

Form # P 04

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

PERMIT

Permit Number: 030649

This is to certify that Profenno John A Heirs/no contractor / se
has permission to rebuild 2 story 15'-6"x14' rear addition.
AT 31 Vesper St 003 F017001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is altered or enclosed-in. **HEAVY NOTICE IS REQUIRED.**

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. **PERMIT ISSUED**
Health Dept. _____
Appeal Board _____
Other **JUN 13 2003**
Department Name

[Signature]
Director - Building & Inspection Services

CITY OF PORTLAND

PENALTY FOR REMOVING THIS CARD

PERMIT ISSUED

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-0649	Issue Date: JUN 13 2003	CBL: 003 F017001
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Location of Construction: 31 Vesper St	Owner Name: Profenno John A Heirs	Owner Address: 31 Vesper St CITY OF PORTLAND	Phone: 207-773-2343
Business Name:	Contractor Name: no contractor / self	Contractor Address: Portland	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Duplex	Zone:
Past Use: two family	Proposed Use: two family - rebuild 14'x15'-6"	Permit Fee: \$268.00	Cost of Work: \$35,000.00
Proposed Project Description: rebuild 2 story 15'-6"x14' rear addition.		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied Signature: <i>WA</i>	INSPECTION: Use Group: <i>R-3</i> Type: <i>SB</i> <i>BOLA</i> Signature: <i>[Signature]</i>
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____	

Permit Taken By: tmm	Date Applied For: 06/10/2003	Zoning Approval		
<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 		Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: _____	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: _____

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

6/13/03 Measured this date 14'5" sides; 21'6" vertically; 15'0" Bangalore type roof. A cone

7/23/03 used set with man - no property pins available - footings very difficult to determine where walls will be placed. Also a jet out for a basement entrance has been added. Owner will have to apply for amended plan. Advised that could not pour walls until property lines could be identified. OK

7/28/03 - Footing poured. REBAR pinned to wall. Still need to inspect once forms are up. OK.

8/14/03 Backfill (w/ Tom Markky) OK to Backfill OK

10/16/03 - Close-in -
New 4" dia. pipe - Nail plates on 4" dia. pipe
2" dia. pipe - 3-2x9 Beam
in beam - 2" dia. pipe - 2" dia. pipe
1" dia. pipe - 1" dia. pipe - 1" dia. pipe
Went over all of
the above. OK.

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-0649	Date Applied For: 06/10/2003	CBL: 003 F017001
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Location of Construction: 31 Vesper St	Owner Name: Profenno John A Heirs	Owner Address: 31 Vesper St	Phone: 207-773-2343
Business Name:	Contractor Name: no contractor / self	Contractor Address: Portland	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Duplex	

Proposed Use: two family - rebuild 14'x15'-6"	Proposed Project Description: rebuild 2 story 15'-6"x14' rear addition.
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Tammy Munson **Approval Date:** 06/13/2003**Note:** **Ok to Issue:**

- 1) Your present structure is legally nonconforming as to setbacks. If you are to demolish this structure on your own volition, you will only have one (1) year to replace it in the same footprint (no expansions), with the same height, and same use. Any changes to any of the above shall require that this structure meet the current zoning standards.
- 2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Tammy Munson **Approval Date:** 06/10/2003**Note:** **Ok to Issue:**

- 1) The 1st floor bathroom window must be changed to safety glazing.

Comments:

6/10/03-tmm: Need to verify structure is currently there and the size due to nonconformance.

Plans 11"x17" 8722

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

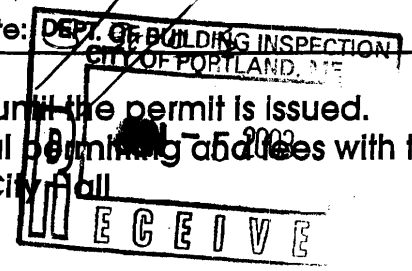
Location/Address of Construction: <u>31 Vesper Street Port. Me.</u>		
Total Square Footage of Proposed Structure <u>217 ft²</u>	Square Footage of Lot <u>3750</u> <u>50 x 75</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>003</u> Block# <u>F</u> Lot# <u>017</u>	Owner: <u>John Profano</u> <u>His Aves</u>	Telephone: <u>773-2343</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>Orinda Profano</u> <u>31 Vesper St</u> <u>Portland Me 04101</u>	Cost Of Work: \$ <u>35⁰⁰</u> Fee: \$ <u>268.00</u>
Current use: <u>Porch (Lease)</u> <u>Duplex</u>		
If the location is currently vacant, what was prior use: _____		
Approximately how long has it been vacant: <u>demo & replace 15'6" x 14'</u>		
Proposed use: <u>Replace in kind Lease</u> / <u>replacing same</u> Project description: <u>Porch</u>		
Contractor's name, address & telephone: <u>Low Profano 45 Curtis Rd Portland</u> <u>207-797-3332</u>		
Who should we contact when the permit is ready: <u>Low Profano</u>		
Mailing address: <u>45 Curtis Road Portland Me</u> <u>xx</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: 207-797-3332 <u>E-MAIL lprofano@att.net</u> <u>xx</u>		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

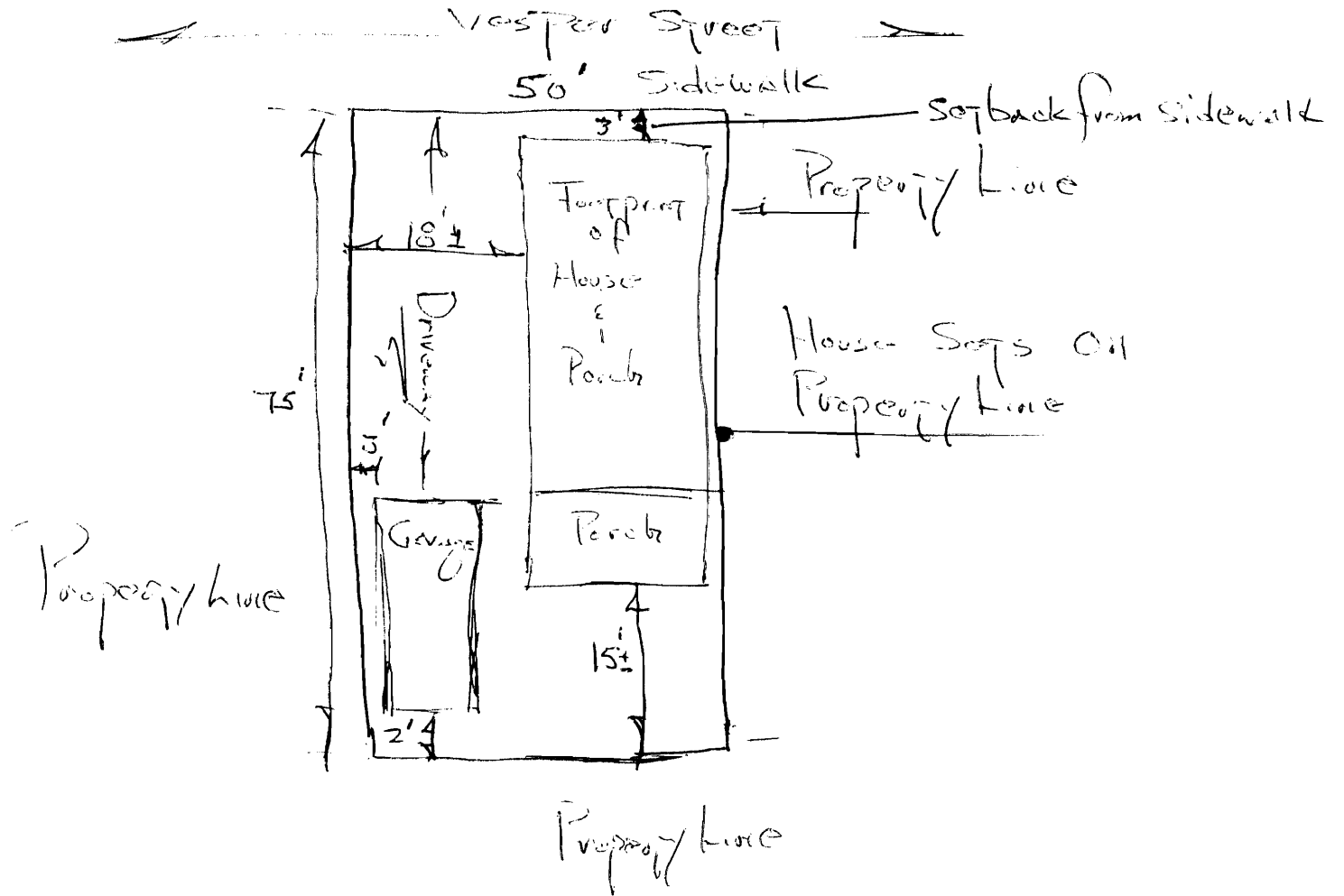
Signature of applicant: <u>Orinda Profano</u> <u>Low Profano</u>	Date: <u>DEPT. OF BUILDING INSPECTION</u> <u>CITY OF PORTLAND, ME</u>
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This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall



Plot Plan

31 Vesper Street Portland



Location Tax Assessor's Chart

Chart # 003

Block F

Lot # 017

Prmt		Text93		558		Constr Type		New		Num1		30649	
Permit Nbr	03-0649	Location of Construction		31	Vesper St		Appl. Date		06/10/2003				
Status	Pending	Permit Type		Additions - Duplex				Issue Date					
CBL	003 F017001	Territory Nbr		1	Estimated Cost		\$35,000.00		Date Closed				

Comment Date	Comment	Name	Follow Up Date	Completed
06/10/2003	Need to verify structure is currently there and the size due to nonconformance.	imm		<input type="checkbox"/>

CreatedBy	imm	CreateDate	06/10/2003	ModBy	imm	ModDate	06/10/2003
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BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

Pre-construction Meeting: Must be scheduled with your inspection team upon receipt of this permit. ~~Jay Rayfields~~, Development Review Coordinator at 874-8632 must also be contacted at this time, before any site work begins on any project other than single family additions or alterations.

Footing/Building Location Inspection: Prior to pouring concrete

Re-Bar Schedule Inspection: Prior to pouring concrete

Foundation Inspection: Prior to placing ANY backfill

Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling

Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a ~~\$75.00~~ fee per inspection at this point.


Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERTIFICATE OF OCCUPANCIES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED


Signature of applicant/designee

6/17/03
Date


Signature of Inspections Official

6/17/03
Date

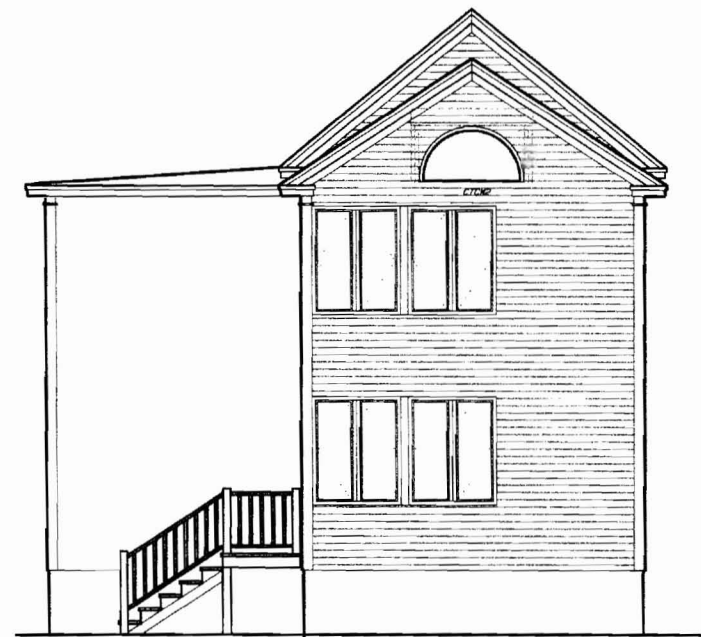
CBL: 003-F-017 Building Permit #: 03-0623

03-0649



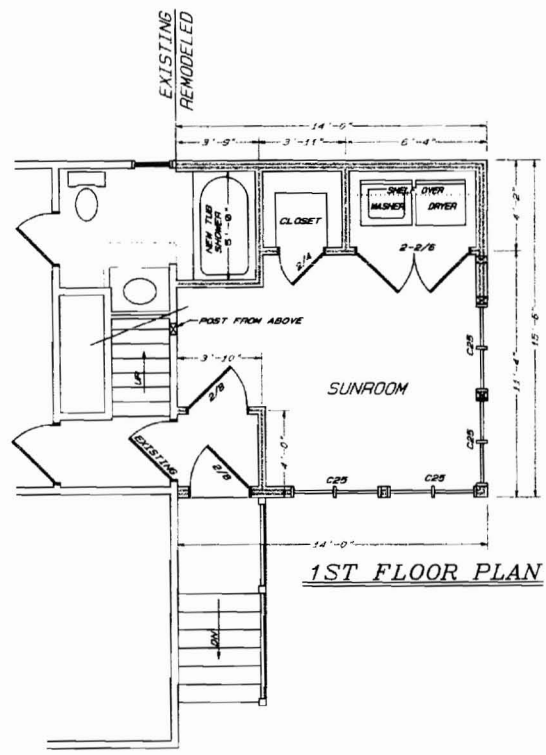
RIGHT SIDE ELEVATION

EXISTING
NEW



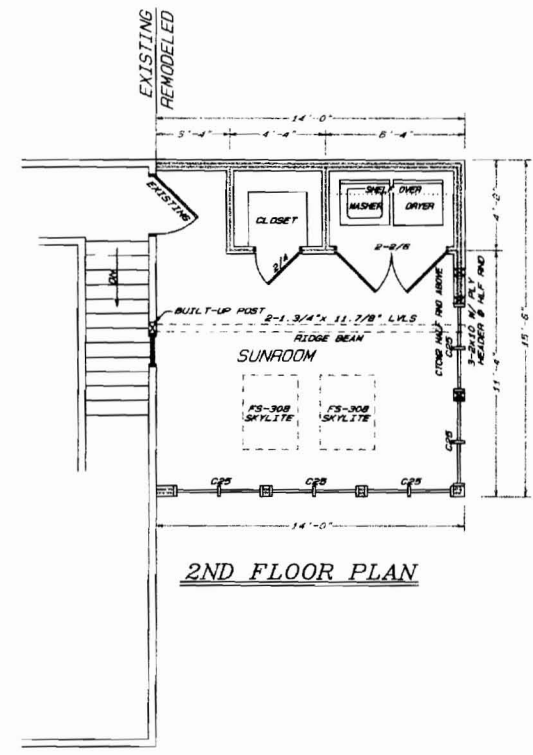
REAR ELEVATION

NEW
EXISTING



1ST FLOOR PLAN

EXISTING
REMODELLED

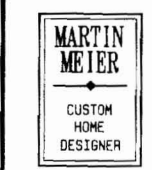


2ND FLOOR PLAN

EXISTING
REMODELLED

NOTE:
ALL DIMENSIONS, MEASURES, ROOF PITCH, ELEVATION
DROPS, STUD HEIGHTS AND EXISTING STRUCTURAL
INTEGRITY ARE TO BE FIELD VERIFIED
BY BUILDER/CONTRACTOR PRIOR TO
PERFORMING CONSTRUCTION. ALL ADJUSTMENTS
ARE TO BE PERFORMED AS REQUIRED.

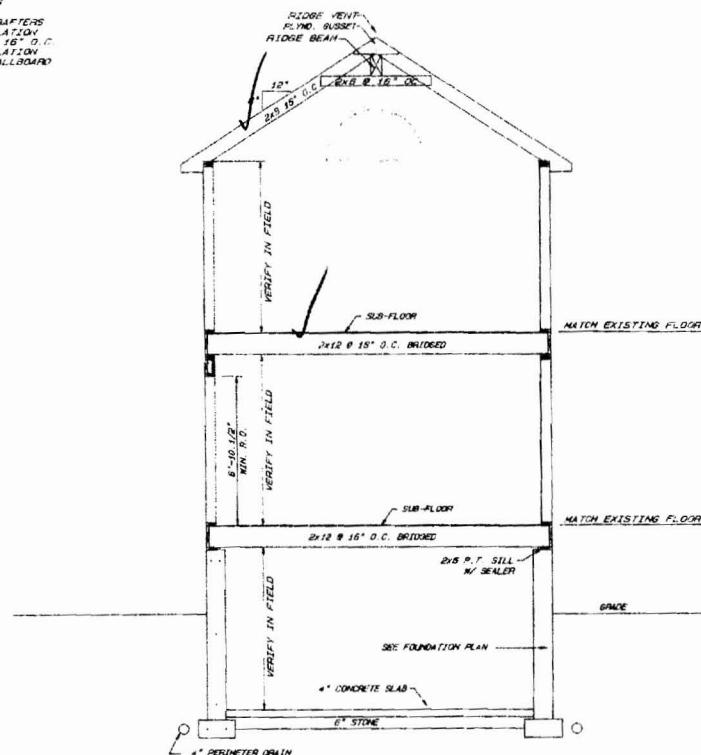
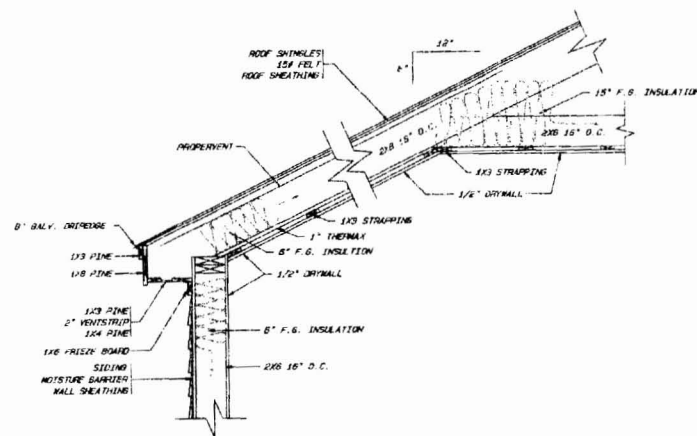
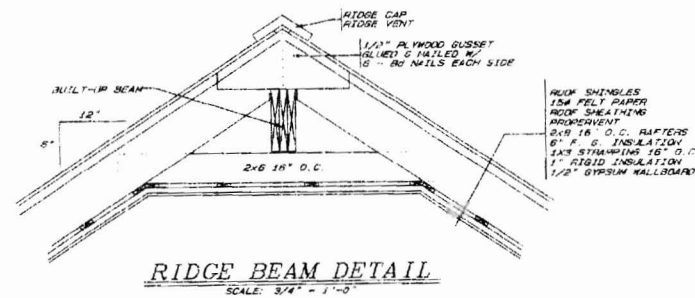
NOTICE:
THIS DRAWING IS PROVIDED FOR
INFORMATIONAL PURPOSES ONLY. IF
USED FOR CONSTRUCTION, THE CON-
TRACTOR ASSUMES ALL RESPONSIBILITY
FOR LOCAL CODE COMPLIANCE.



PROFENNO RESIDENCE
31 VESPER STREET
PORTLAND, MAINE

P.O. Box 350
Yarmouth, Maine 04096
207-846-3749

REBUILD 14'x 15'-6" SUNPORCH		PROJECT #
BY: M. Meier	03011	
SCALE: 1/4" = 1'-0"	SHEET #	
DATE: MAY 8, 2003	1 of 2	



FRAMING MATERIAL SPECIFICATIONS	
FLOOR SHEATHING:	3/4" T&G EXT. PLYWOOD
WALL SHEATHING:	1/2" CDX EXT. PLYWOOD
ROOF SHEATHING:	5/8" CDX EXT. PLYWOOD
UNDERLAYMENT:	5/8" AC PLYWOOD
MOISTURE BARRIER:	TYVEK HOUSEWRAP
VAPOR RETARDER:	T-TUFF
EXTERIOR SIDING:	VINYL SIDING
EXTERIOR TRIM:	CLEAR PINE
SILLS:	2x6 PRESSURE TREATED
FLOOR JOIST:	K.D. SPRUCE
WALL STUDS:	K.D. SPRUCE
CEILING JOIST:	K.D. SPRUCE
RAFTERS:	K.D. SPRUCE
EAVE VENT:	2" WHT. ALUMINUM
DRIPEDEGE:	8" GALV.
ROOFING SHINGLES:	30 YR. TIMBERLINE 30 YR.
ROOF VENT:	2" WHT. ALUMINUM
1" AIR SPACE MAT:	PROPERVENT
FOUNDATION INSULATION:	INSUL
STILL SEALER:	SEE AVAILABILITY
FLOOR BLOCKS & RUNNERS:	1" FIBERGLASS
1ST FLOOR INSULATION:	2 1/2" FIBERGLASS
EXTERIOR WALL INSULATION:	5" FIBERGLASS
2ND FLOOR INSULATION:	3 1/2" FIBERGLASS
CEILING INSULATION:	15" FIBERGLASS
SLOPED ROOF INSULATION:	1" R.I.G. W/ 1" RIGID INSUL.

WOOD FRAMING NOTES:

- STRUCTURAL LUMBER: NO. 2 SPRUCE, PINE, FIR OR BETTER
- DESIGN CODE: NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION BY THE NATIONAL FOREST PRODUCTS ASSOCIATION
- FASTENERS: COMPLY WITH RECOMMENDED FASTENING SCHEDULE OF THE BOCA BASIC BUILDING CODE LATEST EDITION UNLESS SHOWN OTHERWISE ON THE DRAWINGS.
- NAILING REQUIREMENTS FOR PLYWOOD FLOOR DECKS, ROOF DECK AND SHEATHING: PROVIDE NO NAILS AS FOLLOWS UNLESS SHOWN OTHERWISE:
6" O.C. ALONG ALL PANEL EDGES
8" O.C. ALONG INTERMEDIATE MEMBERS
ALL PLYWOOD SUB-FLOORS TO BE GLEED AND NAILED WITH 8D SCREW NAILS.
- SPRUE TOGETHER ALL FRAMING MEMBERS WHICH ARE BUILT-UP WITH 15D NAILS @ 12" O.C. TOP AND BOTTOM.
- PROVIDE GALVANIZED METAL JOIST HANGERS AT FLUSH FRAMED CONNECTIONS. IF SIZES ARE NOT SHOWN ON PLANS, PROVIDE HANGERS EQUAL TO SIMILAR USES OR LISTS.
- PROVIDE 3" x 12" HEADERS OVER ALL OPENINGS IN BEARING WALLS UNLESS SHOWN OTHERWISE.
- PROVIDE DOUBLE TOP PLATE IN ALL EXTERIOR WALLS AND ALL BEARING WALLS. STAGGER TOP PLATE SHIELDS IN EXTERIOR WALLS 4'-0" AND PROVIDE AT LEAST 8" 10D NAILS PER SPLICE.
- PROVIDE PRESSURE TREATED LUMBER FOR ALL LUMBER IN CONTACT WITH CONCRETE OR GROUND.
- PROVIDE MINIMUM OF TWO 2x STUDS AT THE ENDS OF ALL BUILT-UP 2x BEAMS UNLESS SHOWN OTHERWISE.
- ROOF AND WALL SHEATHING: AREA RATED SHEATHING EXTERIOR OR STRUCTURAL I OR II RATED SHEATHING EXTERIOR.
ROOF: 5/8" THICK
WALLS: 1/2" THICK
- INSTALL SHEETS WITH FACE GRAIN DIRECTION PERPENDICULAR TO SUPPORTING MEMBERS.
- POSTS AT CORNERS OF EXTERIOR WALLS: PROVIDE 5x8 POST OR 3" x 8x8 MINIMUM.
- PROVIDE FULL DEPTH BLOCKING AT ENDS AND INTERIOR SUPPORTS OF ALL JOISTS AND RAFTERS WHERE JOISTS AND RAFTERS FRAME OVER SUBMOUNTS.
- PROVIDE STAINLESS STEEL NAILS TO ATTACH SIDING AND EXT. TRIM.
- MICRO-LAM BEAMS (ULB): BLUE LAMINATED VENEER LUMBER OF DOUGLAS FIR AS MANUFACTURED BY TRUS-JOIST OR BOISE. LISTED ON APPROVED EQUAL. F_b = 2400 PSI, E = 2,000,000 PSI. ALL LVL HEADERS TO HAVE A MINIMUM OF DOUBLE 2x JACKS UNLESS NOTED OTHERWISE ON THE PLANS.
- BOLTS, NUTS & WASHERS: ASTM - A307, HOT DIPPED GALVANIZED CORRESPONDING TO SIZE.
- NAILS: COMMON WIRE EXCEPT BARBED NAILS AT PLYWOOD SHEATHING. PROVIDE GALVANIZED NAILS AT EXPOSED FRAMING.
- METAL CONNECTORS: APPROVED TYPE OF PROPER THICK & GAUGE AS REQUIRED ON DRAWINGS. NOT DIPPED GALVANIZED.
- ALL WOOD MEMBERS TO BE NAILED IN ACCORDANCE WITH BOCA CODE APPENDIX.
- PROVIDE 2x12 BRACING, SIZED TO MATCH FLOOR JOIST, AT MID-SPAN IN ALL FLOOR SYSTEMS.
- LIVE LOADS FOR FLOOR JOIST SHALL BE PER THE BOCA BASIC BUILDING CODE LATEST EDITION.

NOTE 1

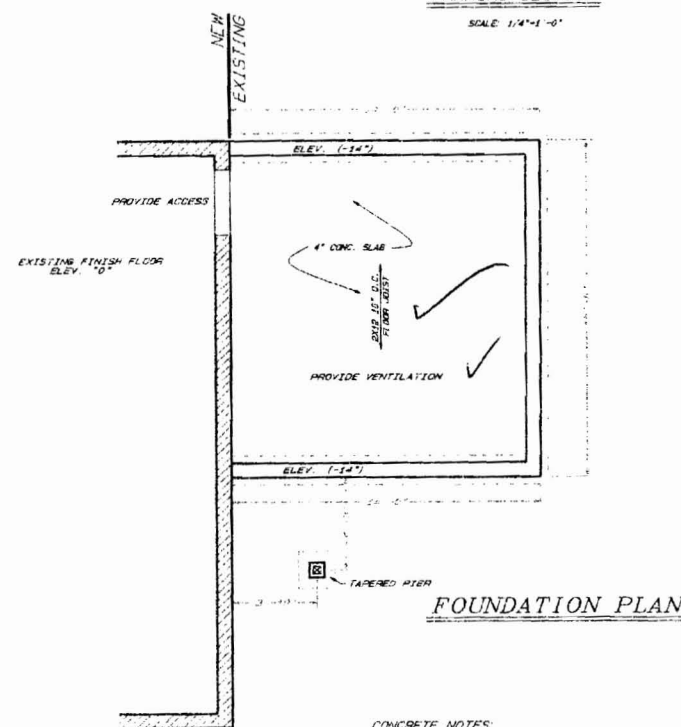
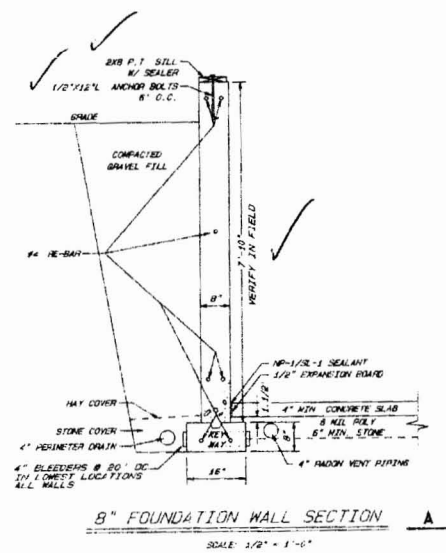
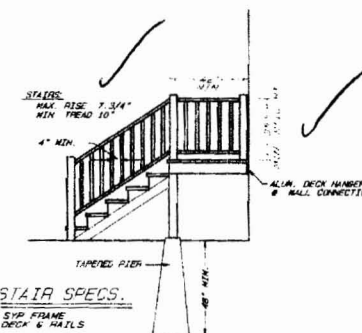
ALL ELEVATION DROPS ARE TO BE DETERMINED AND FIELD VERIFIED ACCORDING TO GRADE AND SITE CONDITIONS. ADJUST DROPS AS REQUIRED.

NOTE 2

ALL STRUCTURAL BEAMS AND ROOF SYSTEM ARE TO BE REVIEWED BY A MAINE LICENSED STRUCTURAL ENGINEER. ALL CHANGES TO BE MADE AS REQUIRED.

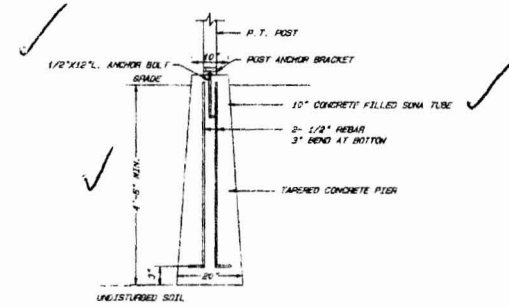
NOTE 3

CONTRACTOR IS RESPONSIBLE FOR PROVIDING ADEQUATE CONNECTIONS BETWEEN ALL STRUCTURAL ELEMENTS. PROVIDE SUITABLE JOIST HANGERS, CLIP ANGLES, LAG BOLTS, ETC., AS REQUIRED TO ADEQUATELY CONNECT MEMBERS.



CONCRETE NOTES:

- MIN. 28 DAY COMPRESSIVE STRENGTH: 3000 PSI
- DESIGN OF FOOTINGS IS BASED ON AN ASSUMED SOIL BEARING CAPACITY OF 2500 PSF @ 20 DAYS. CONTRACTOR TO VERIFY SOIL BEARING CAPACITY PRIOR TO ANY CONSTRUCTION.
- PLACE FOOTINGS ON UNDISTURBED MATERIAL.
- REINFORCE ALL SPREAD FOOTINGS W/ #4 REBAR @ 12" O.C. EACH DIRECTION, & 3" CLEAR FROM BOTTOM.
- FROST PROTECTION: 4'-6" MIN.



NOTE:

ALL DIMENSIONS, MEASURES, ROOF PITCH, ELEVATION DROPS, STUD HEIGHTS AND EXISTING STRUCTURAL INTEGRITY, ARE TO BE FIELD VERIFIED BY BUILDER/CONTRACTOR PRIOR TO PERFORMING CONSTRUCTION. ALL ADJUSTMENTS ARE TO BE PERFORMED AS REQUIRED.

NOTICE:

THIS DRAWING IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY. IF USED FOR CONSTRUCTION, THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR LOCAL CODE COMPLIANCE.

<p>MARTIN MEYER CUSTOM HOME DESIGNER</p>	<p>PROFENNO RESIDENCE</p> <p>31 VESPER STREET PORTLAND, MAINE</p>	
	<p>REBUILD 14'x 15'-6" SUNPORCH</p>	
<p>P.O. Box 359 Yarmouth, Maine 04096 207-846-3749</p>	<p>BY: M. Meyer</p> <p>SCALE: 1/4" = 1'-0"</p> <p>DATE: MAY 8, 2007</p>	<p>PROJECT #: 03011</p> <p>SHEET #: 2 of 2</p>



CITY OF PORTLAND, MAINE
Department of Building Inspections

20

Received from _____

Location of Work _____

Cost of Construction \$ _____

Permit Fee \$ _____

Building (I1) _____ Plumbing (I5) _____ Electrical (I2) _____ Site Plan (U2) _____

Other _____

CBL: _____

Check #: _____

Total Collected \$ _____

THIS IS NOT A PERMIT

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

WHITE - Applicant's Copy

YELLOW - Office Copy

PINK - Permit Copy