

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

BUILDING DEPARTMENT

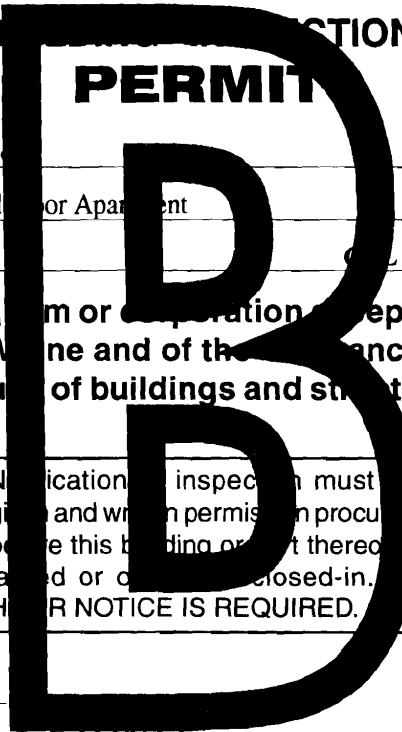
PERMIT

Permit Number: 030647

PERMIT DENIED

This is to certify that Putnam Raymond F Iii /Owner
has permission to construct a Rear Exit for 2nd floor Apartment
AT 33 Vesper St 03003 F016001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.



Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is loaded or occupied. CLOSED-IN. HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____

DENIED

PERMIT DENIED

PERMIT DENIED

Department Name

Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

Zoning Division
Marge Schmuckal
Zoning Administrator



Department of Planning & Development
Lee Urban, Director

CITY OF PORTLAND

July 7, 2003

Daniel Lellan
No Setbacks

Raymond F. Putnam III
33 Vesper Street
Portland, ME 04103

RE: 33 Vesper Street – 003-F-016 – R-6 Zone – Permit application #03-0647

Dear Mr. Putnam,

This letter is a follow-up of our meeting today. At that meeting you submitted a plot plan for the new rear exit for a second floor apartment at 33 Vesper Street. You told me that there were no rear yard and no side yard setbacks. The structure, which has been built without a permit (stop work order dated March 12, 2003, is placed next to the property line. You also told me that Code Enforcement does not require this exit under their building code requirements.

The R-6 residential zone requires a ten (10) foot side yard setback (section 14-139) instead of the zero (0) side yard setback shown on your plot plan. The R-6 zone requires a twenty (20) foot rear yard setback instead of the zero (0) rear yard setback shown. Based on these minimum requirements of the R-6 residential zone, your permit is denied.

You have the right to appeal my decision. If you wish to exercise your right to appeal, you have thirty (30) days from the date of this letter in which to appeal. If you should fail to do so, my decision is binding and not subject to appeal. I have included all the necessary paperwork that is required to file a practical difficulty variance appeal.

Very truly yours,

Marge Schmuckal
Zoning Administrator

cc: File



CITY OF PORTLAND
STOP WORK NOTICE

March 12, 2003

Ray Putnum
33 Vesper St.
Portland, ME 04101

RE: 33 Vesper St.
CBL: 003-F-016

CERTIFIED MAIL # 7002 0510 0003 3312 3758

Dear Mr. Putnumr:

An evaluation of the property at 33 Vesper St. on February 28, 2003 @ 12:40 p.m. revealed that the property fails to comply with Section 107.1 of the 1999 BOCA Building Code of the City of Portland.

Construction without a proper permit.

This is a **STOP WORK ORDER** pursuant to Section 117.3 of the 1999 BOCA Building Code. All construction activity at the above referenced property must **STOP** immediately.

Permit must be applied for and issued.

Failure to comply will result in this office referring the matter to the City of Portland Corporation Counsel for legal action and possible civil penalties, as provided for in Section 1-15 of the Code and in Title 30-A M.R.S.A. Ss 4452.

This constitutes an appealable decision pursuant to Section 1-16. (2) Of the City of Portland Code of Ordinances. Please feel free to contact me at 874-8708, if you wish to discuss the matter or have any questions.

Sincerely,

Kevin Carroll
Code Enforcement Officer
/gg



CITY OF PORTLAND

permit on hold

June 19, 2003

Raymond F. Putnam III
33 Vesper Street
Portland, ME 04103

RE: 33 Vesper Street – 003-F-016 – R-6 zone – permit application #03-0647

Dear Mr. Putnam,

I am in receipt of your permit application to construct a rear exit for a second floor apartment at 33 Vesper Street. Your permit is denied because it is not meeting the following requirements.

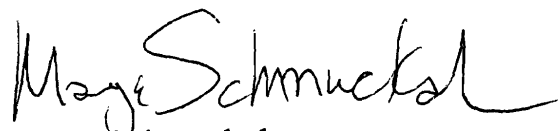
Our permit applications require a plot plan of your specific lot showing setback dimensions for existing structures and proposed structures so that applicable zone requirements can be determined. No plot plan for this lot and your structure were included in your application.

Your property is located within an R-6 residential zone which states that any alterations of a structure shall not result in the construction of any open outside stairways or fire escapes above the ground floor (section 14-136). Your plans show your proposed rear exit to be an open, exterior fire escape above the ground floor.

If you revise your plans within thirty days from the date of this letter, I can review those revisions. After this thirty day period, your permit application shall be void. Any propose work shall require a separate application with all the appropriate accompanying paperwork. At present your permit is on hold and no action will be taken on it.

You have the right to appeal my decision concerning setbacks and open, exterior fire escapes. If you wish to exercise your right to appeal, you have thirty (30) days from the date of this letter in which to appeal. If you should fail to do so, my decision is binding and not subject to appeal. Please contact this office for the necessary paperwork that is required to file an appeal.

Very truly yours,

A handwritten signature in black ink, appearing to read "Marge Schmuckal". The signature is fluid and cursive, with the first name "Marge" written in a larger, more prominent script than the last name "Schmuckal".

Marge Schmuckal
Zoning Administrator

Cc: file

THIS IS NOT A BOUNDARY SURVEY

MORTGAGE INSPECTION OF: DEED BOOK 14250 PAGE 153 COUNTY Cumberland
PLAN BOOK ----- PAGE ----- LOT -----

ADDRESS: 33 Vesper Street, Portland, Maine

Job Number: 398-44

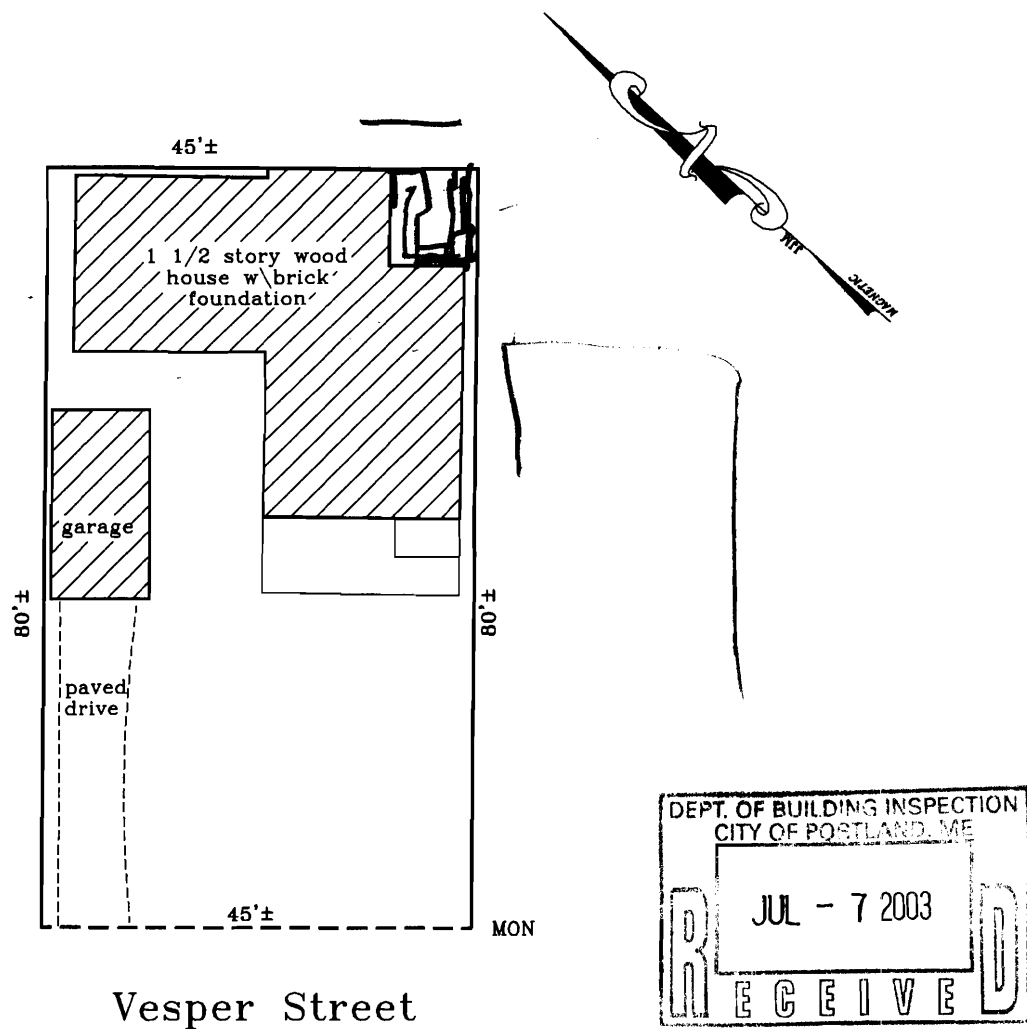
Inspection Date: 10-31-02

Scale: 1"=20'

Client #: 22-2426

Buyer: Raymond Putnam

Seller: Steven F. Weiss



I HEREBY CERTIFY TO: Guaranty Title Corporation
Beacon Mortgage Company, LLC
and its title insurer.

Monuments found did not conflict with the deed description.

The dwelling setbacks do not violate town zoning requirements.

As delineated on the Federal Emergency Management Agency Community Panel: 230051 0014 B

The structure does not fall within the special flood hazard zone.

The land does not fall within the special flood hazard zone.

A wetlands study has not been performed.

APPARENT EASEMENTS AND RIGHTS OF WAY ARE SHOWN. OTHER ENCUMBRANCES, RECORDED OR NOT, MAY EXIST. THIS SKETCH WILL NOT REVEAL ABUTTING DEED CONFLICTS, IF ANY.

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Livingston - Hughes

Professional Land Surveyors & Foresters

88 Guinea Road

Kennebunkport - Maine 04046

207-967-9761 phone 207-967-4831 fax

THIS SKETCH IS FOR MORTGAGE PURPOSES ONLY

additional dwelling unit within five (5) years from the date of issuance of the building permit. Any building reviewed as a two-family dwelling in accordance with section 14-524 or not reviewed under article V, which is altered or enlarged to include any additional dwelling unit after this five-year period, shall be reviewed as a major development pursuant to article V of this chapter.

2. Multifamily dwellings, provided that any alteration of a structure in residential use on December 2, 1987:
 - a. Shall not result in the creation of any additional dwelling unit of less than six hundred (600) square feet of floor area, exclusive of common hallways and storage in basement and attic; and
 - b. Shall not result in any existing dwelling unit being reduced in size to less than one thousand (1,000) square feet of floor area, exclusive of common areas and storage in basement and attic;
 - c. Parking shall be provided as required by division 20 of this article;
 - d. No open outside stairways or fire escapes above the ground floor shall be constructed;
 - e. A below-grade dwelling unit shall be permitted only if access is provided directly to the outside of the building;
 - f. Such development shall be subject to article V (site plan) of this chapter for site plan review and approval.
3. Handicapped family unit, as defined in section 14-47 (definitions) of this article, for handicapped persons plus staff.
4. Single-family, multiple-component manufactured

03-0647

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>33 Vesper St</u>		
Total Square Footage of Proposed Structure <u>35</u>	Square Footage of Lot <u>3575</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>3</u> Block# <u>F</u> Lot# <u>16</u>	Owner: <u>Raymond F Putnam III</u>	Telephone: <u>207 232 6400</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>Ray Putnam 33 Vesper St Portland Me 04112</u>	Cost Of Work: \$ <u>3000</u> Fee: \$ <u>44.00</u>
Current use: <u>None</u>		
If the location is currently vacant, what was prior use: <u>Unknown</u>		
Approximately how long has it been vacant: <u>N/A</u>		
Proposed use: <u>Rear Exit For 2nd Floor Apartment</u> Project description:		
Contractor's name, address & telephone:		
Who should we contact when the permit is ready: <u>Ray Putnam</u>		
Mailing address: <u>P.O. Box 7701 Portland Me 04112</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>207 232 6400</u>		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

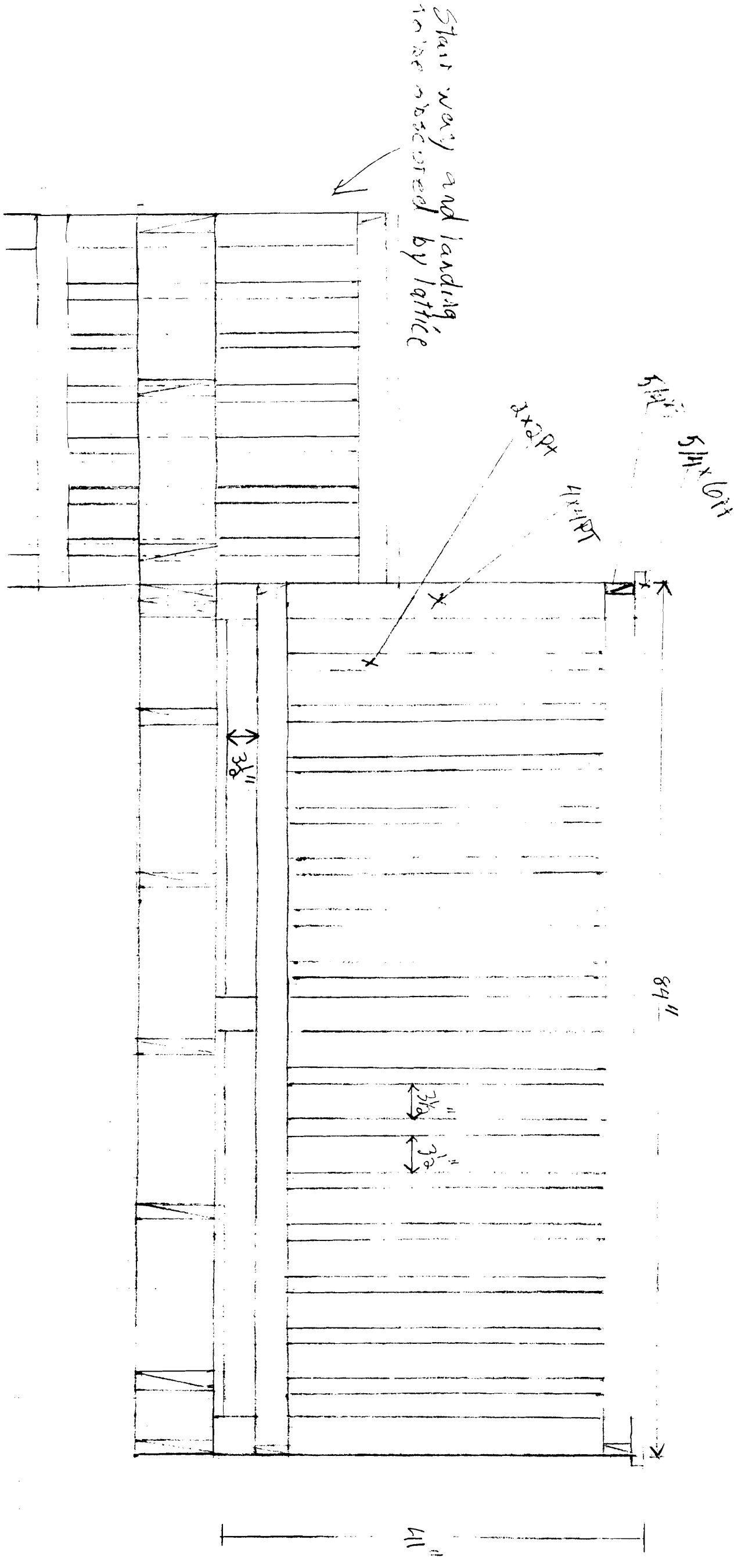
I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant:

Date:

June 3, 2003

This is NOT a permit, you may not commence ANY work until the permit is issued.
If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall



Stair way and landing,
to be obscured by lattice

5/4 x 6 ft

4 x 1/2 ft
2 x 2 ft

84"

111"

33"

3 1/2"

3 1/2"



CITY OF PORTLAND, MAINE
Department of Building Inspections

20

Received from _____

Location of Work _____

Cost of Construction \$ _____

Permit Fee \$ _____

Building (IL) ____ Plumbing (I5) ____ Electrical (I2) ____ Site Plan (U2) ____

Other _____

CBL: _____

Check #: _____

Total Collected \$ _____

THIS IS NOT A PERMIT

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

WHITE - Applicant's Copy
YELLOW - Office Copy
PINK - Permit Copy