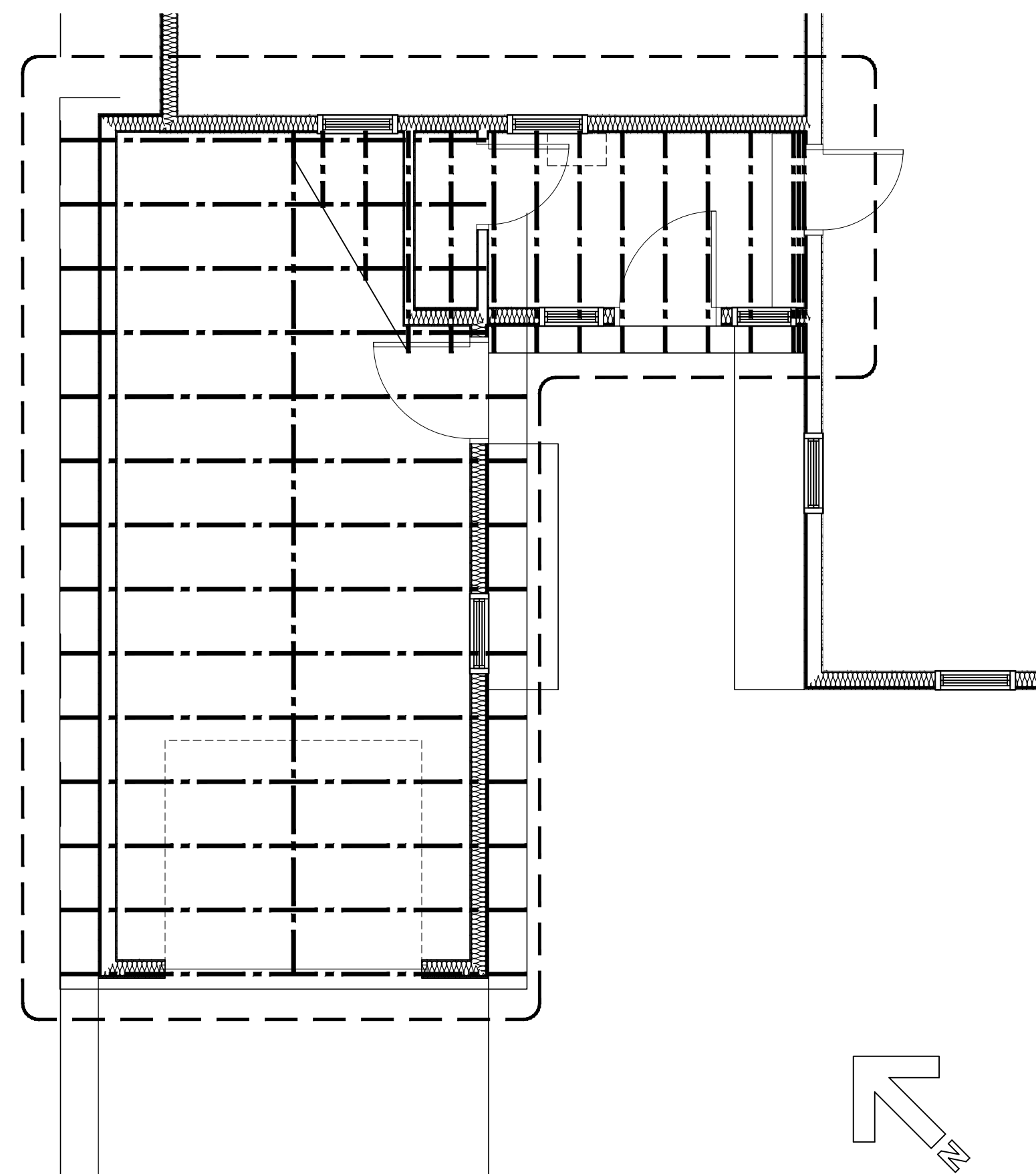


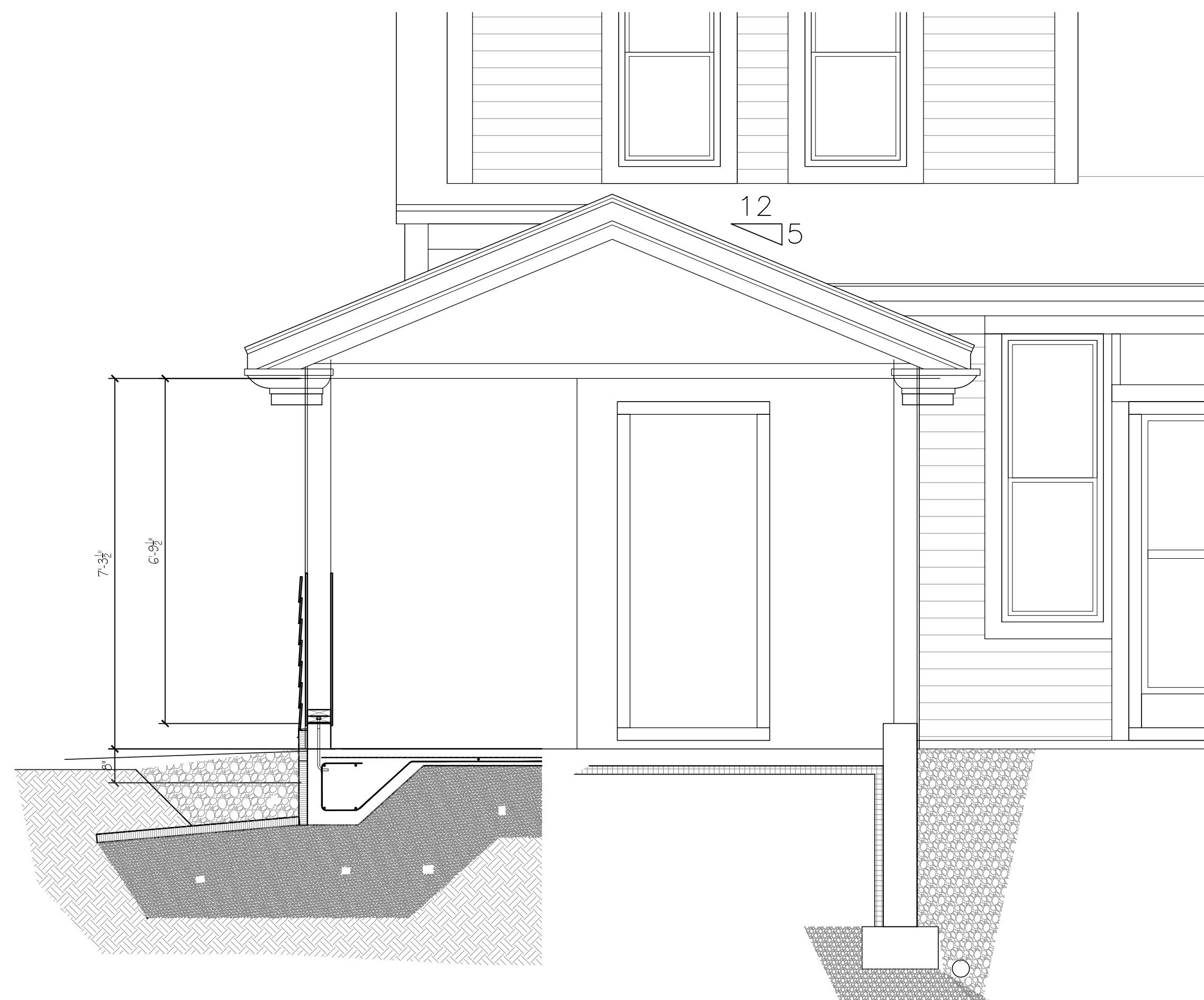


SECTION @ SLAB CANTILEVER
SCALE: 1/2"=1'-0"

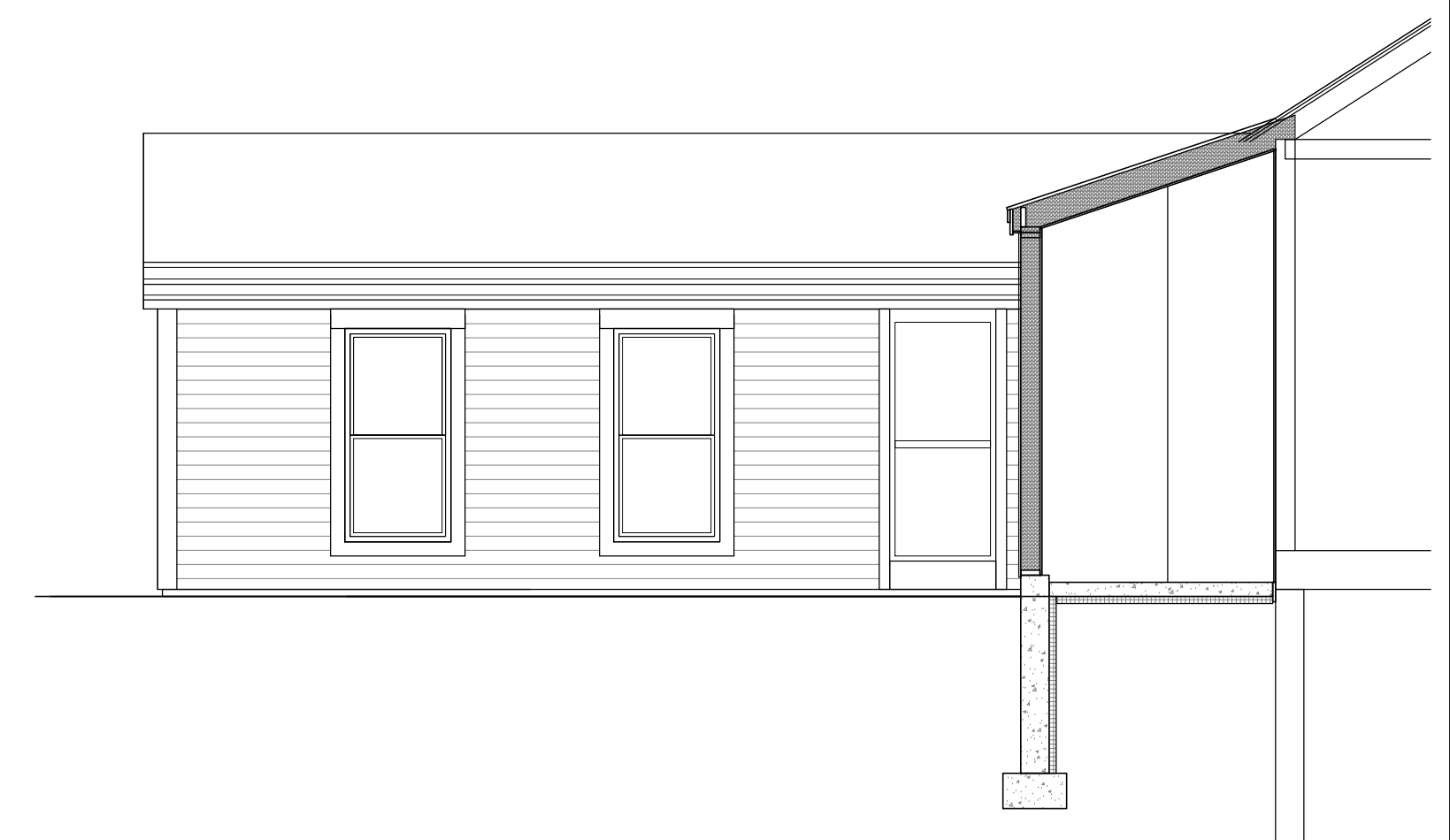
REVISED FLOOR PLAN
SCALE: 1/4"=1'-0"



REVISED FRAMING PLAN
SCALE: 1/4"=1'-0"



SECTION @ SLAB HAUNCH
SCALE: 1/2"=1'-0"



REVISED SOUTHEAST ELEVATION
SCALE: 1/4"=1'-0"

ROOF SYSTEM

1. SHINGLES - CERTAINTED LANDMARK LIFETIME CHARCOAL BLACK
2. SHEATHING - 5/8" 4x8 SQ. EDGE ADVANTECH SHEATHING
3. ROOFTOP GUARD II SHINGLE UNDERPAYMENT
4. CERTAINTED "WATERGUARD" ICE/WATER SHIELD
5. 5/8" ALUMINUM STEP FLASHING
6. 2x8 RAFTERS K.D. 5P/1F @ 16" O.C. (@MUDROOM)
7. PRE-ENGINEERED WOOD TRUSSES (@GARAGE)
8. ROCKWOOL BATTIS, MIN 7-1/4" R-30 (WHERE SHOWN)

EXTERIOR WALL SYSTEM

1. 2x6 STUDS, SPRUCE, @ 16" O.C.
2. 5-1/2" ROXUL "COMFORT BATTIS" R=23 (@MUDROOM)
3. (1) 2x6, SPRUCE, BTM PLATE, PT @ FOUNDATION
4. (2) 2x6, SPRUCE, TOP PLATES
5. 1/2" GYPSUM WALL BOARD, TAPED & PAINTED
6. SIDING TO MATCH EXISTING

INTERIOR WALL SYSTEM

1. 2x4 STUDS, SPRUCE, @ 16" O.C.
2. (1) 2x4, SPRUCE, BTM PLATE,
3. (2) 2x4, SPRUCE, TOP PLATES
4. 1/2" GYPSUM WALL BOARD, TAPED & PAINTED
5. 3/4" X 48" AFF BEAD BOARD WITH CHAIR RAIL
6. CROWN MOLDING
7. 3/4" X 5" BASE MOLDING

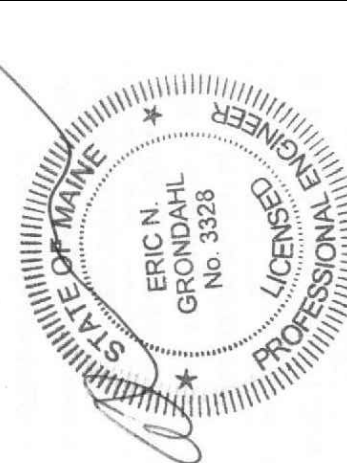
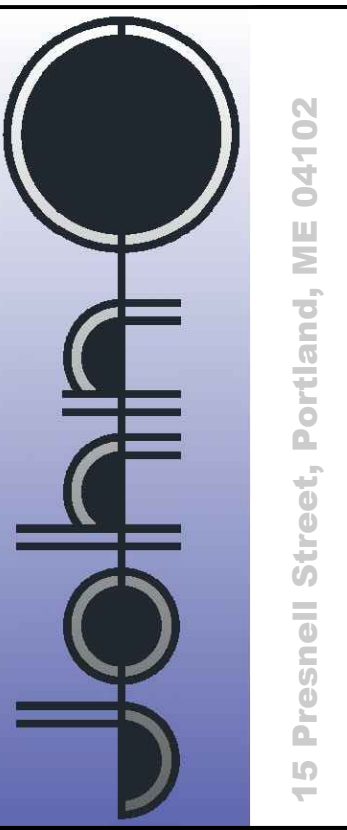
FOUNDATION SYSTEM

1. 4" CONCRETE SLAB ON GRADE ON MIN. 6" OF COMPACTED STRUCTURAL GRAVEL.
2. VAPOR BARRIER
3. 6X6 #10 GAUGE WELDED WIRE MESH
4. 2" STYROFOAM UNDER SLAB INSULATION
5. 2" STYROFOAM FOUNDATION WALL INSULATION
6. 8" CONC. CAST IN PLACE WALL. (WERE SHOWN)
7. 4" FOUNDATION DRAIN. PROVIDE FILTER FABRIC OVER TOP OF DRAIN AND MIN 2" CRUSHED ROCK UNDER DRAIN.
8. SILL PLATES SHALL BE ANCHORED TO THE FOUNDATION WITH ANCHOR BOLTS SPACED A MAX. OF 6' O.C. BOLTS SHALL BE AT LEAST 1/2" IN DIAMETER AND SHALL EXTEND A MINIMUM OF 7" INCHES INTO CONCRETE. SILL PLATE SHALL BE P.T 2X6 WITH SILL SEAL CONCRETE FOOTING MIN. 10x18" (WERE SHOWN)
9. CONCRETE FOOTING MIN. 10x18" (WERE SHOWN)

2nd FLOOR CEILING SYSTEM

1. 2x8 WOOD JOISTS/COLLAR TIES @ 16" O.C.
2. 1x3 STRAPPING @ 16" O.C.
3. 1/2" GYPSUM WALL BOARD, TAPED AND PAINTED
4. MIN 7.25" R=30 ROCK WOOL INSULATION (@MUDROOM)

PROPERTY OF



15 Presnell Street, Portland, ME 04102

Remodel
33 Vesper Street
Portland, ME

BY:	JJO
NO:	
REMARKS:	Issued for Permit
DATE:	06-20-17
CODE:	IRC 2009
TOWN:	Portland
DATE:	06-19-2017
SCALE:	As Noted
DRAWN:	JJO
TITLE:	Plans Elevations Sections Details
FILE:	
SHEET:	A1-04