

# PERMIT ISSUED

**City of Portland, Maine - Building or Use Permit Application**  
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-0695	Issue Date: <b>JUN 18 2003</b>	CBL: 003 K002001
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Location of Construction: 28 Vesper St	Owner Name: <b>MIKE + Abbie</b> <del>XXXXXXXXXX E &amp;</del> <b>McMilb</b>	Owner Address: 28 Vesper St <b>CITY OF PORTLAND</b>	Phone: 207-326-8022
Business Name:	Contractor Name: no contractor / self	Contractor Address: Portland	Phone:
Lessee/Buyer's Name:	Phone:	Permit Type: Garages - Detached	Zone: <b>R-6</b>

Past Use: garage - detached	Proposed Use: demo and rebuild existing non-conforming garage 20'-10" x 20'-3 1/2"	Permit Fee: \$149.00	Cost of Work: \$18,000.00	CEO District: 1
Proposed Project Description: rebuild non-conforming garage 20'-10" x 20'-3 1/2" in same footprint		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied 		INSPECTION: Use Group: <b>V</b> Type: <b>SB</b> <b>BOCA 99</b> 
		Signature:		Signature:

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____
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Permit Taken By: tmm	Date Applied For: 06/17/2003	Zoning Approval
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.  2. Building permits do not include plumbing, septic or electrical work.  3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan  Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <b>6/17/03</b>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied  Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied  Date: <b>6/17/03</b>
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### CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-0695	Date Applied For: 06/17/2003	CBL: 003 K002001
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Location of Construction: 28 Vesper St	Owner Name: <i>Mike &amp; Abbie McMillen</i> <del>Notor - 28 Vesper St</del>	Owner Address: 28 Vesper St	Phone:
Business Name:	Contractor Name:	Contractor Address:	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Garages - Detached	

Proposed Use:	Proposed Project Description:
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Dept: Zoning      Status: Approved      Reviewer: Tammy Munson      Approval Date: 06/17/2003

Note: Ok to Issue:

- 1) Your present structure is legally nonconforming as to setbacks. If you are to demolish this structure on your own volition, you will only have one (1) year to replace it in the same footprint (no expansions), with the same height, and same use. Any changes to any of the above shall require that this structure meet the current zoning standards.
- 2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building      Status: Pending      Reviewer:      Approval Date:

Note: Ok to Issue:

## WARRANTY DEED

I, KATHERINE E. GERARDI, also known as KATHERINE E. METER, of Portland, Maine, for consideration paid grant to ABBIE ■ MCMILLEN and MICHAEL A. MCMILLEN who's mailing address is 21 Carver Street, Harborside, ME 04642, and VIVIAN W. PAGE who's mailing address is 19 Vesper Street #1, Portland, ME 04101, as Tenants in Common, with Warranty Covenants,

A certain lot or parcel of land with the buildings thereon, situated on the westerly side of Vesper Street in the City of Portland, in the County of Cumberland and State of Maine, bounded and described as follows:

Being Lot No. 31 as shown on Plan of Partition entitled "Plan of Division of Lot No. Eight on Proprietors Plan of Munjoy Hill, made by Commissioners from the S. J. Court, October Term, 1853", drawn by M. G. Deane, dated November 3, 1853 and recorded in Cumberland County Registry of Deeds in Book 250, Page 568. Said premises are numbered 28 Vesper Street and are further bounded as follows:

Easterly by Vesper Street, southerly by Lot No. 29, westerly by Lot No. 30 and northerly by Lot No. 33, all as shown on said Plan, measuring forty (40) feet in width on Vesper Street and extending back southwesterly eighty (80) feet to said Lot No. 30.

Being the same premises conveyed to the Grantor herein, Karen K. Campbell, and Michael O. Meter by Alice T. Smith and Irene Downie Souza by deed dated January 14, 1993 and recorded in Cumberland County Registry of Deeds in Book 10517, Page 272. Reference is made to deed from Michael O. Meter to the Grantor herein dated February 23, 1996 and recorded in said Registry of Deeds in Book 12389, Page 214 and deed from Karen K. Campbell to the Grantor herein dated April 29, 2003 and to be recorded herewith in said Registry of Deeds.

In Witness Whereof, I, KATHERINE E. GERARDI have hereunto set my hand and seal this 2<sup>nd</sup> day of May 2003.

SIGNED, SEALED AND DELIVERED  
IN THE PRESENCE OF:

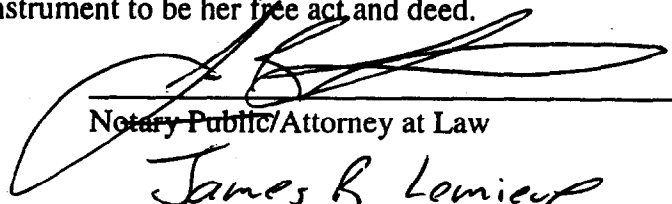
  
Witness

  
Katherine E. Gerardi

STATE OF MAINE  
COUNTY OF CUMBERLAND, ss.

May 2, 2003

Then personally appeared before me the above named Katherine E. Gerardi and acknowledged the foregoing instrument to be her free act and deed.

  
\_\_\_\_\_  
Notary Public/Attorney at Law  
*James R Lemieux*  
\_\_\_\_\_  
(TYPE OR PRINT NAME)

# BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

         **Pre-construction Meeting:** Must be scheduled with your inspection team upon receipt of this permit. Jay Reynolds, Development Review Coordinator at 874-8632 must also be contacted at this time, before any site work begins on any project other than single family additions or alterations.

Pre-Remo inspection  
 **Footing/Building Location Inspection:** Prior to pouring concrete

N/A **Re-Bar Schedule Inspection:** Prior to pouring concrete

N/A **Foundation Inspection:** Prior to placing ANY backfill

**Framing/Rough Plumbing/Electrical:** Prior to any insulating or drywalling

**Final/Certificate of Occupancy:** Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

         **If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.**

         **CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED**

X Abbie McMillen 6/18/03  
Signature of applicant/designee Date

[Signature] 6/10/03  
Signature of Inspections Official Date

CBL: 003-K-002 Building Permit #: 03-0695

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

BUILDING DEPARTMENT

PERMIT

Permit Number: 030695

Please Read Application And Notes, If Any, Attached

This is to certify that Meter Katherine E &/no contractor / self has permission to rebuild non-conforming garage 10'-10" x 11'-3 1/2" same footprint AT 28 Vesper St 003 K002001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is occupied or closed-in. HEAVY NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS Fire Dept. Health Dept. Appeal Board Other JUN 18 2003 Department Name

PERMIT ISSUED

Signature of Director Building & Inspection Services

CITY OF PORTLAND

PENALTY FOR REMOVING THIS CARD



# Residential Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>28 Vesper</u>		
Total Square Footage of Proposed Structure	<u>423</u>	Square Footage of Lot <u>3212</u>
Tax Assessor's Chart, Block & Lot Chart# <u>3</u> Block# <u>K</u> Lot# <u>2</u>	Owner: <u>Mike &amp; Abbie McMillen</u> <u>and Vivian Page</u>	Telephone: <u>326-8022</u> <u>326-9194</u> <u>671-9515</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>Same</u> <u>28 Vesper St.</u> <u>Portland ME 04101</u>	Cost Of <u>871-7170</u> Work: <u>\$18K.</u> <u>831-9384</u> Fee: \$
Current Specific use: <u>garage/storage</u>		
Proposed Specific use: <u>garage/storage</u>		
Project description: <u>Rebuild non-conforming structure</u>		
Contractor's name, address & telephone:		
Who should we contact when the permit is ready: <u>Abbie McMillen</u>		
Mailing address: <u>21 Carver Field Rd.</u> <u>Harborside ME 04642</u>		
Phone: <u>326-8022</u>		

Please submit all of the information outlined in the Residential Application Checklist. Failure to do so will result in the automatic denial of your permit.

At the discretion of the Planning and Development Department, additional information may be required prior to permit approval. For further information stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Abbie McMillen</u>	Date: <u>6.12.03</u>
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Permit Fee: \$30.00 for the first \$1000.00 Construction Cost, \$7.00 per additional \$1000.00 cost

This is not a Permit; you may not commence any work until the Permit is issued.

3-1c-2

280 Vesper



Descriptor/Area

A: FA/2F/B  
1150 sqft

B: OP/OP  
90 sqft

R-6  
3212 SF

1240

Front - 10'

Rear - 20'

Side 5-10'

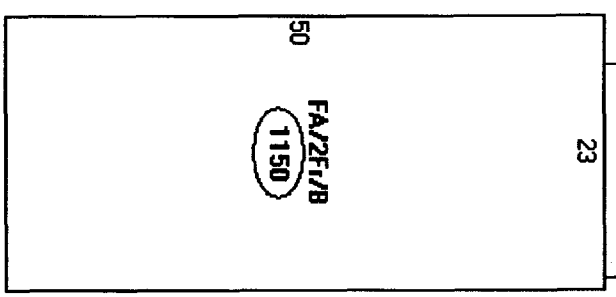
50%

Lot cov.

1686 SF Allowance

1240

366 SF left.



WOOD Shed ?

280 SF

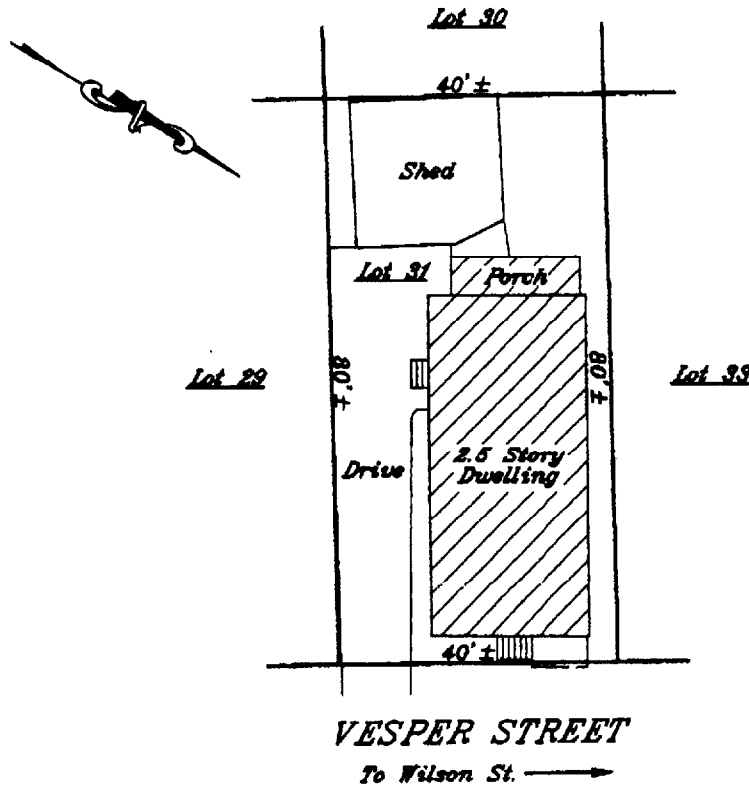
14-43 3 b.  
5' Rear.



# FOR MORTGAGE LENDER USE ONLY

GENERAL NOTES: (1) DISTANCES SHOWN ARE TAKEN FROM PROVIDED TITLE REFERENCES SHOWN BELOW. (2) THE PURPOSE OF THIS INSPECTION IS TO RENDER AN OPINION AS FOLLOWS: A) DWELLING AND ACCESSORY STRUCTURE'S COMPLIANCE WITH RESPECT TO MUNICIPAL ZONING SETBACKS, AND B) FLOOD HAZARD DETERMINATION BY HORIZONTAL SCALING ON BELOW REFERENCES FEMA MAP. (3) THIS INSPECTION EXCEPTS OUT ALL TECHNICAL STANDARDS CURRENTLY SET FORTH BY STATE OF MAINE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS. (4) THIS INSPECTION IS TO BE USED ONLY BY THE BELOW LISTED LENDER, TITLE ATTORNEY & TITLE INSURER AND SHOULD NOT BE USED BY ANOTHER PARTY FOR BOUNDARY LINE LOCATIONS OR LAND TITLE OPINIONS. (5) A BOUNDARY SURVEY SHOULD BE PERFORMED TO RENDER A PROFESSIONAL OPINION PERTAINING TO BOUNDARY LINE LOCATIONS, EASEMENTS, RIGHTS OF WAY, ENCUMBRANCES, AND/OR ENCROACHMENTS.

ADDRESS: 28 VESPER STREET INSPECTION DATE: APRIL 30, 2003  
PORTLAND, MAINE SCALE: 1" = 20'



SEE PROVIDED TITLE REFERENCES FOR APPLICABLE APPURTENANCES, IF ANY.

APPLICANT: PAGE & McMILLEN REQUESTING PARTY: LEITE & LEMIEUX  
 OWNER: CAMPBELL & GERARDI ATTORNEY: JAMES R. LEMIEUX  
 LENDER: \_\_\_\_\_ FILE No. 20313718 FIELD BOOK: 276

**TITLE REFERENCES:**

DEED BOOK: 12389 PAGE: 214  
 PLAN BOOK: 250(D) PAGE: 568 LOT: 31  
 COUNTY: CUMBERLAND

YOUR FILE #: 106085

**NADEAU & LODGE, INC.**  
 PROFESSIONAL LAND SURVEYORS  
 590 BRANTON AVENUE PORTLAND, ME 04102 (207) 878-1990  
 352 CLARKS FORDS ROAD LYMAN, ME 04062 (207) 498-8580

**MUNICIPAL REFERENCE:**

MAP: 3 BLOCK: K LOT: 2

THE DWELLING DOES NOT FALL WITHIN A SPECIAL FLOOD HAZARD ZONE PER FEMA COMMUNITY MAP No. 150081  
 PANEL: 0015B ZONE: C DATE: DECEMBER 8, 1992

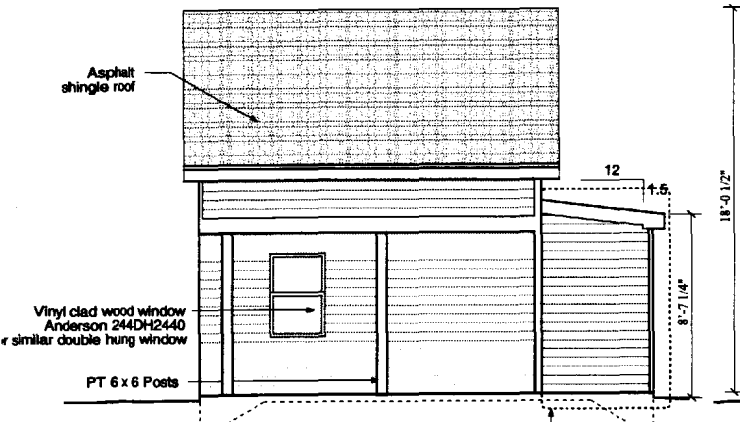
THE DWELLING WAS  IN COMPLIANCE WITH MUNICIPAL ZONING SETBACK REQUIREMENTS AT THE TIME OF CONSTRUCTION.

COMMENTS:

*[Signature]*  
A-30-03

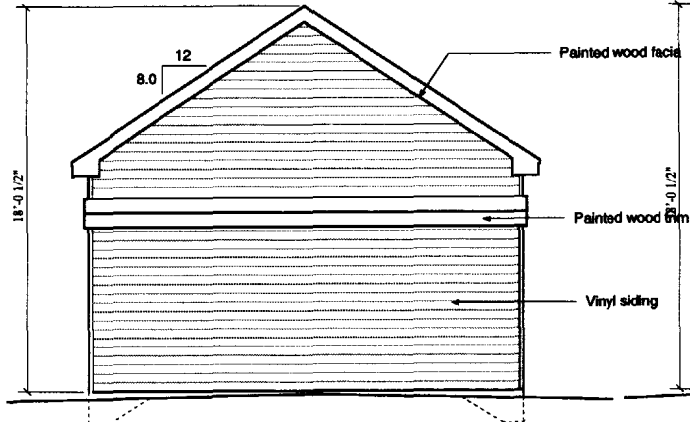
INSP. BY: IPB

**THIS IS NOT A BOUNDARY SURVEY - NOT FOR RECORDING**

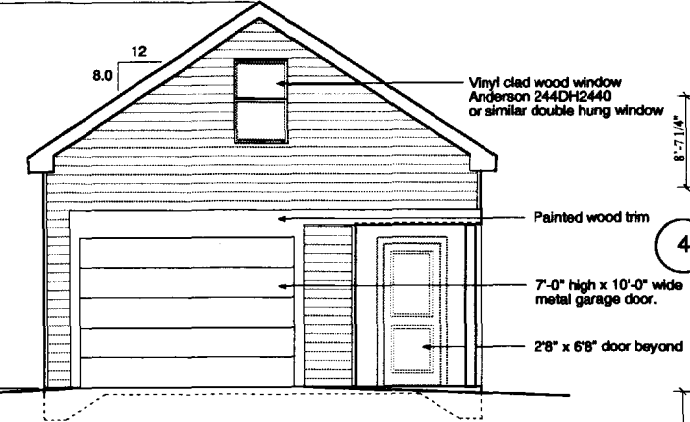


**11 East Elevation**  
SCALE: 1/4" = 1'-0"  
West elevation similar, no overhang

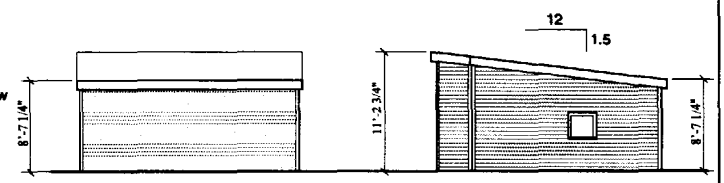
Area within setback is to be constructed to match existing conditions



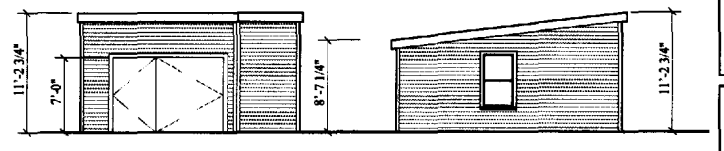
**12 South Elevation**  
SCALE: 1/4" = 1'-0"



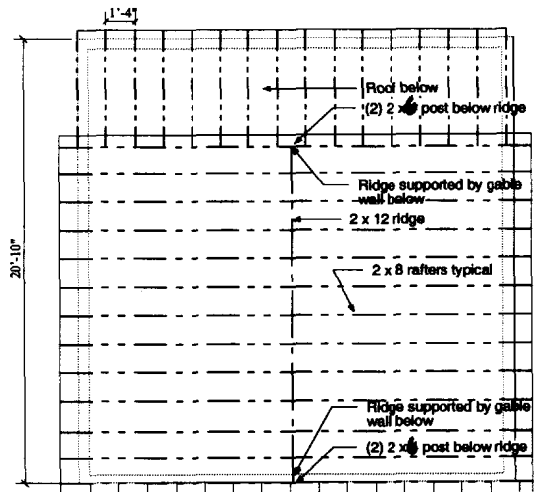
**10 North Elevation**  
SCALE: 1/4" = 1'-0"



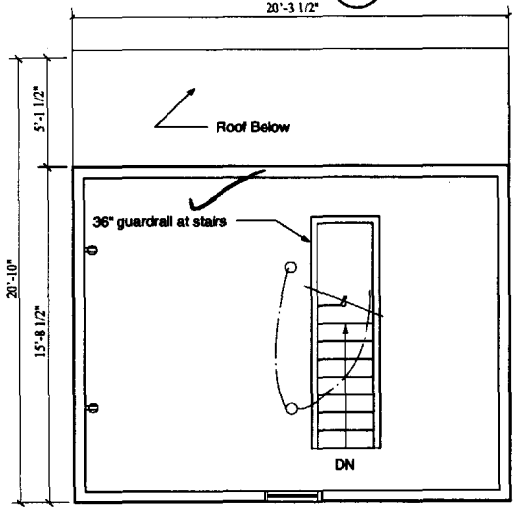
**4 Existing Garage Elevation** SCALE: 1/8" = 1'-0"  
**5 Existing Garage Elevation** SCALE: 1/8" = 1'-0"



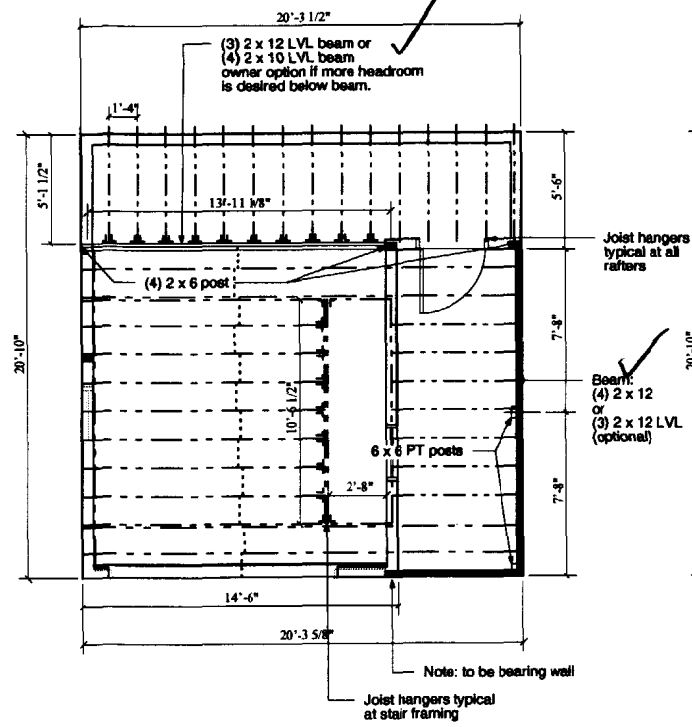
**2 Existing Garage Elevation** SCALE: 1/8" = 1'-0"  
**3 Existing Garage Elevation** SCALE: 1/8" = 1'-0"



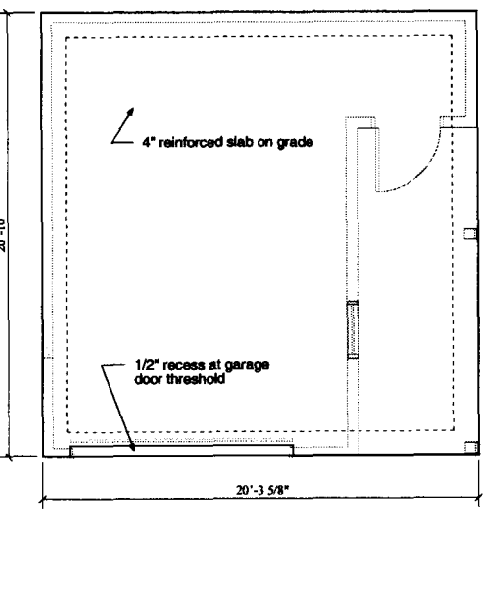
**9 Roof Framing Plan**  
SCALE: 1/4" = 1'-0"



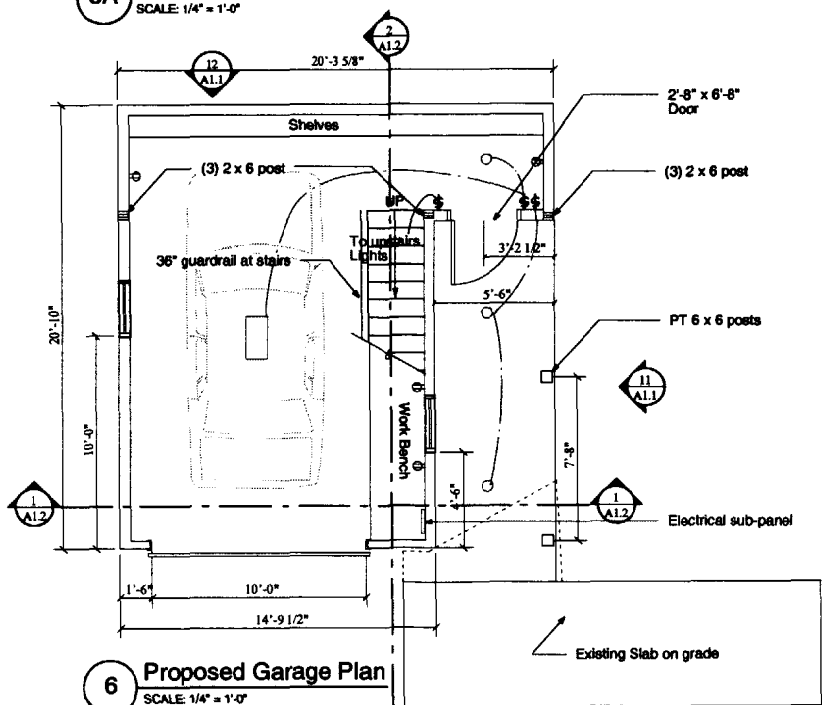
**8A Storage Level Plan**  
SCALE: 1/4" = 1'-0"



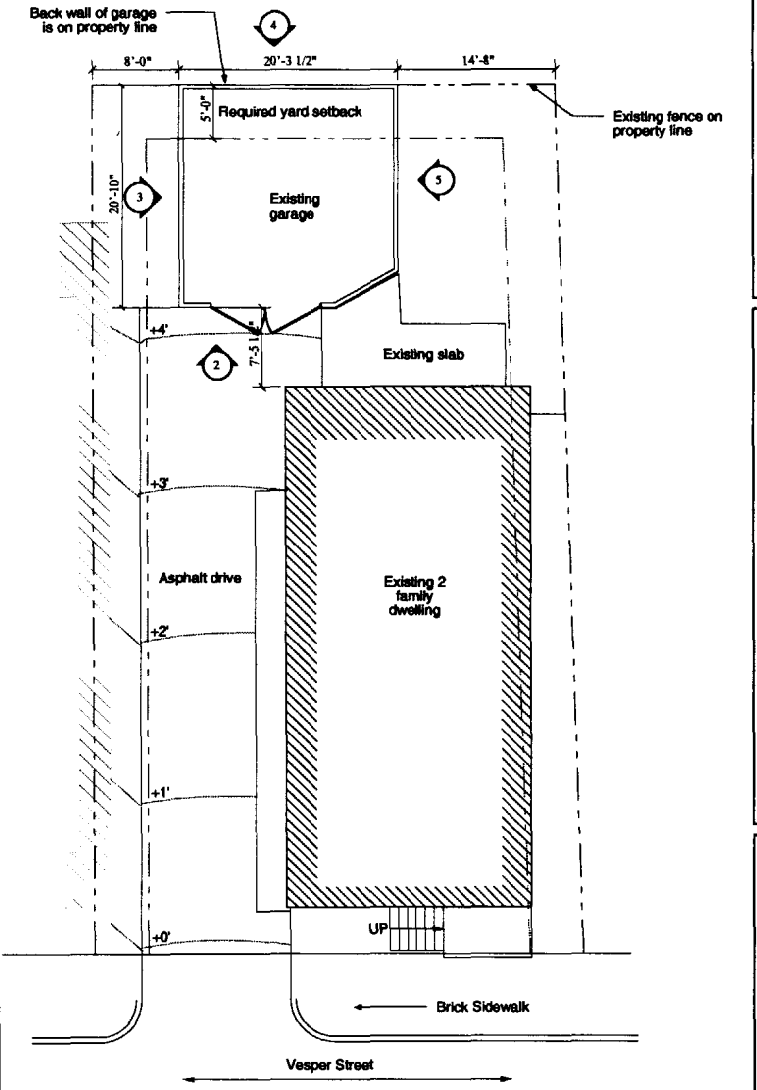
**8 Proposed Garage Floor Framing Plan**  
SCALE: 1/4" = 1'-0"



**7 Proposed Garage Foundation Plan**  
SCALE: 1/4" = 1'-0"



**6 Proposed Garage Plan**  
SCALE: 1/4" = 1'-0"



**1 Existing site plan, Based on Plot Plan**  
SCALE: 1/8" = 1'-0"

Contour lines are based on visual assessment.

John Charette  
33 Morning Street  
Portland, Maine 04101  
(207) 871-0162

Drawing Prepared By:

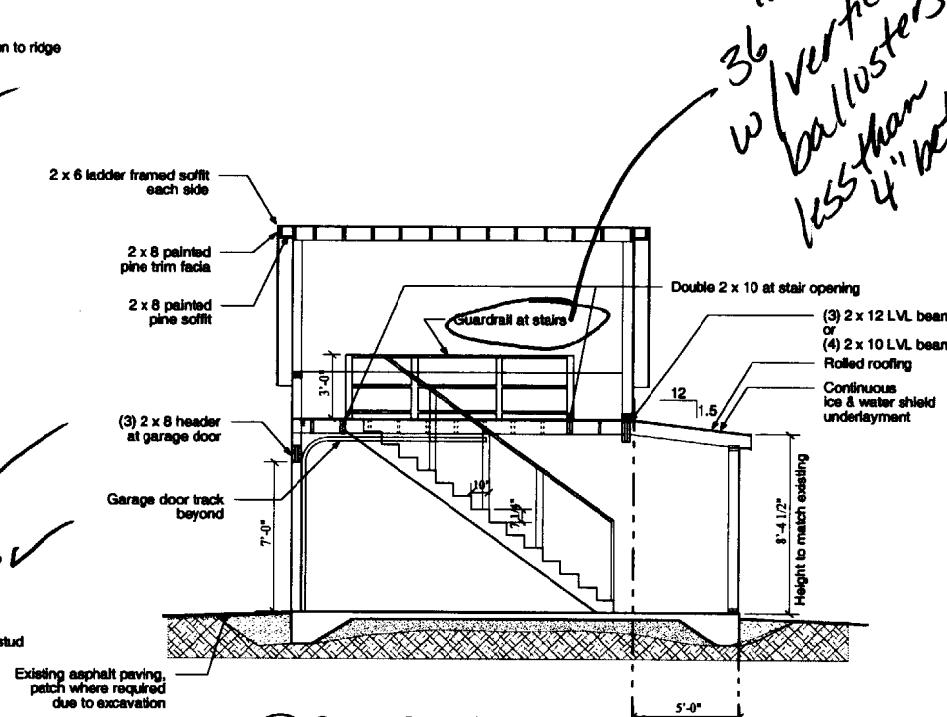
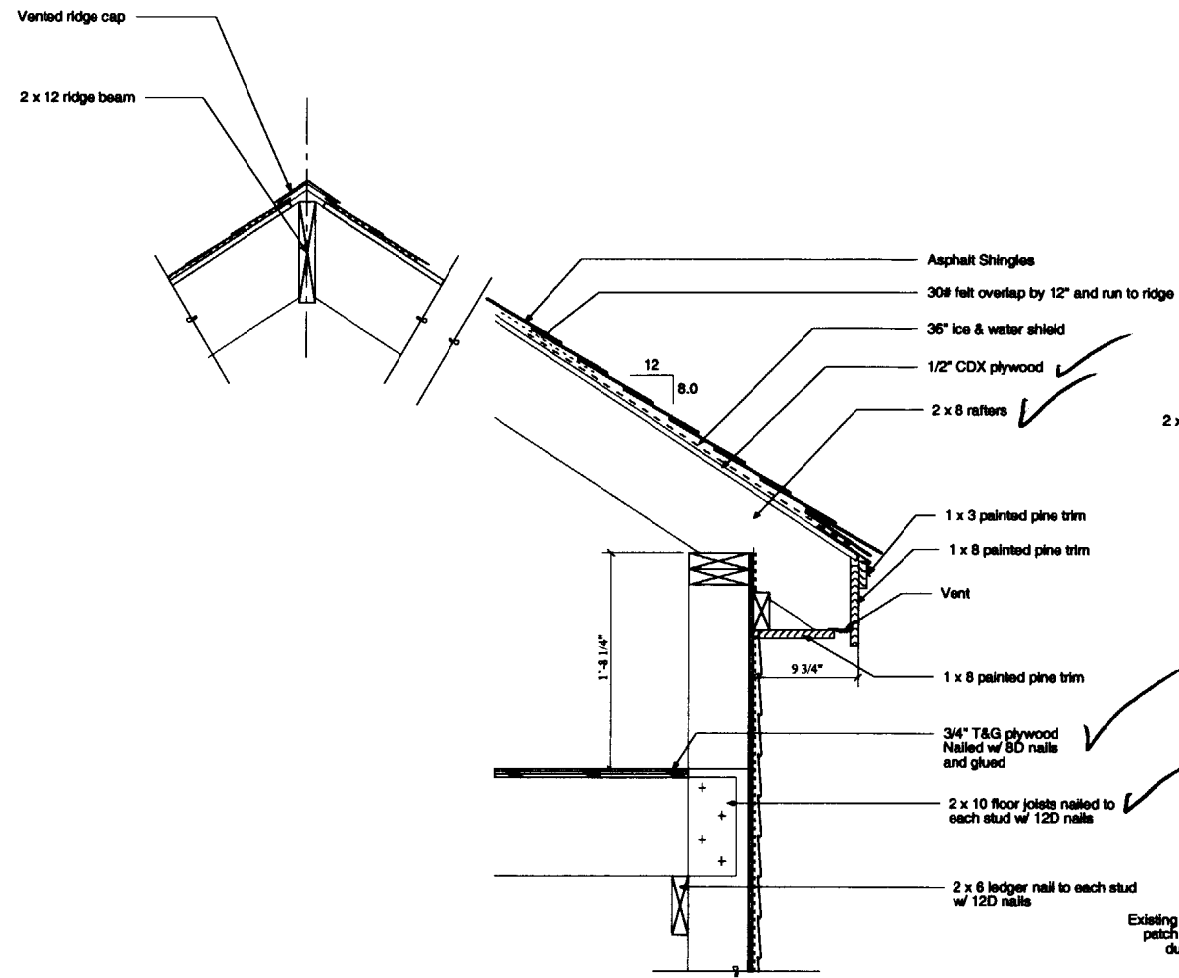
Michael and Abbie McMillen  
Garage Renovation / Restoration

28 VESPER STREET  
PORTLAND, MAINE

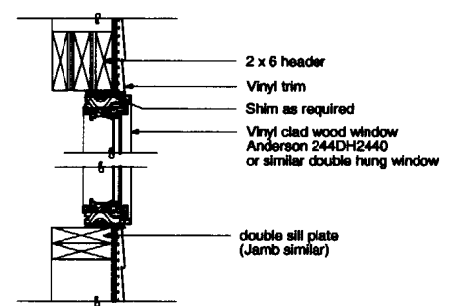
Existing Garage Plan /  
Proposed Garage Plan

Drawn by: JCC Scale: 1/4" = 1'-0" Date: 06/16/03  
Revisions:

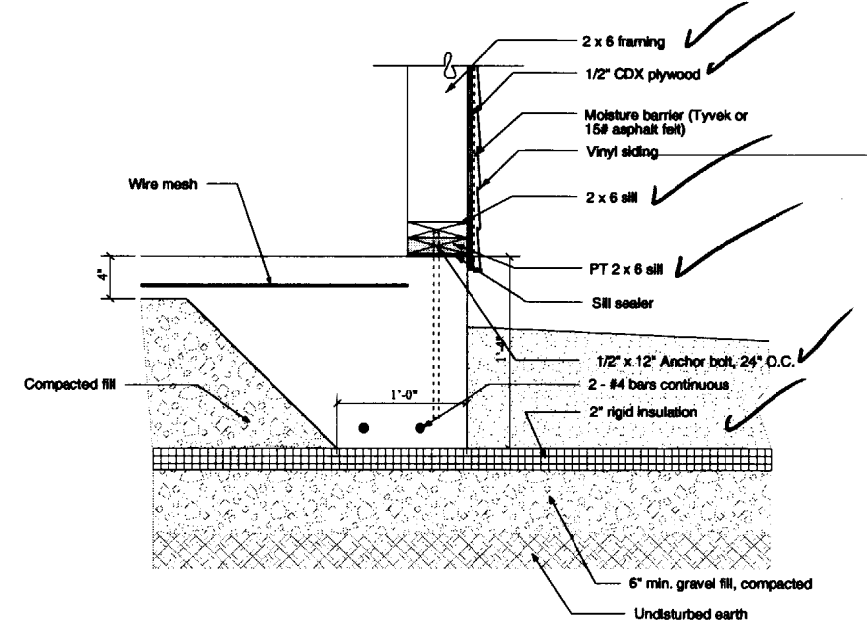
**A1.1**



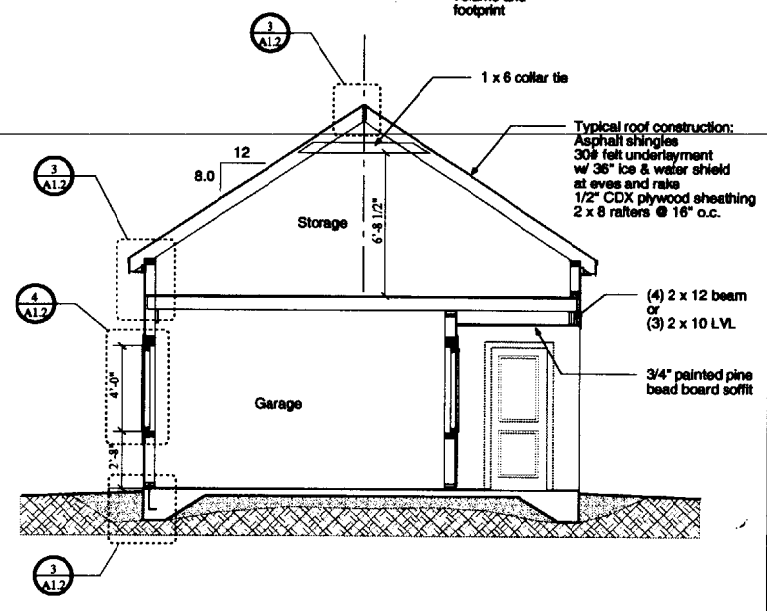
2 Garage Cross Section 2  
SCALE: 1/4" = 1'-0"



4 Typical Window Details  
SCALE: 1 1/2" = 1'-0"



3 Typical Wall Section Details  
SCALE: 1 1/2" = 1'-0"



1 Garage Cross Section 1  
SCALE: 1/4" = 1'-0"

*Sold wall  
36" w/ vertical  
balusters  
less than  
4" between*

John Charette  
33 Morning Street  
Portland, Maine 04101  
(207) 871-0162

Drawings Prepared By:

Michael and Abbie McMillen  
Garage Renovation / Restoration

28 VESPER STREET  
PORTLAND, MAINE

Proposed Garage Plan  
Sections and Details

Drawn by: JCC Scale: As Noted Date: 06/16/03  
Revisions:

A1.2