

# Adams School Redevelopment

Vesper St., Portland, ME

## **Addendum No. 2** to Contract Documents

March 23, 2012



This Addendum modifies, amends, and supplements designated parts of the Contract Documents, Project Manual, and Drawings for **Adams School Redevelopment** dated March 5, 2012 and is hereby made a part thereof by reference and shall be as though inserted in its entirety in the locations specified herein... It shall be the responsibility of the Contractor to notify all Subcontractors and Suppliers he proposes to use for the various parts of the work of any changes or modifications contained in this Addendum.



Avesta Housing Development Corporation



Architecture ■ Interior Design ■ Planning

49 Dartmouth Street  
Portland, Maine 04101  
207-775-1059 ■  
[www.pdtarchs.com](http://www.pdtarchs.com)

# ADAMS SCHOOL REDEVELOPMENT

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## GENERAL INFORMATION

**NOTE 1:** *The Bid date has been REVISED to Tuesday, April 24, 2012. Revised Bid forms will be issued by Addendum.*

**NOTE 2:** *All bidding questions/requests for clarification must be received by PDT Architects by 5:00 pm on Monday, April 16, ' 2012 in order to be addressed in the final Addendum prior to the REVISED Bid date of April 24, 2012. Any questions received after this cutoff may not be able to be clarified by Addendum.*

### General clarifications in response to questions from potential bidders.

1. PDT Architects will establish an FTP site for the transfer of submittal documents.

### **PART I Addendum for Civil Specifications and Drawings**

- A. Not used.

### **PART II Addendum for Structural Specifications and Drawings**

- Sheet S1.1: MODIFY as shown on attached S1.1/Addendum 2.  
Sheet S1.2: MODIFY as shown on attached S1.2/Addendum 2.  
Sheet S1.3: MODIFY as shown on attached S1.3/Addendum 2.

### **PART III Addendum for Architectural Project Manual and Drawing**

#### **Project Manual**

POLICY STATEMENT #15-CDBG Program Identification Signs:

REPLACE sign graphic with attached sign graphic.

#### SECTION 023213-TRANSPORTATION AND DISPOSAL OF SPECIAL WASTE MATERIALS

##### 1.03: ADD

I: For additional information, refer to, and comply with, requirements in Brownfields RLF Program Guidelines for Eligible Cleanup Expenses included as **Attachment 023213-B/Addendum 2.**

## ADAMS SCHOOL REDEVELOPMENT

3.03: ADD

Brownfields RLF Program Guidelines for Eligible Cleanup Expenses as Attachment 023213-B/Addendum 2.

### SECTION 023216-EXCAVATION, STOCKPILING, AND LOADING OF SPECIAL WASTE MATERIALS AND INSTALLATION OF SOIL COVER

1.03.A: CHANGE "02320-A" to "**023213-A.**"

1.03: ADD:

J. Contractor to provide a Certificate of Analysis to demonstrate that fill materials that are to be used during the construction of the soil cover described in Section 3.04 are free of contamination.

K: For additional information, refer to, and comply with, requirements in Brownfields RLF Program Guidelines for Eligible Cleanup Expenses included as **Attachment 023213-B/Addendum 2.**

1.04.B: CHANGE "02320-A" to "**023213-A.**"

3.04.A.3: ADD:

All clean fill materials used during the construction of the soil cover shall be free of contamination as indicated by an appropriate Certificate of Analysis.

### Drawings

A. Not used.

### PART IV Addendum for Mechanical Specifications and Drawings

A. Not used.

### PART V Addendum for Electrical Specifications and Drawings

### Specifications

#### SECTION 260000-ELECTRICAL:

##### Clarifications:

1. Romex will be acceptable were allowed by NEC.
2. Non-metallic boxes may be used where Romex is used.
3. Combination smoke/carbon detectors where shown side by side on ceilings, 120V are not acceptable.
4. Smoke detectors and CO detectors shall be single station (interconnected within units only) all to have integral strobes. All units to have system connected audio/visual(s) as indicated on plans for activation if the building sprinkler system goes off or a common egress stair smoke goes off.

260000/2.13.A: CHANGE the text "System shall be Notifier or equal" to read "System shall be Notifier, Simplex or equal."

## **ADAMS SCHOOL REDEVELOPMENT**

### Drawing E100 Site Drawing

1. The feeders going to the CMP pole: Provide 2 sets of 3-350MCM copper for 120/240V single phase without the 1/0 ground. The ground would be at the meter stack.
2. Two(2) sets of (3)-500 MCM Aluminum in (2) 4" conduits can be substituted for the feed of the meter stacks?

### Drawing E301

1. Symbol by the doors - A square with a B in it and a small circle: Doorbell pushbutton, EC shall provide and install complete doorbell with pushbutton and chime including all wiring. HC units shall have visual indicated on chime.
2. Symbol shown in living room and bedrooms, a square with an E and a small circle - FA horn strobe

**END OF ADDENDUM**



# CREDERE ASSOCIATES, LLC

776 Main Street  
Westbrook, Maine 04092  
Phone: 207-828-1272  
Fax: 207-887-1051

March 20, 2012

Mr. Seth Parker  
Development Officer  
Avesta Housing Development Corporation  
307 Cumberland Avenue  
Portland, Maine 04101

**Subject: Brownfields RLF Program Guidance for Eligible Cleanup Expenses**  
Residential Redevelopment at the Former Marada Adams Community School  
Moody Street, Portland, Maine

Dear Mr. Parker,

On behalf of Avesta Housing Development Corporation (Avesta), Credere Associates, LLC (Credere) has assembled the following Summary of Eligible Cleanup Expenses to address impacted soil at the Avesta owned parcels of the Former Marada Adams Community School located on Moody Street (Tax Map 003, Lots H-1, H-2, H-3, and H-4) in Portland, Maine (hereinafter the "Site").

The focus of this document is to describe eligible remedial activities which are proposed for funding in whole or in part by a State of Maine Department of Economic and Community Development (DECD) Brownfields Revolving Loan Fund (BRLF) subgrant. Based on the requirements of the DECD BRLF subgrant, eligible costs incurred during remediation and redevelopment must be accurately documented, including reasonable cost segregation, in order to receive reimbursement.

Please note that work completed on the adjoining City of Portland owned parcels (Tax Map 003, Lots M-1, M-2, M-6, M-7, and P-1) is **not** eligible for reimbursement under the DECD BRLF subgrant and therefore associated costs would need to be reasonably segregated from the Avesta owned parcels as part of the project.

In general, the following details apply to the use of DECD BRLF subgrant funds on the Avesta owned parcels:

## **Eligible Activities**

Avesta shall use funds only for eligible activities. Eligible project costs, as designated by the U.S. EPA's Administrator, are for cleanup only and must be associated with cleanup and remediation activities. Eligible project costs include the following:

- Costs associated with removing, mitigating, or preventing the release or threat of release of hazardous substances, pollutants, or contaminants, including:
  - Fences, warning signs, or other security or Site control precautions;
  - Drainage control;
  - Stabilization of berms, dikes, or impoundments or drainage or closing lagoons;
  - Covering of contaminated materials;
  - Using chemicals and other materials to retard the spread or the release of contaminants or to mitigate their effects;
  - Excavation, consolidation or removal of contaminated soils from drainage or other areas;
  - Removal of drums, barrels, tanks or other bulk containers that contain or may contain hazardous substances, pollutants, or contaminants;
  - Removal, containment, treatment, disposal, or incineration of hazardous materials; and
  - Provision of alternative water supply where necessary immediately to reduce exposure to contaminated household water and continuing until such time as local authorities can satisfy the need for a permanent remedy.
- Site monitoring costs, including sampling and analysis that are reasonable and necessary during the cleanup process, including determination of the effectiveness of a cleanup.
- Costs associated with meeting the public participation, worker health and safety, and interagency coordination requirements.
- Costs associated with removal activities, including demolition and/or Site preparation that are part of Site cleanup.
- Environmental insurance premiums.

### **Restrictions**

The DECD BRLF subgrant may not be used for:

- Pre-cleanup environmental response activities (i.e. planning, inventory, Site assessment, identification, or characterization). However, the DECD may request EPA approval for limited Site assessment on a case-by-case basis when necessary to ensure protection of the environment and public health.
- Monitoring or data collection necessary to apply for, or comply with environmental permits under other state and federal laws unless such a permit is required as a component of the cleanup action;
- Development activities that are not removal actions (e.g. construction of a new facility or marketing of property);
- Job training unrelated to performing a specific cleanup at a Site covered by a loan or grant;



- To pay for a penalty or fine;
- To pay a federal cost share requirement (for example, a cost-share required by another Federal grant) unless there is specific statutory authority;
- To pay for response costs at a brownfields Site for which the recipient of the grant or loan is potentially liable under CERCLA Section 107;
- To pay a cost of compliance with any federal law, excluding the cost of compliance with laws applicable for cleanup; and
- Unallowable costs (e.g. lobbying and fund raising) under applicable OMB Circulars.

### **Administrative Cost Prohibition**

Avesta is prohibited from using loans financed with DECD BRLF subgrant funds for administrative costs. These include the following:

- a. Salaries, benefits, contractual costs, supplies, and data processing charges incurred for loan administration and overhead costs;
- b. Direct costs for loan administration, even if the borrower is required to carry out the activity under the loan agreement. Ineligible loan administrative costs include expenses for:
  - Preparation of applications for loans and loan agreements;
  - Preparing revisions and changes in the budget, work plans, and other documents required under the loan agreement;
  - Maintaining and operating financial management and personnel systems;
  - Preparing payment requests and handling payments; and
  - Audits.

### **Site Specific Guidance**

Based on Credere's knowledge of the redevelopment project, activities associated with the following tasks are considered to be eligible for DECD BRLF subgrant funding:

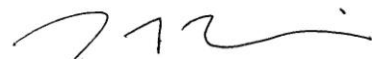
- **Professional Services and Reporting:** This includes completion of the remediation design, planning, work plans, soil management plans, specifications, community relations planning, oversight and documentation of the remedial actions, and closure reporting.
- **Contaminated Soil Management:** This includes labor, supplies, and equipment used for Site access controls, erosion and sedimentation controls, drainage controls, and for the excavation, stockpiling, amending, loading, transportation, and disposing of impacted fill materials.



- **Soil Cover and Environmental Management:** This includes labor, supplies, and equipment used for construction and installation of the soil cover including clean fill, marker layer, pavement, curbing, sidewalks, and permanent stabilization materials.
- **Environmental Management:** This includes preparation of an Environmental Management Plan (EMP) and preparation and recording of a Declaration of Environmental Covenant consistent with the anticipated Maine Department of Environmental Protection (DEP) Voluntary Response Action Program (VRAP) No Action Assurance Letter (NAAL) and the Maine Uniform Environmental Covenants Act (“UECA”), 38 M.R.S.A. § 3001 et seq.

If any questions or concerns arise during your review of this document, please do not hesitate to contact the undersigned at (207) 828-1272 extension 12 or [jsteinglass@crederellc.com](mailto:jsteinglass@crederellc.com).

Respectfully Submitted,  
Creder Associates, LLC



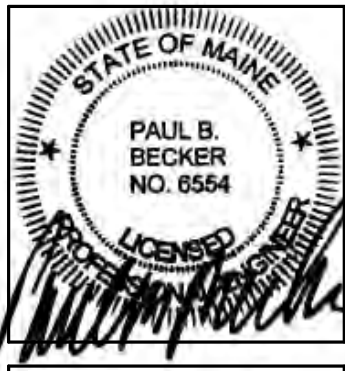
Jedd S. Steinglass  
Senior Project Manager



Robert I. Patten, P.E., L.S.P., LEEP-AP  
Vice President

cc: Andrea Smith, Maine DECD





JOB NO.  
08-056

DRWN. CHK  
D.S.B.

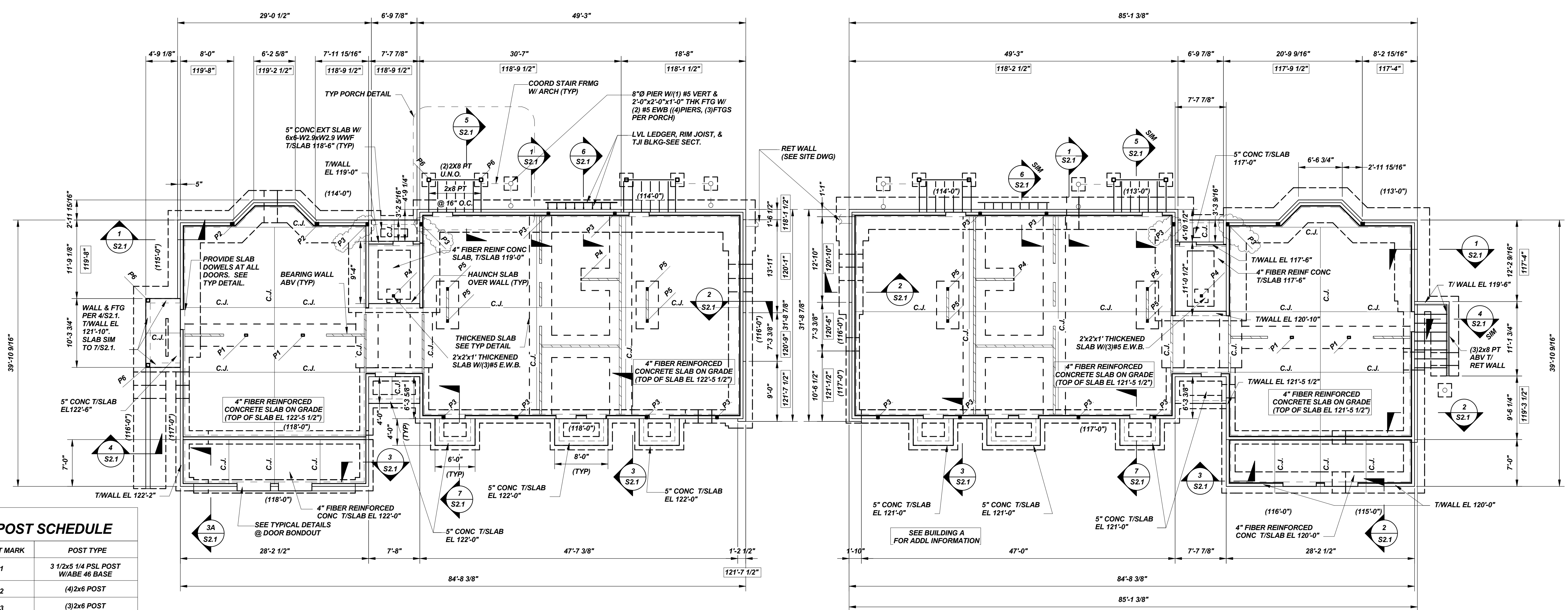
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As indicated

ISSUE  
03/05/12

TITLE  
FOUNDATION  
PLAN PART 1

SHEET

**S1.1**



POST SCHEDULE	
POST MARK	POST TYPE
P1	3 1/2x5 1/4 PSL POST W/ABE 46 BASE
P2	(4)2x6 POST
P3	(3)2x6 POST
P4	3 1/2x3 1/2 PSL W/ABA 44 BASE
P5	(3)2x4
P6	6x6 PT POST W/ ABA 66 POST BASE

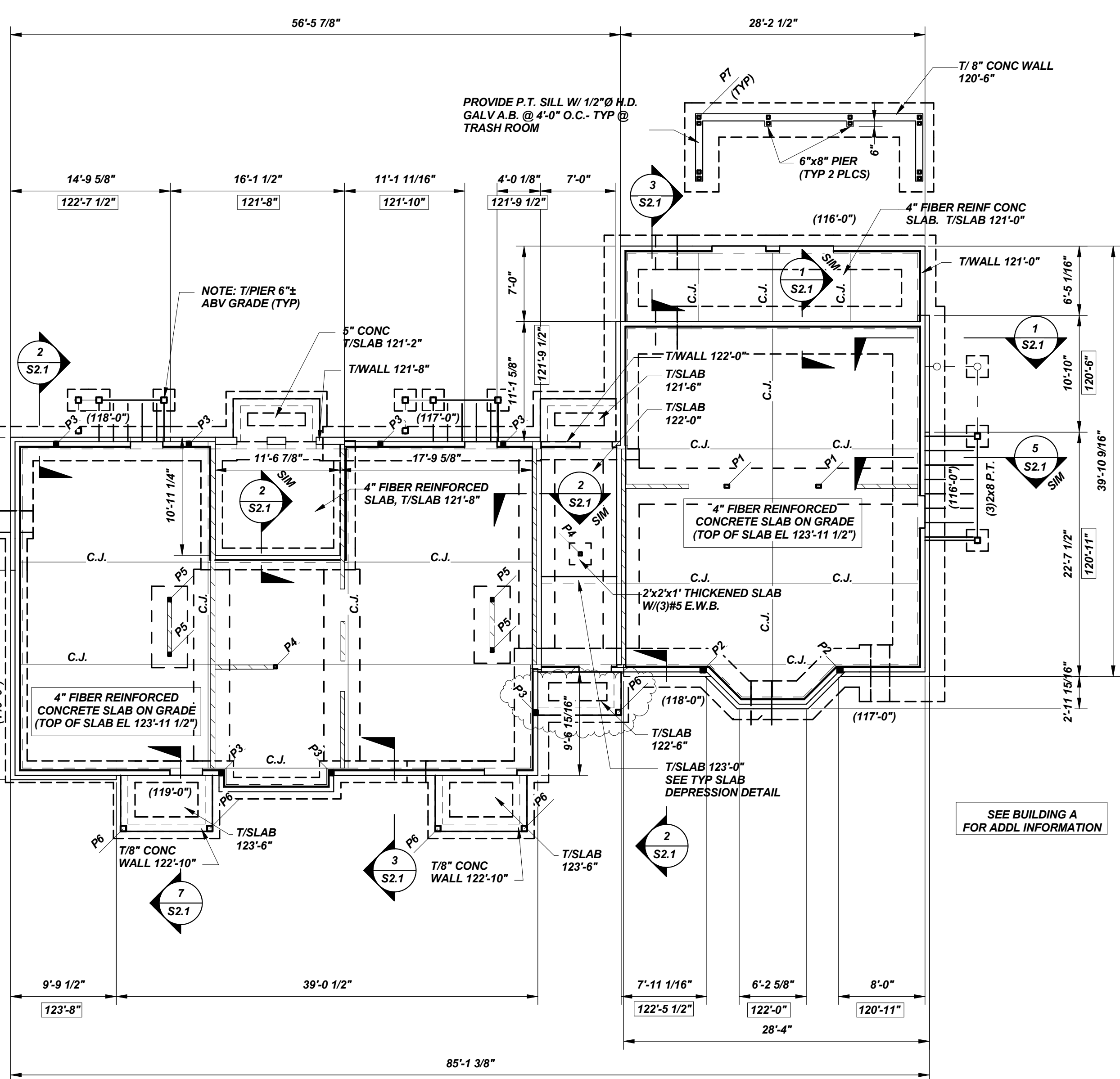
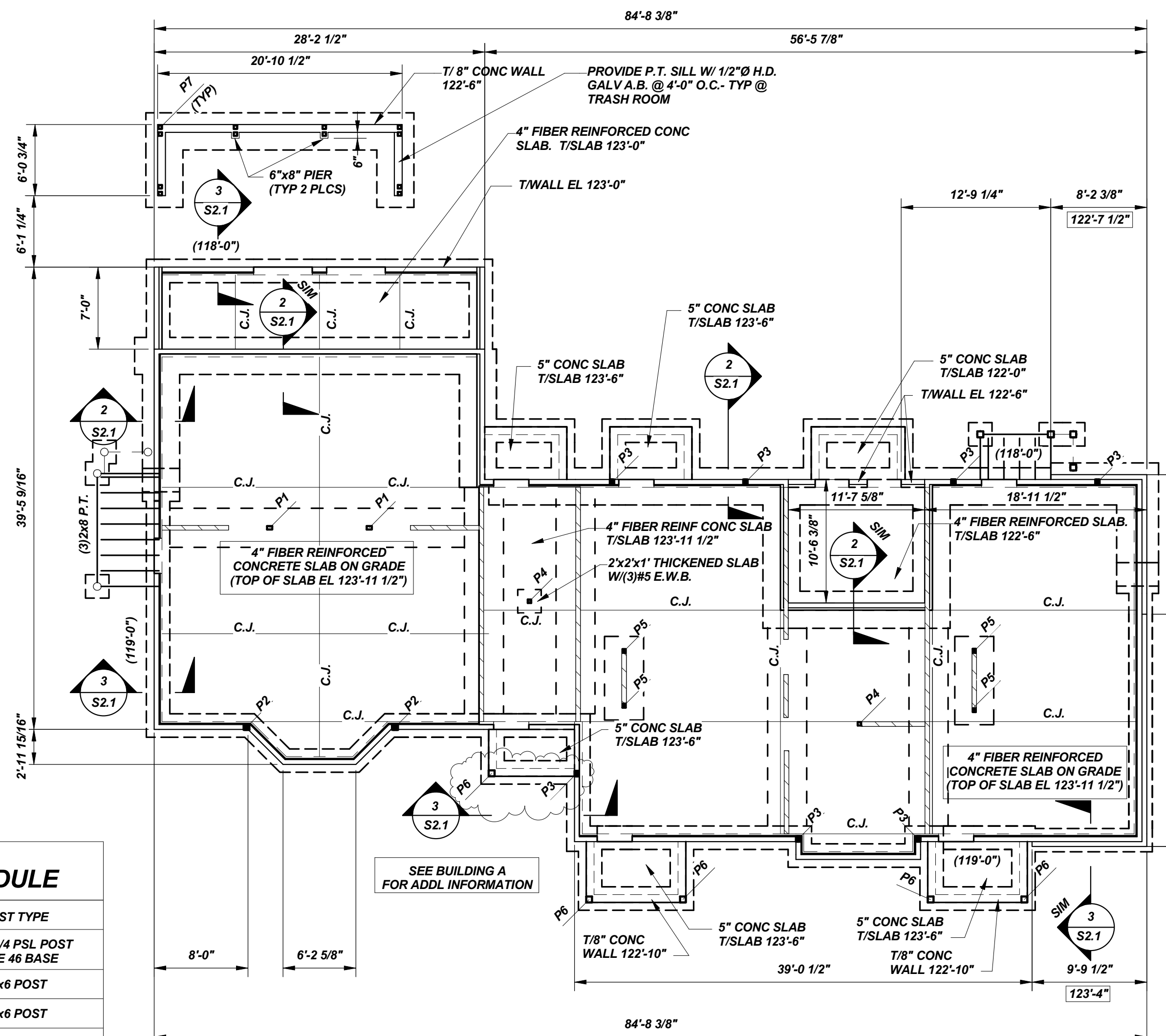
**FOUNDATION PLAN- BUILDING A**

- 1/8"=1'-0"
- NOTES:
1. TOP OF WALL EL. 122'-5 1/2" U.N.O. T/WALL AT ALL DOORS=-8" SEE TYP DETAIL
  2. TOP OF FOOTING EL (XX'-XX")
  3. C.J. INDICATES SLAB CONTRACTION/CONSTRUCTION JOINT.
  4. XX'-XX" INDICATES T/BRICKSHELF ELEV.
  5. [Symbol] INDICATES 2x4/2x6 BEARING WALL ALIGNED W/STRUCTURAL FRAMING ABOVE. AT LOCATIONS WHERE PLYWOOD SHTG IS NOT ATTACHED TO STUDS, PROVIDE SOLID BLKG AT 1/3 POINTS.
  6. ALL EXTERIOR SLABS TO HAVE 6x6-W2.9xW2.9 WWF.
  7. PLANS REFLECT BRICK VENEER SHELVES. BRICK SHELVES ARE ALTERNATE #5-SEE ARCH FOR ADDL INFO.

**FOUNDATION PLAN- BUILDING B**

- 1/8"=1'-0"
- NOTES:
1. TOP OF WALL EL. 121'-5 1/2" U.N.O. T/WALL AT ALL DOORS=-8" SEE TYP DETAIL.
  2. TOP OF FOOTING EL (XX'-XX")
  3. C.J. INDICATES SLAB CONTRACTION/CONSTRUCTION JOINT.
  4. [Symbol] INDICATES T/BRICKSHELF ELEV.
  5. [Symbol] INDICATES 2x4/2x6 BEARING WALL ALIGNED W/STRUCTURAL FRAMING ABOVE. AT LOCATIONS WHERE PLYWOOD SHTG IS NOT ATTACHED TO STUDS, PROVIDE SOLID BLKG AT 1/3 POINTS.
  6. ALL EXTERIOR SLABS TO HAVE 6x6-W2.9xW2.9 WWF.
  7. PLANS REFLECT BRICK VENEER SHELVES. BRICK SHELVES ARE ALTERNATE #5-SEE ARCH FOR ADDL INFO.

**SKS-1**  
INDICATED REVISIONS-PAGE 1 OF 3



**POST SCHEDULE**

POST MARK	POST TYPE
P1	3 1/2x5 1/4 PSL POST W/ABE 46 BASE
P2	(4)2x6 POST
P3	(3)2x6 POST
P4	3 1/2x3 1/2 PSL W/ABA 44 BASE
P5	(3)2x4
P6	6x6 PT POST W/ ABA 66 POST BASE
P7	(2)4x4 DF #1 POST W/ ABA 44 POST BASE

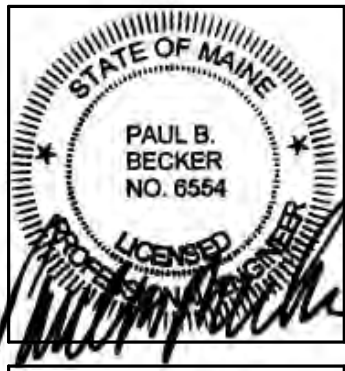
**FOUNDATION PLAN - BUILDING D**

- 1/8"=1'-0"  
NOTES:
- TOP OF WALL EL 123'-11 1/2" U.N.O. T/WALL AT ALL DOOR= -8" SEE TYP DETAIL.
  - TOP OF FOOTING EL (XX'-XX").
  - C.J. INDICATES SLAB CONTRACTION/CONSTRUCTION JOINT.
  - XX'-XX" INDICATES T/BRICKSHELF ELEV.
  - INDICATES 2x4/2x6 BEARING WALL ALIGNED
  - STRUCTURAL FRAMING ABOVE. AT LOCATIONS WHERE PLYWOOD SHTG IS NOT ATTACHED TO STUDS, PROVIDE SOLID BLKG AT 1/3 POINTS.
  - ALL EXTERIOR SLABS TO HAVE 6x6-W2.9xW2.9 WWF.
  - PLANS REFLECT BRICK VENEER SHELVES. BRICK SHELVES ARE ALTERNATE #5- SEE ARCH FOR ADDL INFO.

**FOUNDATION PLAN - BUILDING C**

- 1/8"=1'-0"  
NOTES:
- TOP OF WALL EL 123'-11 1/2" U.N.O. T/WALL AT ALL DOOR= -8" SEE TYP DETAIL.
  - TOP OF FOOTING EL (XX'-XX").
  - C.J. INDICATES SLAB CONTRACTION/CONSTRUCTION JOINT.
  - XX'-XX" INDICATES T/BRICKSHELF ELEV.
  - INDICATES 2x4/2x6 BEARING WALL ALIGNED
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  - ALL EXTERIOR SLABS TO HAVE 6x6-W2.9xW2.9 WWF.
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**SKS-1**  
INDICATED REVISIONS-PAGE 2 OF 3



JOB NO.  
08-056

DRWN. CHK  
D.S.B.

SCALE:  
As indicated

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03/05/12

TITLE  
FOUNDATION  
PLAN PART 2

SHEET

**S1.2**

