



Planning &amp; Urban Development Department

April 27, 2015

GOODRICH MATTHEW R &  
BETHANY GOODRICH JTS  
109 BROWN RD  
DURHAM, ME 04222

CERTIFIED MAIL: 70101870000281367216

CBL: 003 G002001  
Located At: 56 CONGRESS ST  
RE: FIRE INCIDENT # 2015-0005037-000

## Notice of Violation/ Tenant Notification

Dear Mr. Goodrich:

An evaluation of the above-referenced property with Officials from the City's Inspections Division on 04/27/2015 revealed that the structure fails to comply with § 6-108 (c) and (d) of the Housing Code of the City of Portland. Specifically, the damaged and decayed wood framing of the building's exterior windows and rear three (3) level exterior porches must be demolished, and or repaired in accordance with the City of Portland Building Code (MUBEC). Furthermore, the 2<sup>nd</sup> through 3<sup>rd</sup> Floor rear (non-egress) porches must remain vacated and secured from tenant use.

The City is putting you on notice of existing Housing Code Violations observed at 56 Congress St. These violations require immediate correction. They are as follows:

The following conditions must be met:

1. The building's 2<sup>nd</sup> and 3<sup>rd</sup> floor exterior porches must remain totally vacated and properly secured from tenant use.
2. Submit a building permit electronically, for the demolition, or repair of the exterior porches and interior rear stairwell to the Building Inspections Office by 05/14/2015.
  - a. Note: The City may require the building Owner to engage and designate on the building permit application a registered design professional who shall act as the registered design professional in responsible charge. The design professional in responsible charge shall be responsible for reviewing and coordinating submittal documents prepared by others, including phased and deferred submittal items, for compatibility with the design of the building.



Planning & Urban Development Department

3. Follow all inspection requirements outlined in each permit issued by the City.

No tenant(s) may occupy the exterior rear porches until further notice from the City. A re-evaluation and inspection of the property will occur on 05/08/2015.

The City's Corporation Counsel's Office has been alerted to the existence of this matter and if you do not remedy these issues as required by this Notice of Violation they will pursue legal action including civil penalties, as provided for in § 1-15 of the Portland City Code and in Title 30-A of M.R.S.A § 4452.

This letter constitutes a decision from which you may appeal pursuant to § 6-127 of the Portland City Code and Rule 80B of the Maine Rules of Civil Procedure.

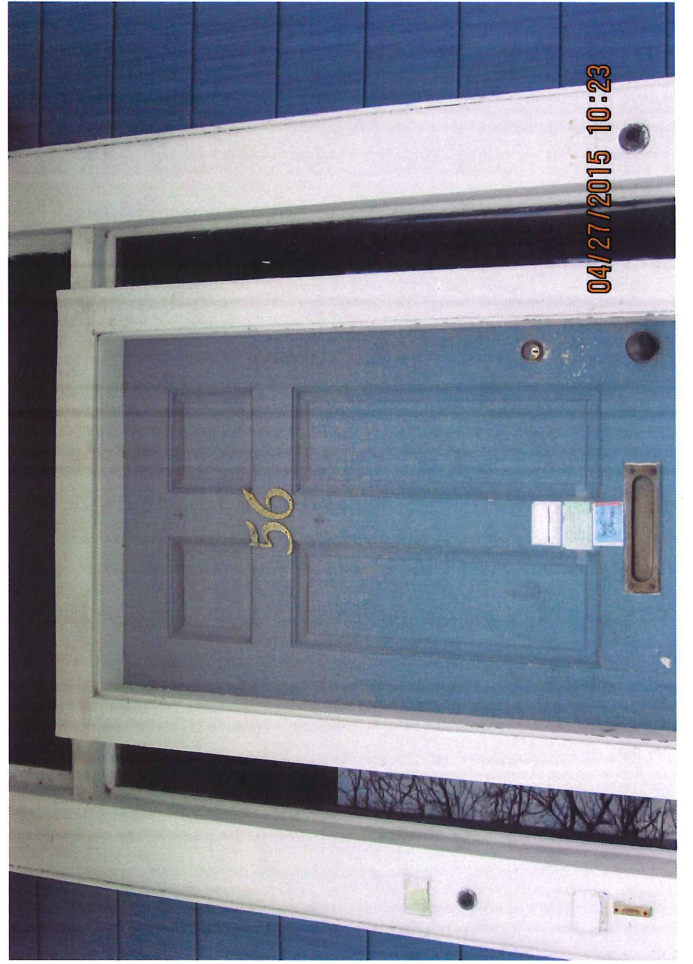
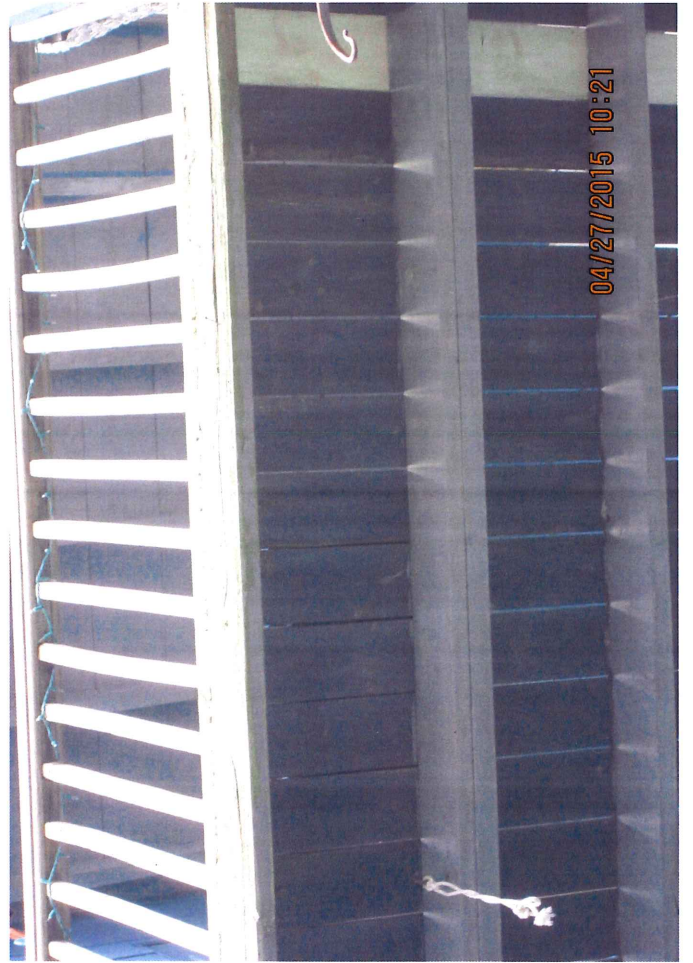
If you have any questions, concerns or require emergency repair permits- please contact me at 207-874-8701.

Sincerely,

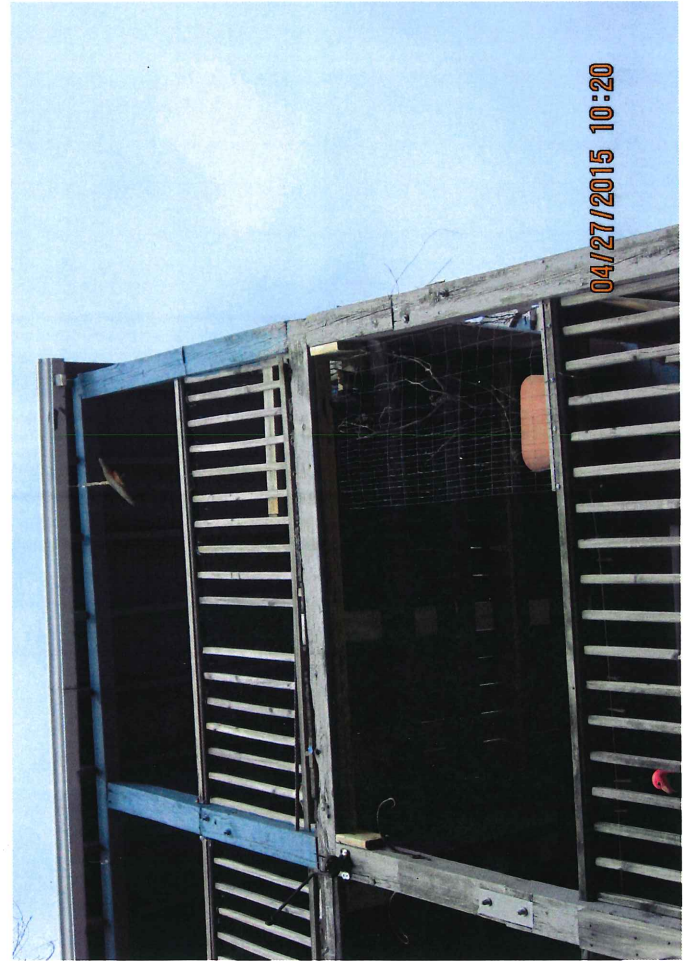
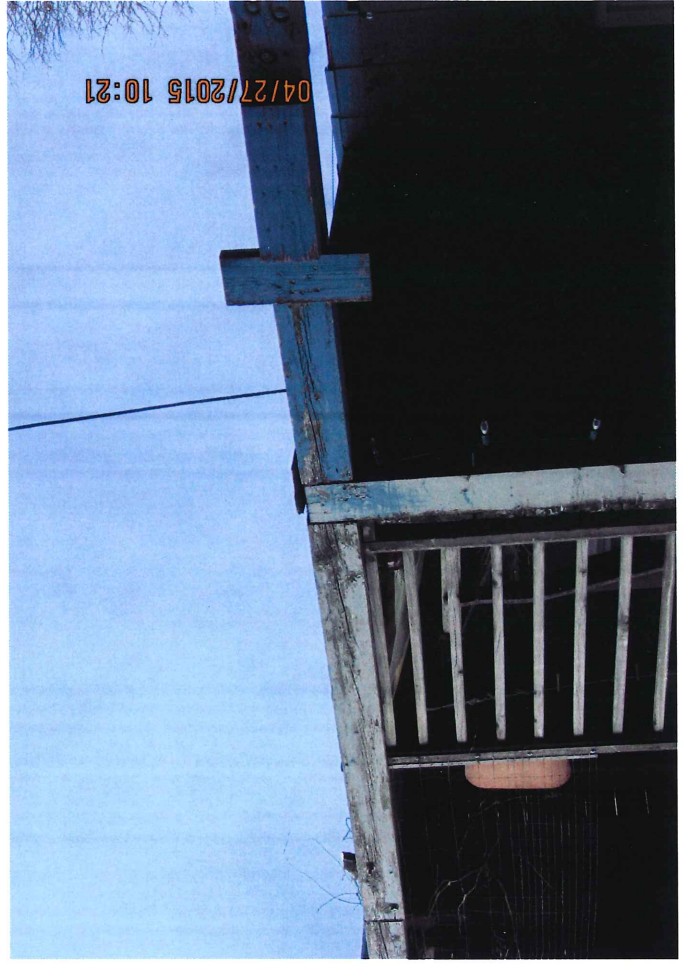
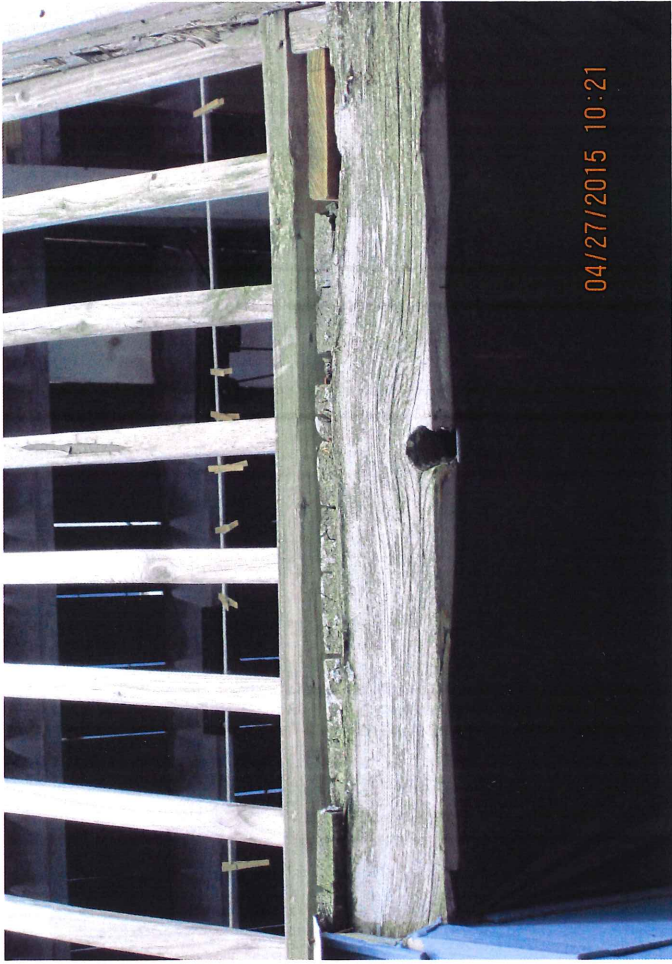
Jonathan Rioux  
Deputy Director of Inspections

cc: Tenants of 56 Congress St.  
Adam Lee, Associate Corporation Counsel









---

---

**CITY OF PORTLAND**  
**DEPARTMENT OF PLANNING & URBAN DEVELOPMENT**

389 Congress Street  
Portland, Maine 04101

---

**Inspection Violations**

<b>Owner/Manager</b> GOODRICH MATTHEW R &		<b>Inspector</b> Jonathan Rioux	<b>Inspection Date</b> 4/27/2015
<b>Location</b> 56 CONGRESS ST	<b>CBL</b> 003 G002001	<b>Status</b> Failed	<b>Inspection Type</b> Complaint-Inspection

---

<b>Code</b>	<b>Int/Ext</b>	<b>Floor</b>	<b>Unit No.</b>	<b>Area</b>	<b>Compliance Date</b>
-------------	----------------	--------------	-----------------	-------------	------------------------

---

1) 6-108.(c)                      Exterior                                      Various locations

**Violation:** EXTERIOR WINDOWS, DOORS AND SKYLIGHTS; Every window or door, including basement or cellar door and hatchway, and skylight shall be substantially weathertight, watertight, and vermin proof and shall be kept in sound working condition and good repair.

Every exterior window shall include storm sash with screens or an alternative equally effective for heat retention and ventilation purposes, all in operable condition.

**Notes:**

---

2) 6-108.(d)                      Exterior                                      Porch

**Violation:** STAIRWAYS, STAIRWELLS, STAIRS AND PORCHES.; EVERY INSIDE AND OUTSIDE STAIRWAY, STAIRWELL, STAIRS, AND PORCH AND ANY APPURTENANCES THERETO SHALL BE STRUCTURALLY SOUND, IN GOOD REPAIR, AND SAFE TO USE.

**Notes:**

---

**Comments:**