOOR PLAN**
SCALE 1/8" = 1 FOOT

LIVING AREA
1339 sq ft

*old-revision submitted
6/1/09*



↑ is this b
b isomet?

**PROPOSED FIRST FLOOR
PLAN**
SCALE 1/8" = 1 FOOT

LIVING AREA
1358 sq ft

old - new plan
submitted 6/1/05

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

Footing/Building Location Inspection: Prior to pouring concrete or setting precast piers

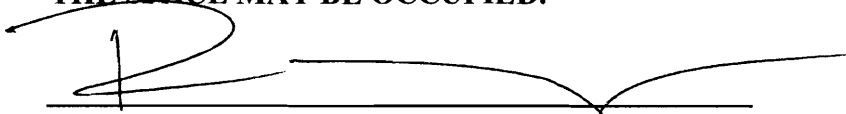
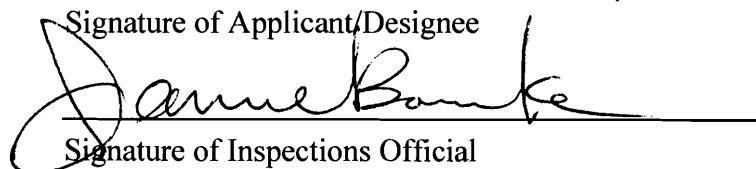
Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling

Final inspection required at completion of work.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.

	<u>6/17/09</u>
Signature of Applicant/Designee	Date
	<u>6/17/09</u>
Signature of Inspections Official	Date

PROJECT

22-24 Vesper Street
 Portland, Maine

CLIENT

Clare Yarn
 20 Cove Side Road
 Cumberland, ME 04110

INFORMATION

Path: C:/CADD/YARN/
 Issue Date: April 11, 2009

Drawn By: DG

Checked By: DG

Revision:

- 1.
- 2.
- 3.
- 4.

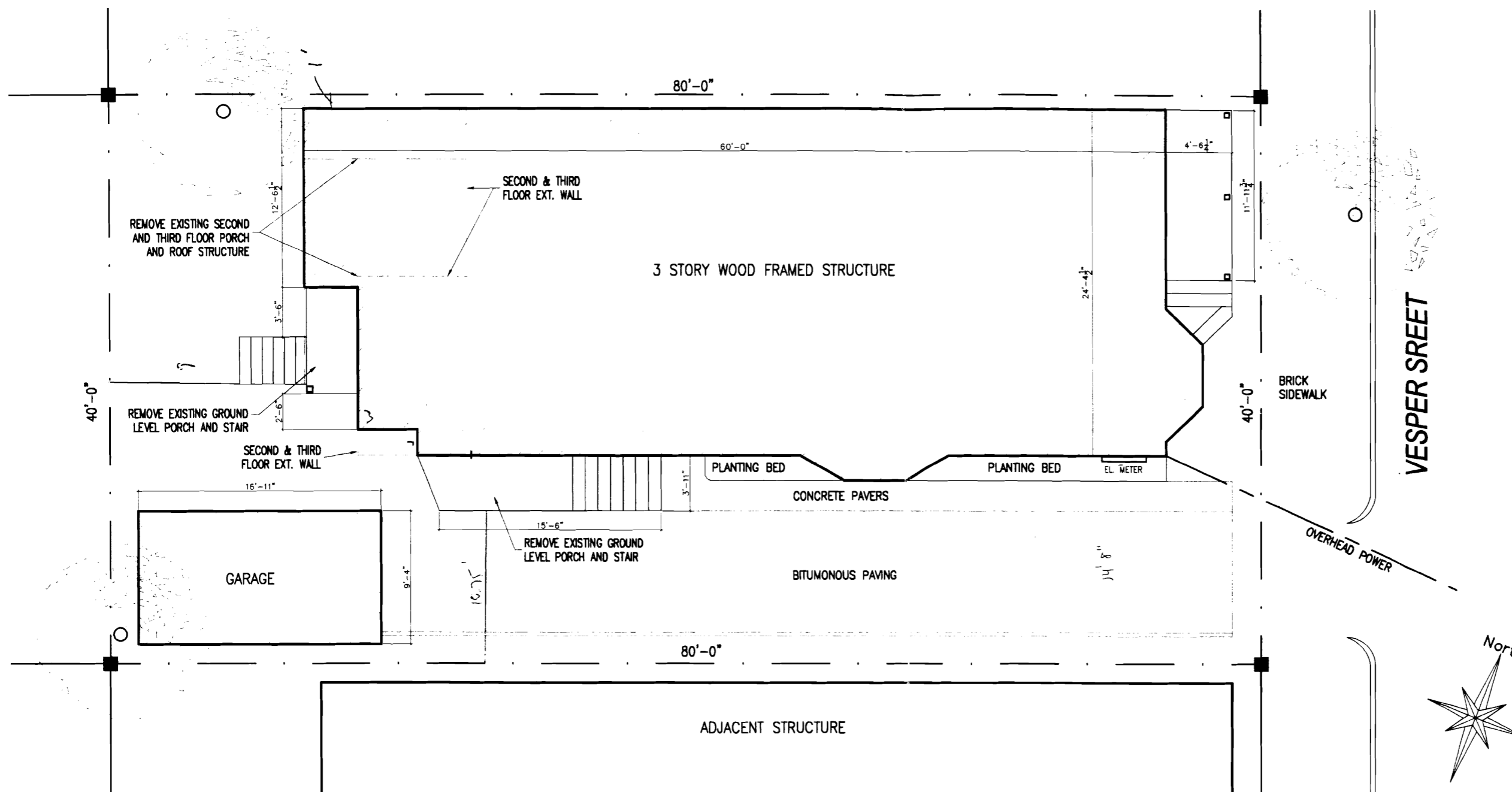
TITLE

SITE PLAN

SCALE

1/8" = 1'-0"

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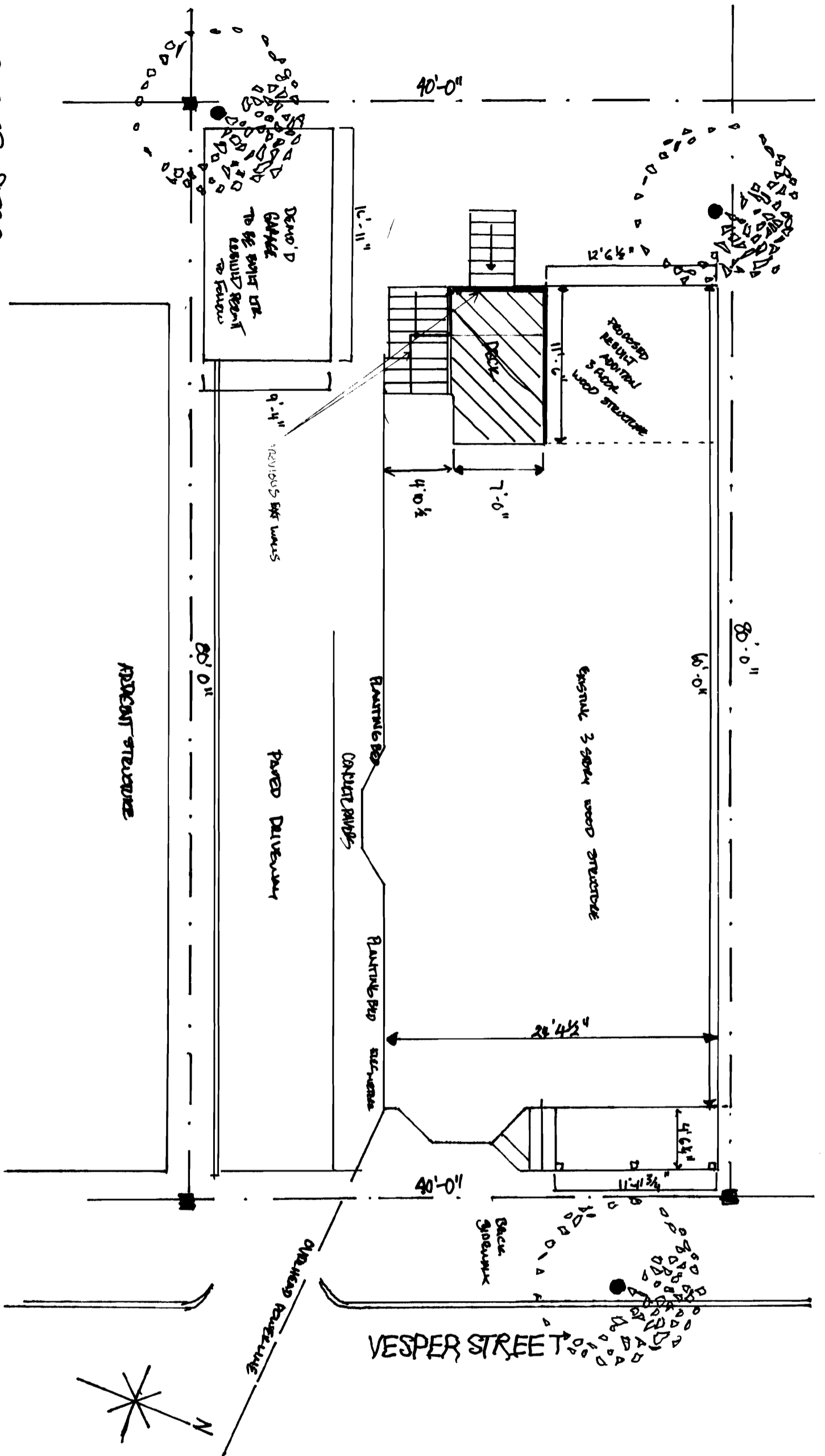


1 SITE PLAN
 1/8" = 1'-0"

NOTES :

1. The lot contains 3,200 square feet(.073 acres±)
2. The boundary lines shown on this sketch are not the result of a boundary survey. The boundaries and dimensions are reflective of the City of Portland Assessors Plan No. 3. This plan is for site reference only. No records research was undertaken by David Graham.

PROPOSED SITE PLAN
1/8" = 1'-0"



JUN 4 2009

22-24 VESPER STREET
PORTLAND, ME