

# DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

## BUILDING PERMIT

Permit Number: 100235

This is to certify that McMann Harry I/Harry McMan

has permission to Change of Use; from 3 family to 4 family dwelling

AT 76 Morning St CE 003 D007001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.  
**PERMIT ISSUED**

Notification of inspection must be given and written permission procured before this building or part thereof is altered or otherwise used-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

**OTHER REQUIRED APPROVALS**

Fire Dept. APR 16 2010  
Health Dept. \_\_\_\_\_  
Appeal Board City of Portland  
Other \_\_\_\_\_  
Department Name

*[Handwritten Signature]*  
Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-0235	Issue Date:	CBL: 003 D007001
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Location of Construction: 76 Morning St	Owner Name: McMann Harry J	Owner Address: 76 Morning St	Phone: 207-749-6688
Business Name:	Contractor Name: Harry McMann	Contractor Address: 6 Earstern Promenade Portland	Phone: 2077496688
Lessee/Buyer's Name	Phone:	Permit Type: Change of Use - Dwellings	Zone: R-6

Past Use: Three Family Dwelling Unit	Proposed Use: Change of Use; from 3 family to 2 family dwelling units.	Permit Fee: \$2,125.00	Cost of Work: \$200,000.00	CEO District: 1	3,700 <sup>sq</sup>
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FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied <i>N/A</i>	INSPECTION: Use Group: R-3 Type: SB <i>IRC 2003</i>
Signature:	Signature:

Proposed Project Description:  
Change of Use; from 3 family to 2 family dwelling units.

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)

Action:  Approved  Approved w/Conditions  Denied

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Permit Taken By: gg	Date Applied For: 03/11/2010	<b>Zoning Approval</b>	
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews	Zoning Appeal	Historic Preservation
<input type="checkbox"/> Shoreland	<input type="checkbox"/> Variance	<input checked="" type="checkbox"/> Not in District or Landmark
<input type="checkbox"/> Wetland	<input type="checkbox"/> Miscellaneous	<input type="checkbox"/> Does Not Require Review
<input type="checkbox"/> Flood Zone	<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Requires Review
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Interpretation	<input type="checkbox"/> Approved
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Approved	<input type="checkbox"/> Approved w/Conditions
Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/>	<input type="checkbox"/> Denied	<input type="checkbox"/> Denied
Date: <i>ok with conditions</i>	Date:	Date: <i>[Signature]</i>

**PERMIT ISSUED**

APR 16

City of Portland

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE



#150235

# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>74/76 MORNING STREET</u>		
Total Square Footage of Proposed Structure/Area <u>3,730.4 sq ft.</u>		Square Footage of Lot <u>0.085 Acres</u>
Tax Assessor's Chart, Block & Lot Chart# <u>3</u> Block# <u>D</u> Lot# <u>7</u>	Applicant * <b>must</b> be owner, Lessee or Buyer* Name <u>HARRY McMANN</u> Address <u>6 Eastern Promenade</u> City, State & Zip <u>Portland, Me 04101</u>	Telephone: <u>749-6688</u>
<b>RECEIVED</b>  Lessee/DBA (If Applicable) <u>MAR 11 2010</u>  <b>Dept. of Building Inspections</b> <b>City of Portland Maine</b>	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>200,000.-</u> C of O Fee: \$ <u>75.00</u> Total Fee: \$ _____
	Current legal use (i.e. single family) <u>3 Family</u> If vacant, what was the previous use? Proposed Specific use: <u>2 Family</u> Is property part of a subdivision? <u>NO</u> If yes, please name _____ Project description: <u>Rehab of buildin - Conversion 3-Family back to its original 2-Family Design.</u>	<u>Change of Use</u>
Contractor's name: <u>HARRY McMANN</u>		
Address: <u>6 Eastern Promenade</u> <u>XXmail</u>		
City, State & Zip <u>Portland Me 04101</u>		Telephone: _____
Who should we contact when the permit is ready: <u>HARRY McMANN</u>		Telephone: <u>749-6688</u>
Mailing address: <u>Same</u>		

3H Fee 2,000.00  
75.00  
2095.00

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature] Date: 3/11/10

This is not a permit; you may not commence ANY work until the permit is issue



## Residential Additions/Alterations Permit Application Checklist

All of the following information is required and must be submitted. Checking off each item as you prepare your application package will ensure your package is complete and will help to expedite the permitting process.

The Maine Home Construction Contracts Act requires that any home construction or repair work for more than \$3000. in materials or labor must be based on a written contract unless the parties agree to exempt themselves. A sample contract is available on the City's website at [www.portlandmaine.gov](http://www.portlandmaine.gov), in the Inspection Office, Room 315 of Portland City Hall or call (207)874-8703 to have one mailed to you.

One (1) complete set of construction drawings must include:

- Cross sections w/framing details
- Floor plans and elevations existing & proposed
- Detail removal of all partitions & any new structural beams
- Detail any new walls or permanent partitions
- Stair details including dimensions of: rise/run, head room, guards/handrails, baluster spacing
- Window and door schedules
- Foundation plans w/required drainage and damp proofing (if applicable)
- Detail egress requirements and fire separation/sound transmission ratings (if applicable)
- Insulation R-factors of walls, ceilings & floors & U-factors of windows per the IECC 2003
- Deck construction including: pier layout, framing, fastenings, guards, stair dimensions
- Reduced plans or electronic files in pdf format are required if originals are larger than 11" x 17"
- Proof of ownership is required if it is inconsistent with the assessors records

Separate permits are required for internal & external plumbing, HVAC, and electrical installations.

If there are any additions to the footprint or volume of the structure, any new or rebuilt structures or, accessory detached structures a plot plan is required. A plot must include:

- The shape and dimension of the lot, footprint of the existing and proposed structure and the distance from the actual property lines. Structures include decks, porches; bow windows, cantilever sections and roof overhangs, sheds, pools, garages and any other accessory structures must be shown with dimensions if not to scale.
- Location and dimensions of parking areas and driveways
- A change of use may require a site plan exemption application to be filed.

Please submit all of the information outlined in this application checklist. If the application is incomplete, the application may be refused.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), stop by the Building Inspections office, room 315 City Hall or call 874-8703.

Permit Fee: \$30.00 for the first \$1000.00 construction cost, \$10.00 per additional \$1000.00 cost  
This is not a Permit; you may not commence any work until the Permit is issued.

**Marge Schmuckal - 76 Morning Street**

**From:** "David Matero" <david@daymatero.com>  
**To:** <mes@portlandmaine.gov>  
**Date:** 3/24/2010 1:10 PM  
**Subject:** 76 Morning Street  
**CC:** "Harry McMann" <hmcman@syseng.com>, "Tracy Davis" <tdavis@urban-dwe...>

Marge,

Per our conversation this afternoon, please see the following revised analysis regarding the lot coverage at 76 Morning Street. As you noted, the brick paver sidewalk nor the overhang of the roof shall be included in the calculation:

Original calculation of lot coverage was as follows:

Existing house structure and front porch = 1,867.3 sf  
 Existing lot size = 3,730.4  
 Original lot coverage 50.1%

The above calculations did not take into account a covered deck and concrete steps (it did include the front porch).

Therefore, revised calculations are as follows:

Existing structure (including decks and concrete steps) = 1,951 sf.  
 Existing lot size = 3,730.4  
 Lot coverage = 52%

As part of demolition, the following will be removed from the existing construction:

Existing building = 107 sf  
 Covered deck = 58 sf  
 Concrete steps = 47 sf  
 Total amount of coverage removed = 212 sf

As part of new construction, the following is proposed:

Area of first floor deck (including stone steps) = 163 sf  
 Area of the third floor deck = 47 sf  
 Total amount of coverage being added = 210 sf

Lot coverage remains at 52% and is not increased.

According to our calculations, the proposed decks should be allowed per zoning. Please contact me if you have any questions regarding this analysis.

Thank you.

Sincerely,

David

David S. Matero, AIA, LEED AP

**DayMatero** studio  
 100 Front Street  
 Top Floor  
 Bath, ME 04530  
 david@daymatero.com  
 http://www.daymatero.com/  
 207.671.6820

## **BUILDING PERMIT INSPECTION PROCEDURES**

**Please call 874-8703 or 874-8693 (ONLY )**

**or email: [buildinginspections@portlandmaine.gov](mailto:buildinginspections@portlandmaine.gov)**

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the City of Portland Inspection Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months, if the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue with construction.**

  X   **Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling**

  X   **Final/Certificate of Occupancy: Prior to any occupancy of the structure or use.**

**NOTE: There is a \$75.00 fee per inspection at this point.**

**The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.**

**IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.**

**PERMIT ISSUED**

APR 16

City of Portland

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 10-0235	<b>Date Applied For:</b> 03/11/2010	<b>CBL:</b> 003 D007001
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<b>Location of Construction:</b> 76 Morning St	<b>Owner Name:</b> McMann Harry J	<b>Owner Address:</b> 76 Morning St	<b>Phone:</b> 207-749-6688
<b>Business Name:</b>	<b>Contractor Name:</b> Harry McMann	<b>Contractor Address:</b> 6 Earstern Promenade Portland	<b>Phone:</b> (207) 749-6688
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Change of Use - Dwellings	

<b>Proposed Use:</b> Change of Use; from 3 family to 2 family dwelling units.	<b>Proposed Project Description:</b> Change of Use; from 3 family to 2 family dwelling units.
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**Dept:** Zoning      **Status:** Approved with Conditions      **Reviewer:** Marge Schmuckal      **Approval Date:** 03/26/2010

**Note:** **Ok to Issue:**

- 1) Once the third unit has been removed, any real or preceived rights to the third unit have been extinguished. Any future change of use to add dwelling units shall meet all the current underlying zone requirements under a separate application.
- 2) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.
- 3) This property shall remain a two family dwelling with the issuance of this permit and subsequent issuance of a Certificate of Occupancy. Any change of use shall require a separate permit application for review and approval.
- 4) This permit is being approved on the basis of revised information and plans submitted. Any deviations shall require a separate approval before starting that work.

**Dept:** Building      **Status:** Approved with Conditions      **Reviewer:** Tammy Munson      **Approval Date:** 04/16/2010

**Note:** **Ok to Issue:**

- 1) Tempered glass must be installed in the window over the tub.
- 2) All floors and walls that separate dwelling units or dwelling units and common areas are required to meet a 1 hour fire rated assembly and sound transmission rating of 45 STC.
- 3) There must be a 2" clearance maintained between the chimney and any combustibile material, with draft stopping per code at each level
- 4) The basement is NOT approved as habitable space. A code compliant 2nd means of egress must be installed in order to change the use of this space.
- 5) Hardwired interconnected battery backup smoke detectors shall be installed in all bedrooms, protecting the bedrooms, and on every level.
- 6) The design load spec sheets for any engineered beam(s) / Trusses must be submitted to this office.
- 7) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm HVAC systems, heating appliances, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
- 8) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approrval prior to work.
- 9) Those building a new single family dwelling shall install a CO detector in each area within or giving access to bedrooms. That detection must be powered by the electrical service in the building and battery.

**PERMIT ISSUED**

APR 16 2010

City of Portland

**Comments:**

3/11/2010-mes: Spoke to owner - there are new decks that go beyond the footprint the the existing building. I can not complete my

<b>Location of Construction:</b> 76 Morning St	<b>Owner Name:</b> McMann Harry J	<b>Owner Address:</b> 76 Morning St	<b>Phone:</b> 207-749-6688
<b>Business Name:</b>	<b>Contractor Name:</b> Harry McMann	<b>Contractor Address:</b> 6 Earstern Promenade Portland	<b>Phone</b> (207) 749-6688
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Change of Use - Dwellings	

zoning until I get a site plan - He said he would bring in a site plan soon - MES

3/15/2010-mes: Harry dropped off scalable site plan - It doesn't show the new projecting deck on the 3rd floor - I am concerned about lot coverage and the deck setbacks. The owner is to come in this afternoon to bring a new plan and to discuss concerns.

3/24/2010-mes: received e-mail information from David Matero that confirms the lot coverage and compliance with zoning.

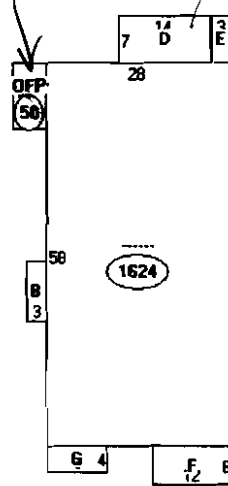
**PERMIT ISSUED**

APR 16 2010

City of Portland



Part of another Deck removing



1928 existing

Descriptor/Area	Value
A: 1624 sqft	1624
B: 3FBAY/B 27 sqft	27
C: OFF 50 sqft	72
D: 98 sqft	36
E: 1Fr 21 sqft	
F: OFF 72 sqft	1759
G: 2FBAY/B 36 sqft	11
	11
	143,75
	<u>1924.75</u>

$3730A \# \times 50\% = 18652 \# \text{ MAX lot cov.}$

3/15/10 - still not showing  
The 3<sup>rd</sup> floor New deck -

3/24/10 - revised information from  
DAVID MATERO



**Marge Schmuckal - 76 Morning St.**

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**From:** Harry McMann <hmcman@syseng.com>  
**To:** "mes@portlandmaine.gov" <mes@portlandmaine.gov>  
**Date:** 3/16/2010 1:16 PM  
**Subject:** 76 Morning St.

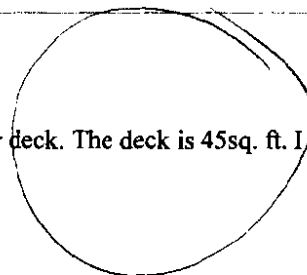
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Hi again Marge,

One thing not reflected on the plot plan I just sent was the square footage of the 3<sup>rd</sup> floor deck. The deck is 45sq. ft. I will also have this reflected on the 3<sup>rd</sup> floor plan and deliver a new copy of that to you.

Thanks,

Harry McMann  
Systems Engineering, Inc.  
*Get Ahead of IT*  
(main) 207-772-3199  
(direct) 207-553-1544  
(cell) 207-749-6688  
hmcman@syseng.com



**Marge Schmuckal - 76 Morning St. Lot Coverage**

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**From:** Harry McMann <hmcman@syseng.com>  
**To:** "mes@portlandmaine.gov" <mes@portlandmaine.gov>  
**Date:** 3/16/2010 1:01 PM  
**Subject:** 76 Morning St. Lot Coverage  
**Attachments:** 09-035 SBS\_REV.pdf

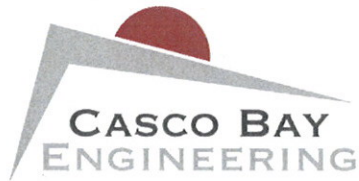
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Hello Marge,

Attached is an updated drawing which shows the setbacks of both decks and the square foot coverage of the concrete/brick steps and landings. The steps and landings will be removed.

Please let me know if this meets the code and I will deliver a printed full size drawing.

Thanks,  
Harry McMann



CIVIL & STRUCTURAL ENGINEERING  
www.cascobayengineering.com

424 Fore St., Portland, ME 04101 Phone 207.842.2800 Fax 207.842.2828

March 15, 2011

Don McPherson  
City of Portland  
389 Congress Street, Rm 308  
Portland ME 04101

Re: McMann Residence  
76 Morning Street  
Portland, Maine

Project Number: 9114

Dear Don:

Tony Dumais of Casco Bay Engineering visited the McMann Residence construction site on March 14, 2011 to observe the work performed to date. The framing appeared to be installed per the intent of the structural drawings dated March 10, 2011.

Please contact us if you have any additional questions or concerns.

Sincerely,

Tony Dumais  
Casco Bay Engineering

THE FOLLOWING BUILDING CODES AND STANDARDS SHALL BE REFERENCED DURING CONSTRUCTION:

Table listing building codes and standards such as IBC 2003, ASCE 7, ACI 301, ACI 308, ASTM, and NDS.

REFERENCE ARCHITECTURAL PLANS FOR DIMENSIONS NOT SHOWN. REFERENCE MECHANICAL, ELECTRICAL, AND ARCHITECTURAL PLANS FOR SIZES AND LOCATIONS OF WALL AND SLAB OPENINGS, DUCTS, PIPING, CURBS, AND EQUIPMENT PADS.

EXISTING DIMENSIONS AND CONDITIONS ARE FOR REFERENCE ONLY. CONTRACTOR SHALL VERIFY ALL EXISTING CONSTRUCTION AND DIMENSIONS IN THE FIELD PRIOR TO CONSTRUCTION OR FABRICATION.

THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF DEVIATIONS OR CHANGES ARE REQUIRED TO THE CONTRACT DOCUMENTS OR APPROVED SHOP DRAWINGS DUE TO INTERFERENCES, FABRICATION ERRORS, OR OTHER CAUSES.

THE STRUCTURE IS SELF-SUPPORTING AND STABLE AFTER THE ENTIRE BUILDING IS COMPLETELY CONSTRUCTED. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ERECTION PROCEDURES AND SEQUENCING DURING CONSTRUCTION AND ERECTION TO PROVIDE AND ENSURE LOCAL AND OVERALL STABILITY OF THE BUILDING AND ITS COMPONENTS DURING CONSTRUCTION AND ERECTION.

GENERAL NOTES

SCALE: NTS

LIVE LOAD: LIVING AREAS = 40 PSF SLEEPING AREAS = 30 PSF

SNOW LOADS: GROUND SNOW LOAD, Pg = 50 PSF SNOW EXPOSURE FACTOR, Ce = 1.0 SNOW LOAD IMPORTANCE FACTOR, I = 1.0 THERMAL FACTOR, Ct = 1.0 FLAT ROOF SNOW LOAD, Pf = 35 PSF + DRIFT

LATERAL DESIGN BY OTHERS

DESIGN CRITERIA

SCALE: NTS

ALL CONCRETE WORK, INCLUDING MATERIAL SELECTION, ADMIXTURES, MIXING, AND PLACEMENT OF CONCRETE SHALL BE IN CONFORMANCE WITH APPLICABLE BUILDING CODES. IN ADDITION, REFERENCE THE FOLLOWING CONCRETE STANDARDS AND SPECIFICATIONS:

Table listing concrete standards: ACI 318, ACI 301, ACI 305, ACI 306, ACI 308.

REQUIRED CONCRETE PARAMETERS ARE AS FOLLOWS:

Table with columns: LOCATION, MAX W/C RATIO, fc, AIR-ENTRAINMENT. Rows include INT. CONC./WALLS/SLABS, FOUNDATIONS, FOOTINGS, & FOUNDATION WALLS, INT. SLAB-ON-GRADE, EXT. SLAB-ON-GRADE.

WHERE: W/C = WATER TO CEMENT RATIO AND fc = COMPRESSIVE STRENGTH OF CONCRETE AT 28 DAYS

MAXIMUM AGGREGATE SIZE SHALL BE 3/4", IN CONFORMANCE WITH ASTM C33. USE PORTLAND CEMENT TYPE II, IN CONFORMANCE WITH ASTM 150. AIR ENTRAINING ADMIXTURES SHALL CONFORM TO ASTM C 260.

MAXIMUM SLUMP AFTER THE ADDITION OF A WATER-REDUCING ADMIXTURE IS 8 INCHES.

CONCRETE EXPOSED TO FREEZING AND THAWING, INCLUDING FOUNDATIONS, FOOTINGS, FOUNDATION WALLS, AND EXTERIOR WALKWAYS SHALL BE AIR ENTRAINMENT WITH AIR CONTENT BETWEEN 5% AND 6%.

CONTRACTOR SHALL SUBMIT PROPOSED CONCRETE MIX DESIGN AND LABORATORY TESTS OF FABRICATED CYLINDERS VERIFYING CONCRETE STRENGTH OR PERFORMANCE HISTORY OF MIX TO ENGINEER FOR ACCEPTANCE PRIOR TO PLACEMENT OF CONCRETE.

CONSTRUCTION JOINTS IN WALLS SHALL BE PERMITTED AS DETAILED ON THE STRUCTURAL DRAWINGS. SURFACES OF CONCRETE CONSTRUCTION JOINTS SHALL BE CLEANED AND LAITANCE REMOVED.

WHERE ELECTRICAL CONDUIT/ RADIANT HEATING TUBES RUN IN THE SLAB, THEY SHALL BE LOCATED AT MID-DEPTH OF THE SLAB.

ANCHOR BOLTS SHALL CONFORM TO ASTM F1554. ANCHOR BOLTS SHALL HAVE HEAVY HEX NUTS AND LOCK WASHERS.

CONCRETE NOTES

SCALE: NTS

USE DEFORMED BILLET-STEEL REINFORCING BARS, GRADE 60, IN CONFORMANCE WITH ASTM A615. REINFORCEMENT SHALL BE ACCURATELY PLACED AND SUPPORTED PRIOR TO CONCRETE PLACEMENT, AND SHALL BE SECURED AGAINST DISPLACEMENT.

THE CONTRACTOR SHALL SUBMIT REINFORCING SHOP DRAWINGS TO THE ENGINEER FOR REVIEW AND ACCEPTANCE PRIOR TO COMMENCING FABRICATION.

Table: MINIMUM CONCRETE COVER FOR REINFORCEMENT. Columns: CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH, CONCRETE EXPOSED TO EARTH OR WEATHER, CONCRETE NOT EXPOSED TO EARTH OR WEATHER IN SLABS AND WALLS, CONCRETE NOT EXPOSED TO EARTH OF WEATHER IN COLUMNS AND BEAMS.

CONTINUOUS REINFORCEMENT SHALL BE TENSION LAP SPLICED PER LAP SPLICE LENGTH TABLE, U.N.O..

Table: LAP SPLICE LENGTH TABLE. Columns: BAR SIZE, MIN LAP SPLICE (INCHES). Rows: #3, #4, #5, #6, #7, #8, #9.

REINFORCEMENT HOOKS SHALL CONFORM TO STANDARD HOOKS ACCORDING TO ACI 318. WELDING OF REINFORCEMENT IS NOT PERMITTED, U.N.O.

CONCRETE REINFORCING NOTES

SCALE: NTS

SUBGRADE PREPARATION AND DETERMINATION (INCLUDING ALLOWABLE BEARING PRESSURE, STRUCTURAL FILL GRADATION REQUIREMENTS, AND POST-CONSTRUCTION SETTLEMENT ANALYSIS) BENEATH FOOTINGS AND SLABS-ON-GRADE AND BEHIND FOUNDATION WALLS SHALL BE PROVIDED BY A GEOTECHNICAL ENGINEER.

PRESUMED ALLOWABLE SOIL BEARING PRESSURE USED IN DESIGN = 2,000 PSF. BEARING CAPACITIES SHALL BE VERIFIED BY GEOTECHNICAL ENGINEER.

FOUNDATIONS SHALL BEAR ON UNDISTURBED NATIVE SOIL, UNLESS NOTED OTHERWISE. BEARING ELEVATIONS SHALL BE LOWERED WHERE SUITABLE SOILS ARE NOT ENCOUNTERED.

FOUNDATION WALLS SHALL BE BACKFILLED SIMULTANEOUSLY ON BOTH SIDES OF THE WALL. FOUNDATION WALLS AND SLAB-ON-GRADES SHALL REACH THEIR FULL 28 DAY COMPRESSIVE STRENGTH PRIOR TO BACKFILLING.

PROTECT FOUNDATIONS FROM FROST AND KEEP BOTTOM OF TRENCH DRY DURING CONSTRUCTION. IF GROUNDWATER IS ENCOUNTERED NEAR OR ABOVE THE BASE OF THE FOOTINGS, EXCAVATIONS SHALL BE DEWATERED DURING CONSTRUCTION.

CONTRACTOR SHALL BE RESPONSIBLE FOR THE SHORING AND BRACING OF EXISTING STRUCTURES DURING EXCAVATION, BACKFILLING, AND CONSTRUCTION.

FOUNDATION NOTES

SCALE: NTS

ALL LUMBER SHALL BE VISUALLY GRADED AND STAMPED WITH GRADE DESIGNATION, SPECIES, AND ADDITIONAL INSPECTION INFORMATION, U.N.O..

CARE SHALL BE TAKEN TO PROTECT TIMBER FROM WEATHER AND DAMPNESS. DO NOT STACK IN SUCH A WAY AS TO CAUSE WARPING OR PREVENT ADEQUATE AIR CIRCULATION.

WOOD GRADES AND SPECIES: 1. SPRUCE-PINE-FIR; No.1/No.2 OR BETTER FOR TYPICAL LUMBER (JOISTS, WALLS, ETC) U.N.O. 2. USE SOUTHERN YELLOW PINE FOR EXTERIOR EXPOSURE APPLICATIONS AND WHERE SHOWN ON DRAWINGS AS PRESERVATIVE PRESSURE TREATED LUMBER (PT OR PPT).

A. LVL PROPERTIES: Fb = 3100 PSI Fc = 2510 PSI (PARALLEL TO GRAIN) Fy = 285 PSI Fc = 750 PSI (PERPENDICULAR TO GRAIN) Ft = 1555 PSI E = 2,000,000 PSI

STRUCTURAL LUMBER SHALL HAVE A MAXIMUM MOISTURE CONTENT OF 19%.

PROVIDE PRESSURE TREATED OR WOLVANIZED LUMBER FOR ALL LUMBER IN CONTACT WITH MASONRY OR CONCRETE.

NOMINAL SIZES ARE TYPICALLY REFERENCED ON THE DRAWINGS. PROVIDE ACTUAL SIZES AS SET FORTH IN U.S. DEPARTMENT OF COMMERCE VOLUNTARY PRODUCT STANDARD PS20-99.

ALL PLYWOOD SHALL BE APA RATED CDX SHEATHING: 1. USE 5/8" PLYWOOD WALL SHEATHING. ATTACH PLYWOOD WITH LONG SIDE PERPENDICULAR TO WALL STUDS. STAGGER PANEL ENDS AND BLOCK ALL PANEL EDGES.

PROVIDE FULL DEPTH BLOCKING AT ENDS AND INTERIOR SUPPORTS OF ALL JOISTS AND RAFTERS WHERE JOISTS AND RAFTERS FRAME OVER SUPPORTS.

WHERE BEAMS ARE LABELED ON PLAN, DO NOT SPLICE BEAM NOR ANY PLY OF BEAM BETWEEN SUPPORTS.

FASTENERS SHALL COMPLY WITH RECOMMENDED FASTENING SCHEDULE OF REFERENCED BUILDING CODE, U.N.O. ON DRAWINGS. SPIKE TOGETHER ALL FRAMING MEMBERS WHICH ARE BUILT-UP USING A MINIMUM OF 2-ROWS OF 16d NAILS AT 12" O.C. STAGGERED.

ALIGN COLUMNS SUCH THAT COLUMNS BEAR CONTINUOUSLY TO FOUNDATION SUPPORT.

PROVIDE HORIZONTAL BLOCKING FOR ALL LOAD BEARING WALLS AT 4'-0" O.C. VERTICAL, MAXIMUM.

SUBMIT SHOP DRAWINGS FOR ALL PREFABRICATED WOOD JOISTS AND WALL PANELS TO ENGINEER FOR REVIEW PRIOR TO CONSTRUCTION.

WOOD NOTES

SCALE: NTS

ALL STRUCTURAL STEEL WORK SHALL CONFORM TO:

AISC AMERICAN INSTITUTE OF STEEL CONSTRUCTION, MANUAL OF STEEL CONSTRUCTION, NINTH EDITION AISC CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES

STRUCTURAL STEEL MEMBERS SHALL BE IN CONFORMANCE WITH THE FOLLOWING:

ALL STEEL, U.N.O. ANGLES, PLATES STRUCTURAL TUBING STEEL PIPE

SHOP DRAWINGS SHALL BE SUBMITTED TO THE STRUCTURAL ENGINEER FOR REVIEW PRIOR TO COMMENCING FABRICATION.

SHOP DRAWINGS SUBMITTALS SHALL INCLUDE:

- 1. CERTIFIED MILL TEST REPORTS OF STRUCTURAL STEEL (INCLUDING NAMES AND LOCATIONS OF MILLS AND SHOPS). 2. CERTIFIED MILL TEST REPORTS OF BOLTS, NUTS AND WASHERS (INCLUDING NAMES AND LOCATIONS OF MILLS AND SHOPS). 3. STRUCTURAL STEEL FABRICATION AND ERECTION DRAWINGS WHICH INCLUDE BOLTED CONNECTIONS (SHOP AND FIELD) AND WELDED CONNECTIONS (SHOP AND FIELD) DEPICTING AWS WELDING SYMBOLS. 4. METAL DECK SHOP DRAWINGS DEPICTING SHEAR STUD LAYOUT ON BEAMS AND GIRDERS.

OWNER SHALL RETAIN A QUALIFIED TESTING AGENCY TO PERFORM AND VERIFY THE FOLLOWING:

- 1. VISUAL INSPECTION OF ALL WELDS. 2. ULTRASONIC TESTING, IN ACCORDANCE WITH ASTM E-164, ON 100% OF ALL FIELD FULL PENETRATION WELDS. 3. PROVIDE RANDOM VERIFICATION VIA ULTRASONIC TESTING OF SHOP FULL PENETRATION WELDS. 4. FIELD BOLTED CONNECTIONS, INCLUDING VERIFICATION OF BOLT GRADES. 5. SHEAR STUD QUANTITY, PROPER INSTALLATION, SIZE, AND SPACING. SHEAR STUDS SHALL CONFORM TO AWS D1.1.

BOLTED CONNECTIONS:

- 1. FIELD CONNECTIONS SHALL UTILIZE MINIMUM 3/4" DIAMETER A325 HIGH STRENGTH BOLTS, U.N.O.. BOLTED CONNECTION SHALL BE SLIP CRITICAL (SC) AT ALL MOMENT FRAMES, BRACED FRAMES, AND AT ADDITIONAL LOCATIONS INDICATED IN THE DRAWINGS. SLIP CRITICAL CONNECTIONS SHALL UTILIZE LOAD INDICATOR WASHERS OR TENSION CONTROL BOLTS. SLIP HOLES SHALL BE STANDARD SIZE, U.N.O.. 2. HIGH STRENGTH BOLTS SHALL BE INSTALLED AND TIGHTENED PER AISC SPECIFICATION FOR STRUCTURAL JOINTS USING ASTM A325 BOLTS. 3. ANCHOR BOLTS SHALL CONFORM TO ASTM F1554, GRADE 36, STANDARD HEX HEAD FURNISHED WITH HEAVY HEX NUTS AND LOCK WASHERS. 4. CONTRACTOR SHALL DESIGN CONNECTIONS NOT ALREADY DETAILED ON STRUCTURAL DRAWINGS. DESIGN SHALL BE STAMPED BY A LICENSED STRUCTURAL ENGINEER AND SUBMITTED PRIOR TO COMMENCING FABRICATION.

WELDED CONNECTIONS:

- 1. WELDING SHALL CONFORM TO AWS D1.1. USE LOW-HYDROGEN SMAW ELECTRODES WITH MINIMUM TENSILE STRENGTH OF 70 KSI.

STRUCTURAL STEEL SHALL RECEIVE THE FOLLOWING PROTECTIVE COATINGS:

- 1. DO NOT PAINT SURFACES TO RECEIVE METAL DECK AND/ OR SHEAR CONNECTORS FASTENED BY WELDING, CONTACT SURFACES OF HIGH STRENGTH BOLTED CONNECTIONS, FINISHED BEARING SURFACES, AND SURFACES TO BE WELDED IN THE FIELD, IF REQUIRED, PROTECT THESE SURFACES BY RUST-INHIBITING COATING THAT CAN BE REMOVED EASILY PRIOR TO ERECTION. 2. UNEXPOSED STRUCTURAL STEEL SHALL BE CLEANED IN ACCORDANCE WITH SSPC-SP3 AND PAINTED WITH PRIMER PAINT, TNMEC 10-99, OR EQUIVALENT, U.N.O.. 3. EXPOSED STRUCTURAL STEEL TO RECEIVE ZINC-RICH EPOXY PAINT SHALL BE FIRST CLEANED IN ACCORDANCE WITH SSPC-SP6, COMMERCIAL BLAST CLEANING. USE TNMEC ZN-RICH EPOXY PAINT, OR EQUIVALENT. APPLY FINISH COAT PER ARCHITECT. 4. EXPOSED STRUCTURAL STEEL TO BE HOT-DIPPED GALVANIZED SHALL BE IN ACCORDANCE WITH ASTM A123.

SHEAR CONNECTOR STUDS:

- 1. SHEAR CONNECTOR STUDS SHALL BE NELSON, OR EQUIVALENT, 3/4" DIAMETER, U.N.O.. WELD STUDS PER STUD MANUFACTURER'S RECOMMENDATIONS THROUGH METAL DECKING. STUD LENGTH SHALL BE 1" BELOW TOP OF CONCRETE SLAB-ON-DECK. 2. SHEAR STUDS, WHERE REQUIRED, ARE INDICATED ON THE DRAWINGS AS [XX], WHERE XX IS THE NUMBER OF STUDS EQUALLY SPACED BETWEEN SUPPORTS ON A BEAM OR GIRDER.

STRUCTURAL STEEL NOTES

SCALE: NTS

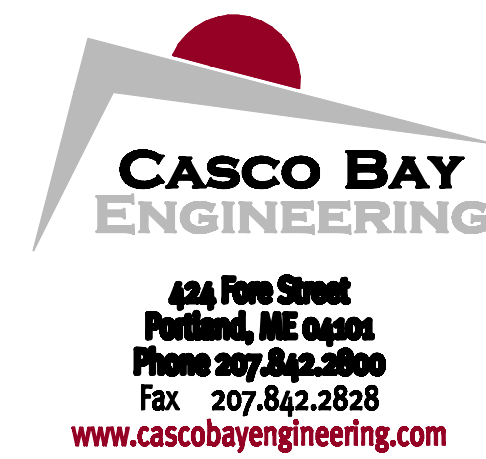
ABBREVIATIONS

SCALE: NTS

Table of abbreviations: SLOPE DESIGNATION, ELEVATION MARK, ROOF PITCH, SPAN DIRECTION, SECTION MARK, UNDISTURBED EARTH, LEDGE, COMPACTED STRUCTURAL FILL, CONCRETE, GROUT, BRICK, CMU.

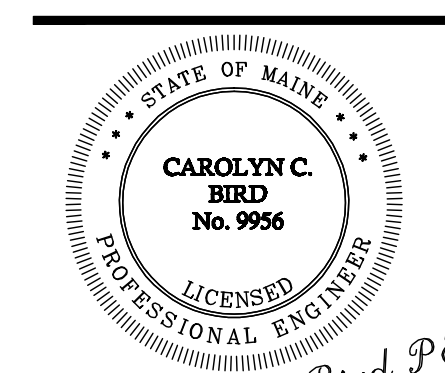
LEGEND

SCALE: NTS



CLIENT:

DAYMATERO STUDIO 100 FRONT STREET BATH, ME 04530



Carolyn C. Bird, P.E.

PORTLAND, ME 76 MORNING STREET

McMANN RESIDENCE

BUILDING RENOVATION

Table with columns: No., DATE, ISSUE FOR PERMIT, ISSUE FOR PERMIT FOR CONSTRUCTION. Includes revision history.

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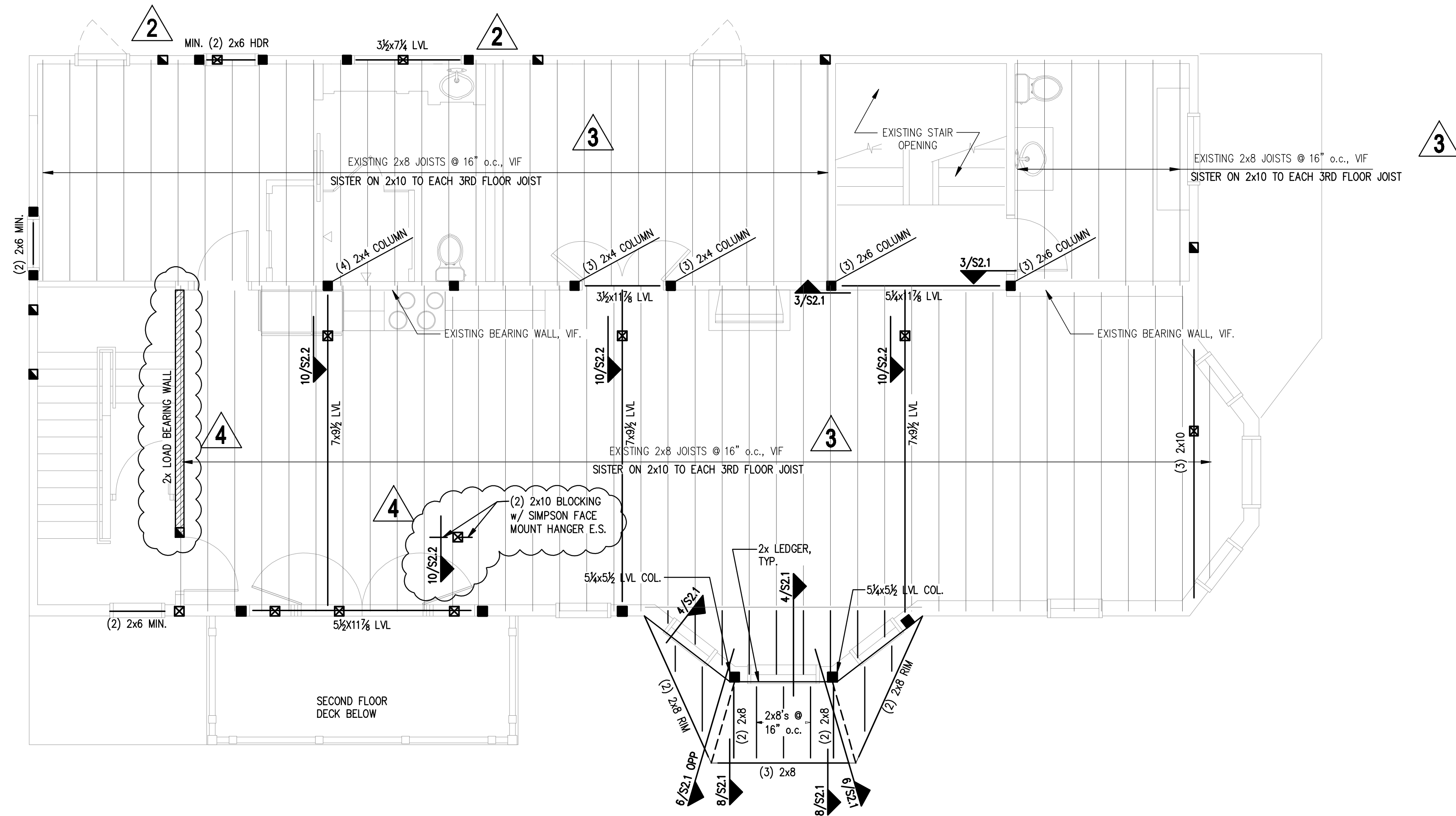
STRUCTURAL NOTES

Table with columns: DESIGNED, DRAWN, DATE, CADD FILE, PROJECT NUMBER.

SO

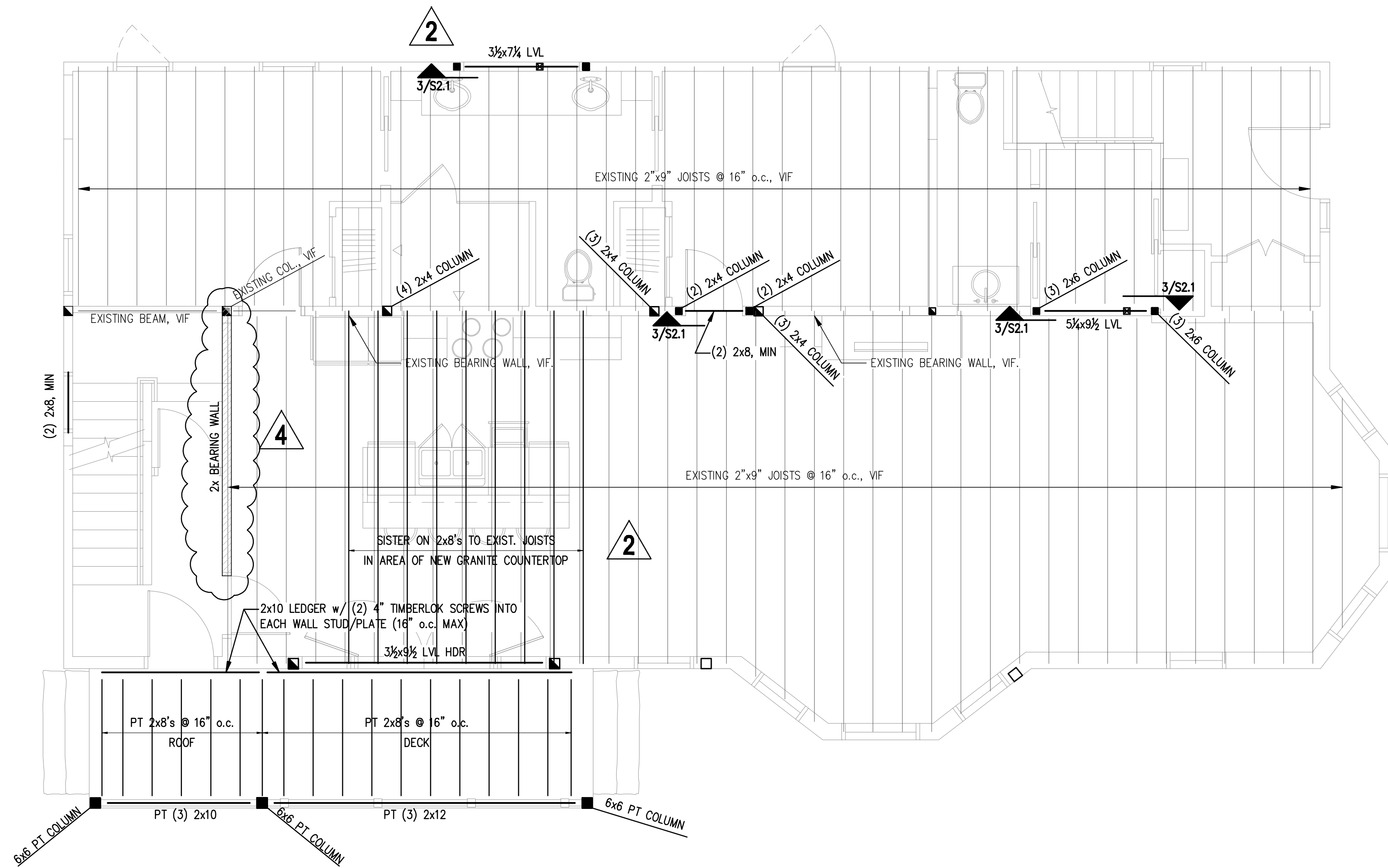


Mar 11, 2011



THIRD FLOOR FRAMING PLAN

SCALE: 1/4"=1'-0"



SECOND FLOOR FRAMING PLAN

SCALE: 1/4"=1'-0"

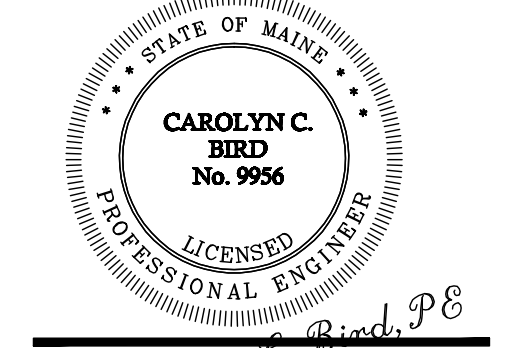
- NOTES:**
- CONTRACTOR SHALL VERIFY EXISTING CONDITIONS IN FIELD AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
  - PROVIDE SIMPSON JOIST HANGERS AT ALL JOIST ENDS, TYP.
  - PROVIDE (3)-2x6 COLUMNS AT COLUMN LOCATIONS, U.N.D.
  - USE GRADE NYCOR DECK PROTECTOR SELF-ADHERED FLASHING FOR CORROSION RESISTANCE OF GALVANIZED CONNECTORS PER MFR'S INFORMATION.
  - PROVIDE COLUMN CAPS AT ALL COLUMN ENDS, SEE TYPICAL COLUMN CAP DETAIL ON DWG S2.1

**PLAN LEGEND**

	BEARING WALL
	BEAM
	PIPE COLUMN
	COLUMN FROM ABOVE
	COLUMN BELOW
	COLUMN ABOVE AND BELOW

**CASCO BAY ENGINEERING**  
 424 Fore Street  
 Portland, ME 04101  
 Phone 207.842.2800  
 Fax 207.842.2828  
 www.cascobayengineering.com

CLIENT:  
**DAYMATERO STUDIO**  
 100 FRONT STREET  
 BATH, ME 04530



Portland, ME  
**McMANN RESIDENCE**  
 76 MORNING STREET  
**BUILDING RENOVATION**

No.	DATE	ISSUE
A	01-13-09	ISSUE FOR PERMIT
B	03-10-10	ISSUE FOR PERMIT FOR CONSTRUCTION
2	05-14-10	ADDENDUM #2
3	07-18-10	ADDENDUM #3
4	03-10-11	ADDENDUM #4

SHEET TITLE:  
**SECOND AND THIRD FLOOR FRAMING PLAN**

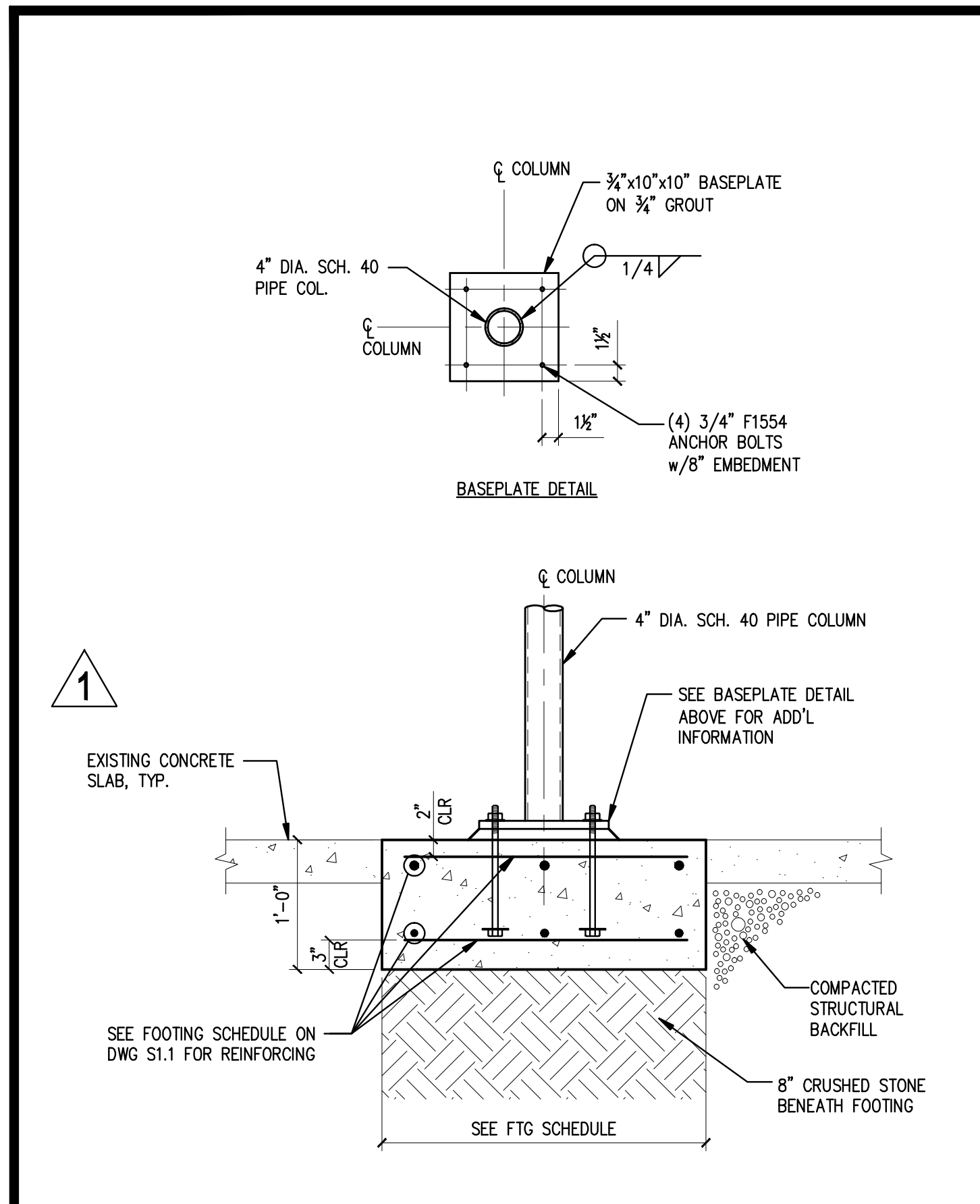
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 DATE: 01-12-09  
 CADD FILE: 9114-S1.dwg  
 PROJECT NUMBER: 9114

**S1.2**

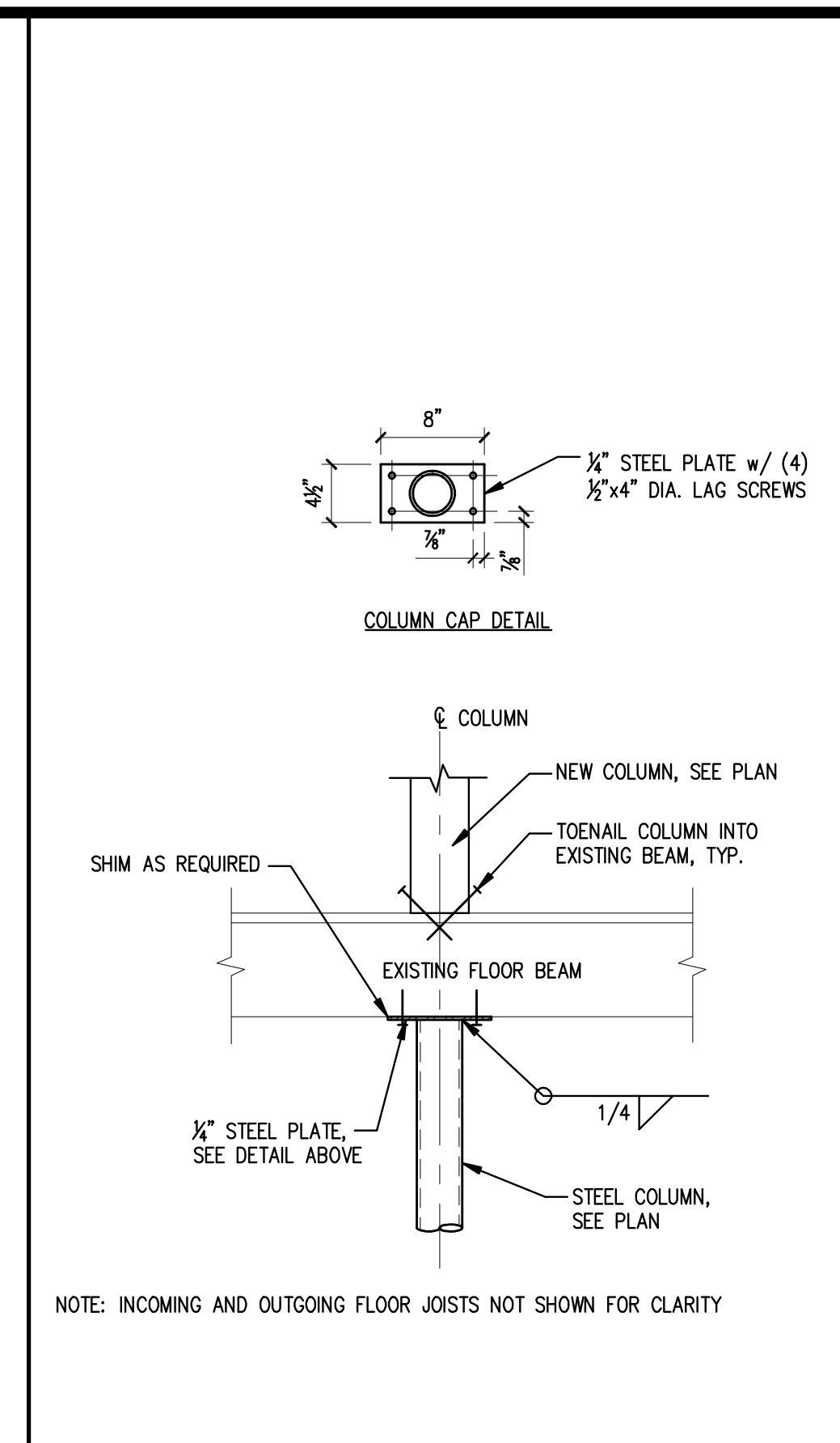




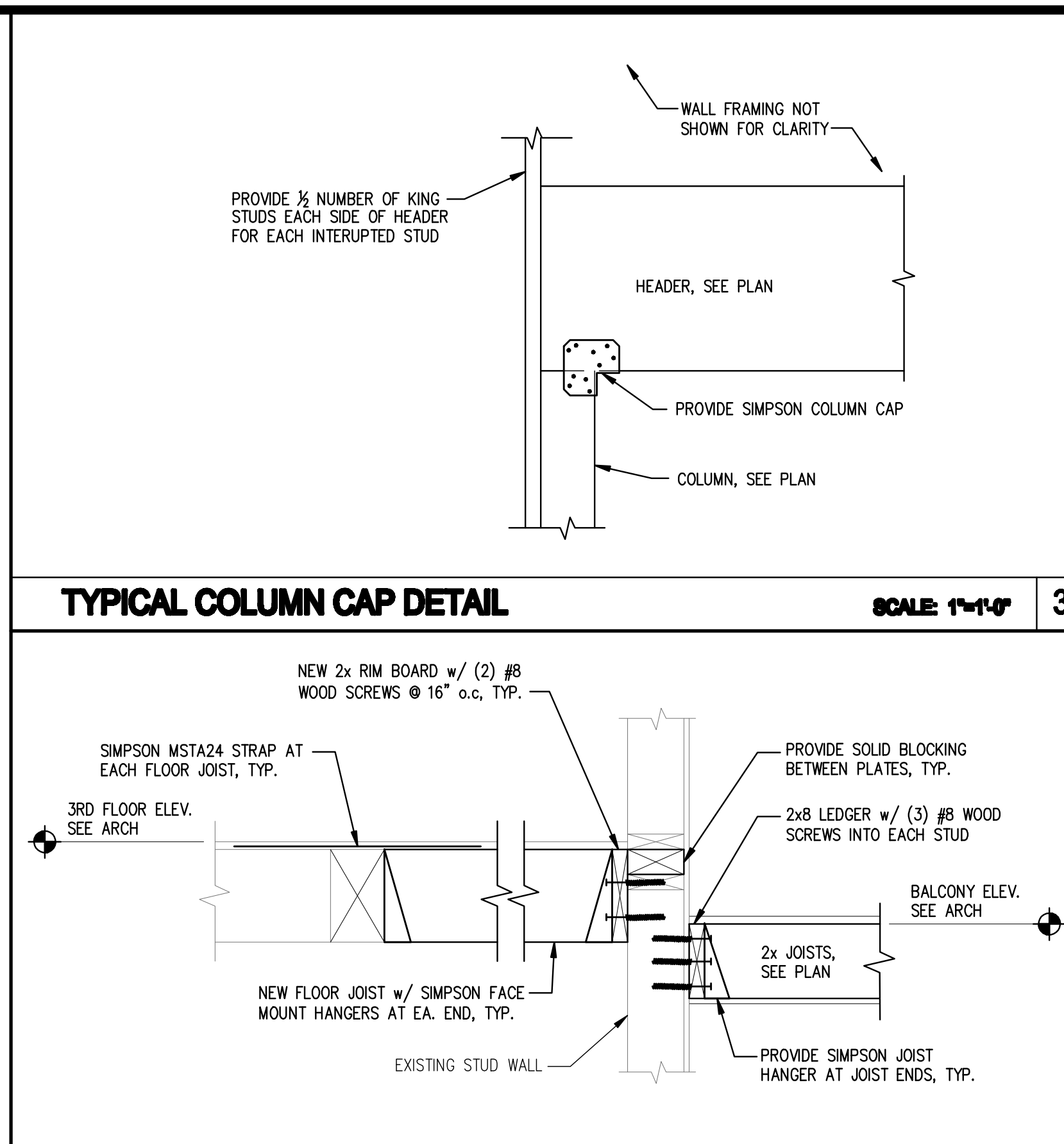
Mar 07, 2011



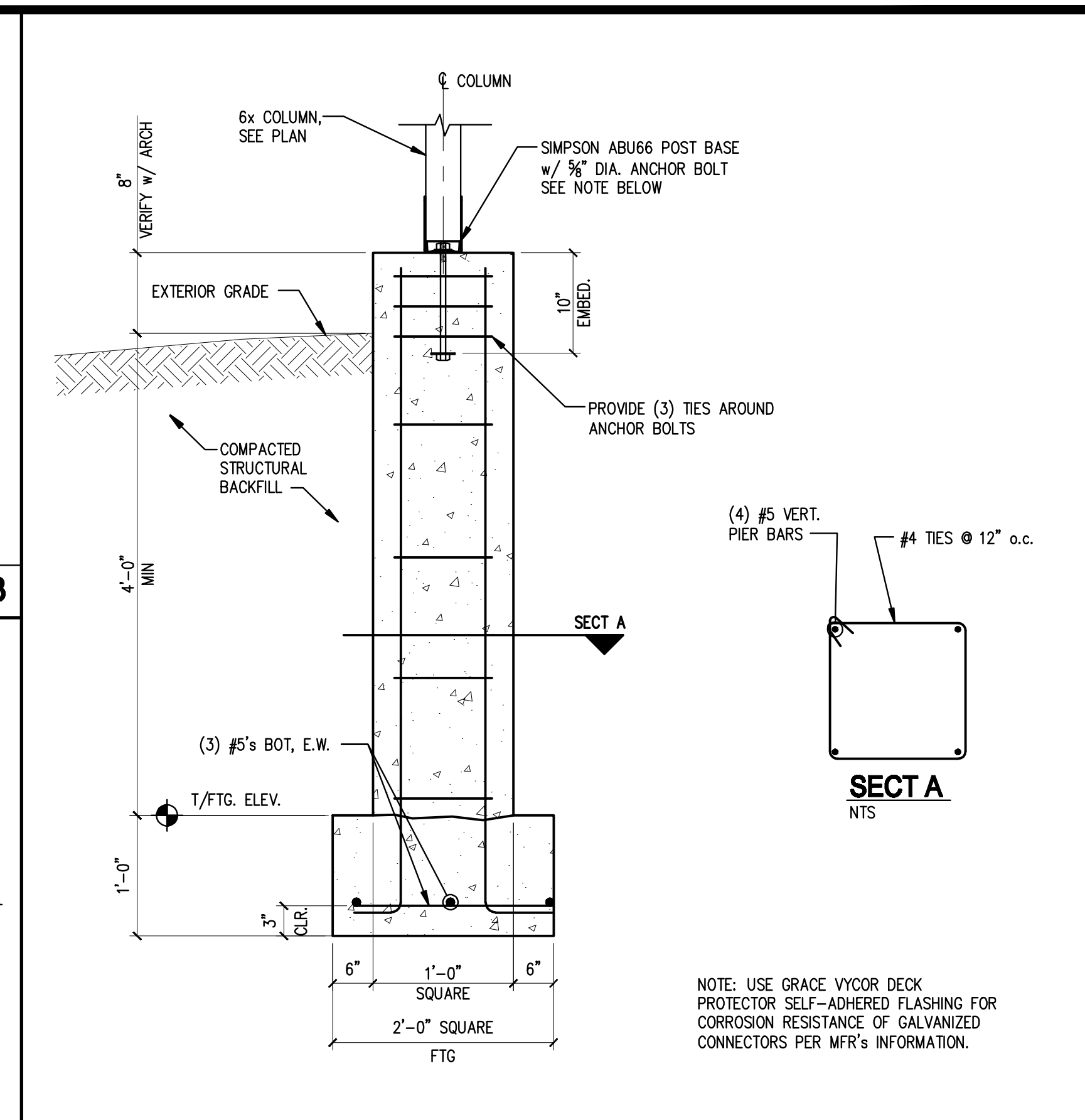
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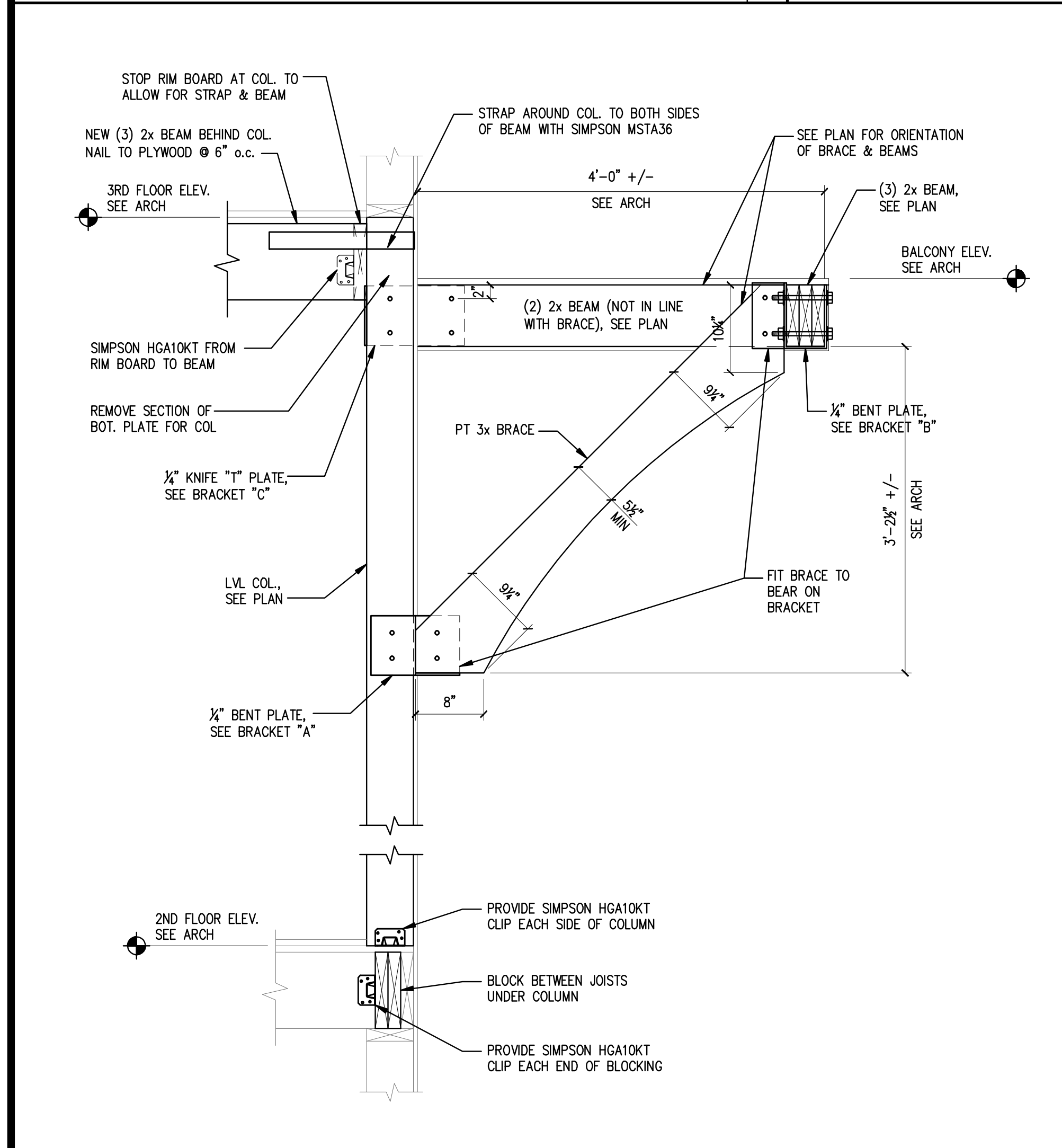
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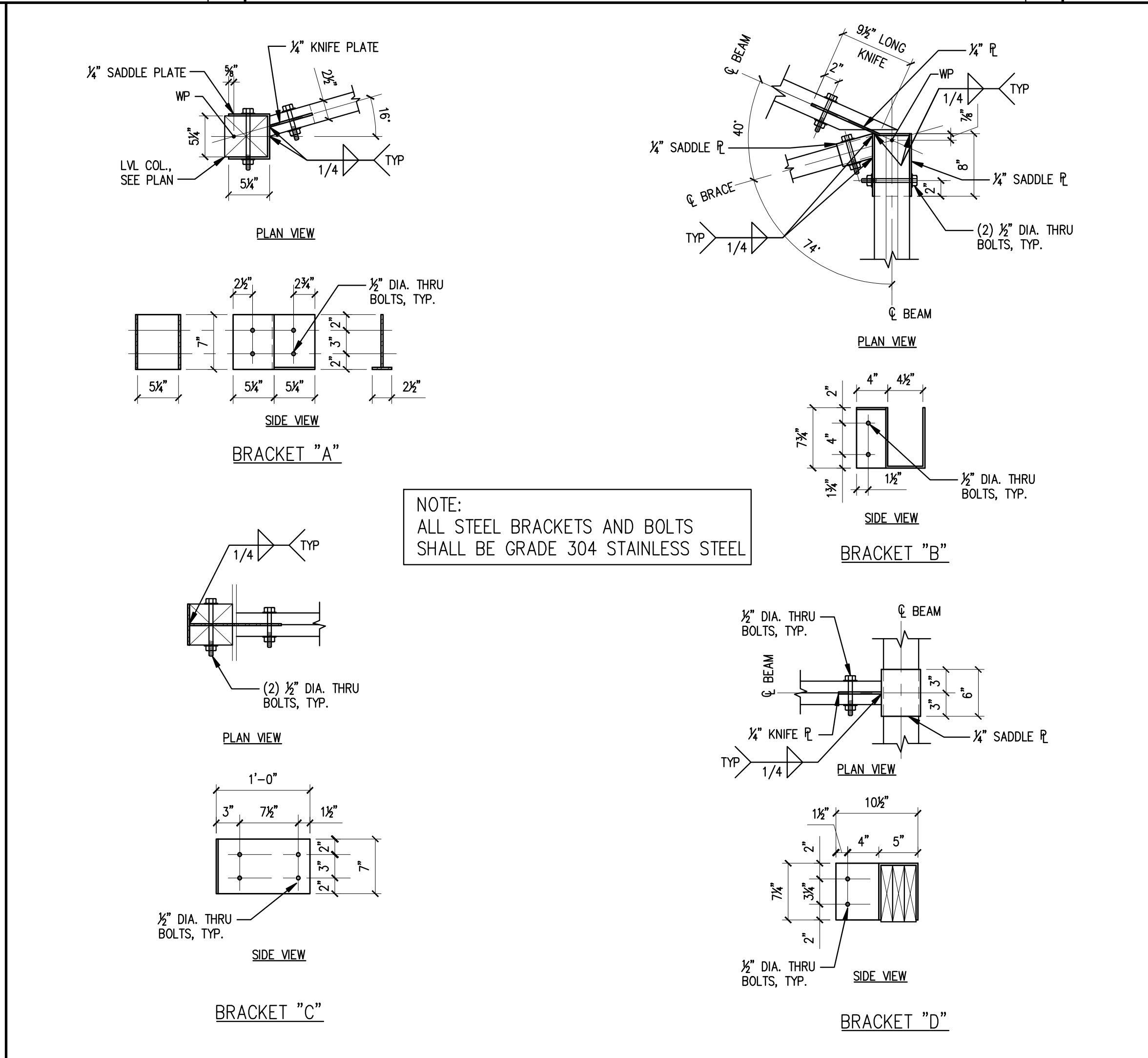
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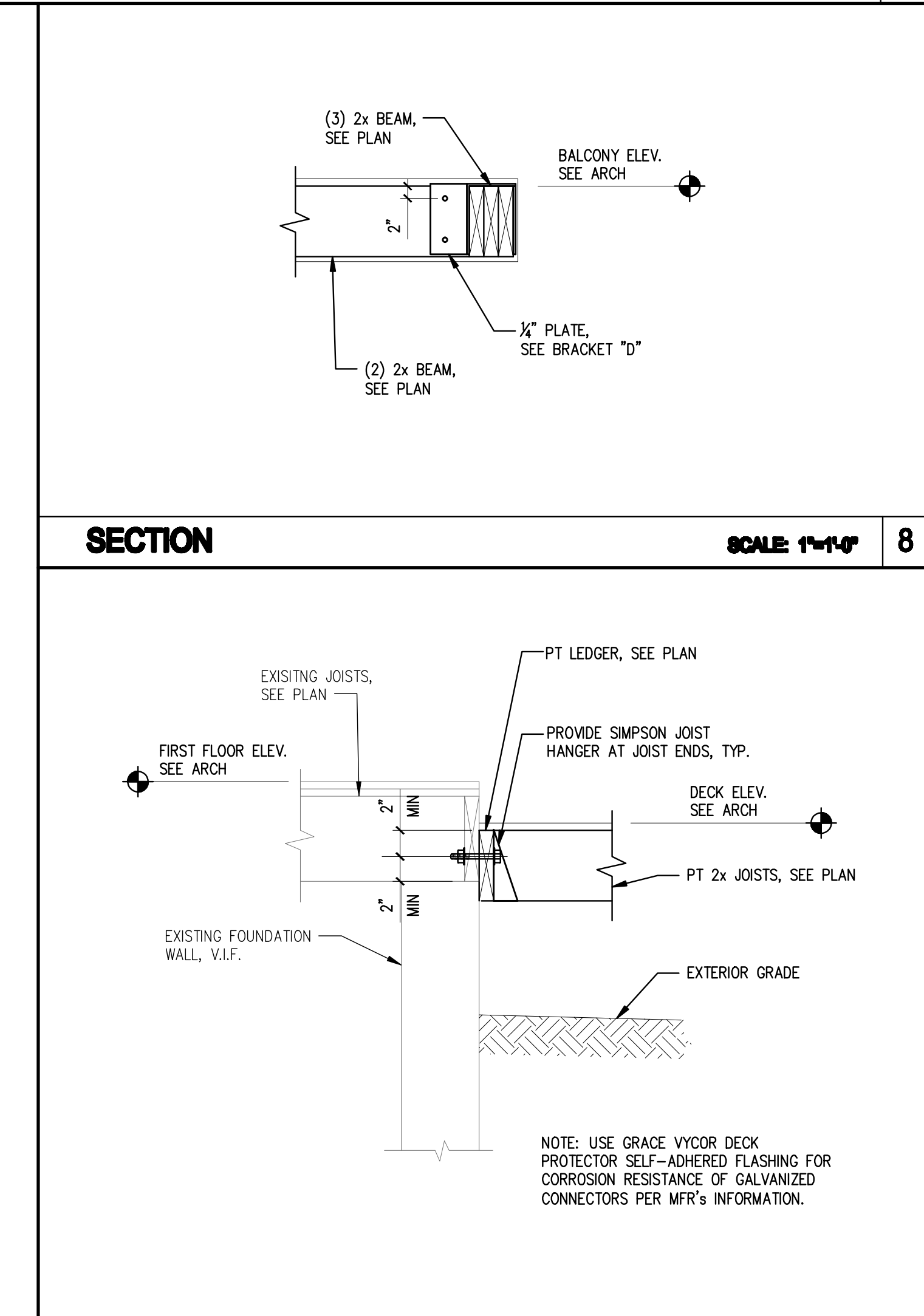
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SECTION SCALE: 1"=1'-0" 6



SECTION SCALE: 1"=1'-0" 7



SECTION SCALE: 1"=1'-0" 8

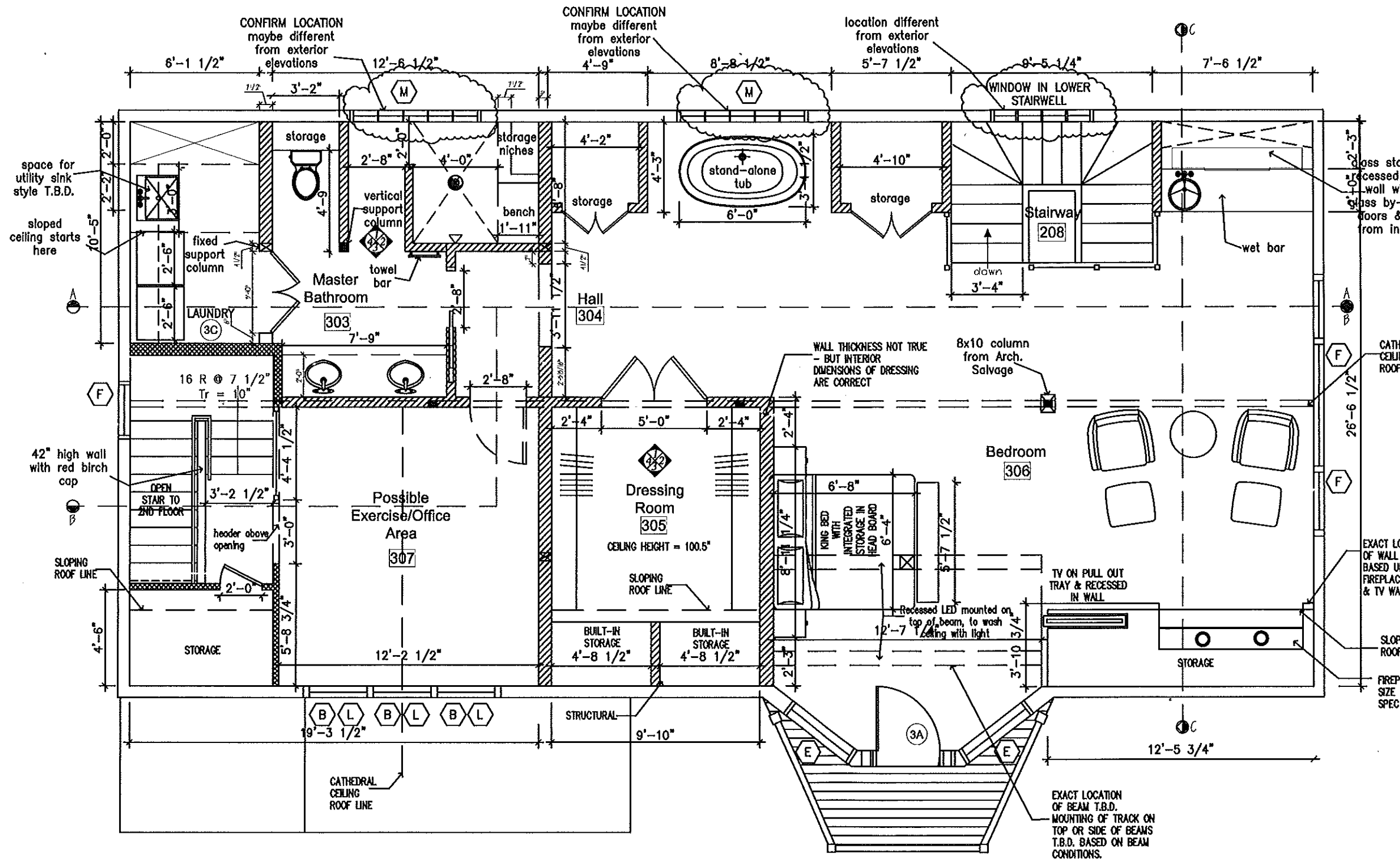
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NO.	DATE	ISSUE
A	01-13-09	ISSUE FOR PERMIT
B	03-10-10	ISSUE FOR PERMIT
0	05-14-10	FOR CONSTRUCTION
1	05-18-10	ADDENDUM #1

SHEET TITLE:  
**STRUCTURAL DETAILS**

DESIGNED: TD  
 DRAWN: TD  
 DATE: 01-12-09  
 CADD FILE: 9114-S1.dwg  
 PROJECT NUMBER: 9114





NOT FOR CONSTRUCTION. SCHEMATIC ONLY.

Date:	6.11.10
Scale:	3/16" = 1'-0"
Revisions and Notes:	Schematics for Tony Dumais to work from while designing roof.
Drawing:	Third Floor Plan Schematic Design

9.15.10 CHANGES TO PLAN BASED UPON SITE MEETING AND VERIFICATION OF CHANGES TO THE PLAN WITH LARRY THE GENERAL CONTRACTOR
10.18.10 DRAFTED UP CHANGES BASED UPON HARRY'S SKETCH, CREATED OPTION #2 WITH DIFFERENCES IN THE LAYOUT OF THE BATHROOM
10.20.10 REVISED PER TAD REDLINES
11.8.10 UPDATED WITH NEW INFORMATION GATHERED AT SITE MEETING
11.18.10 ADDED LIGHTING PLAN

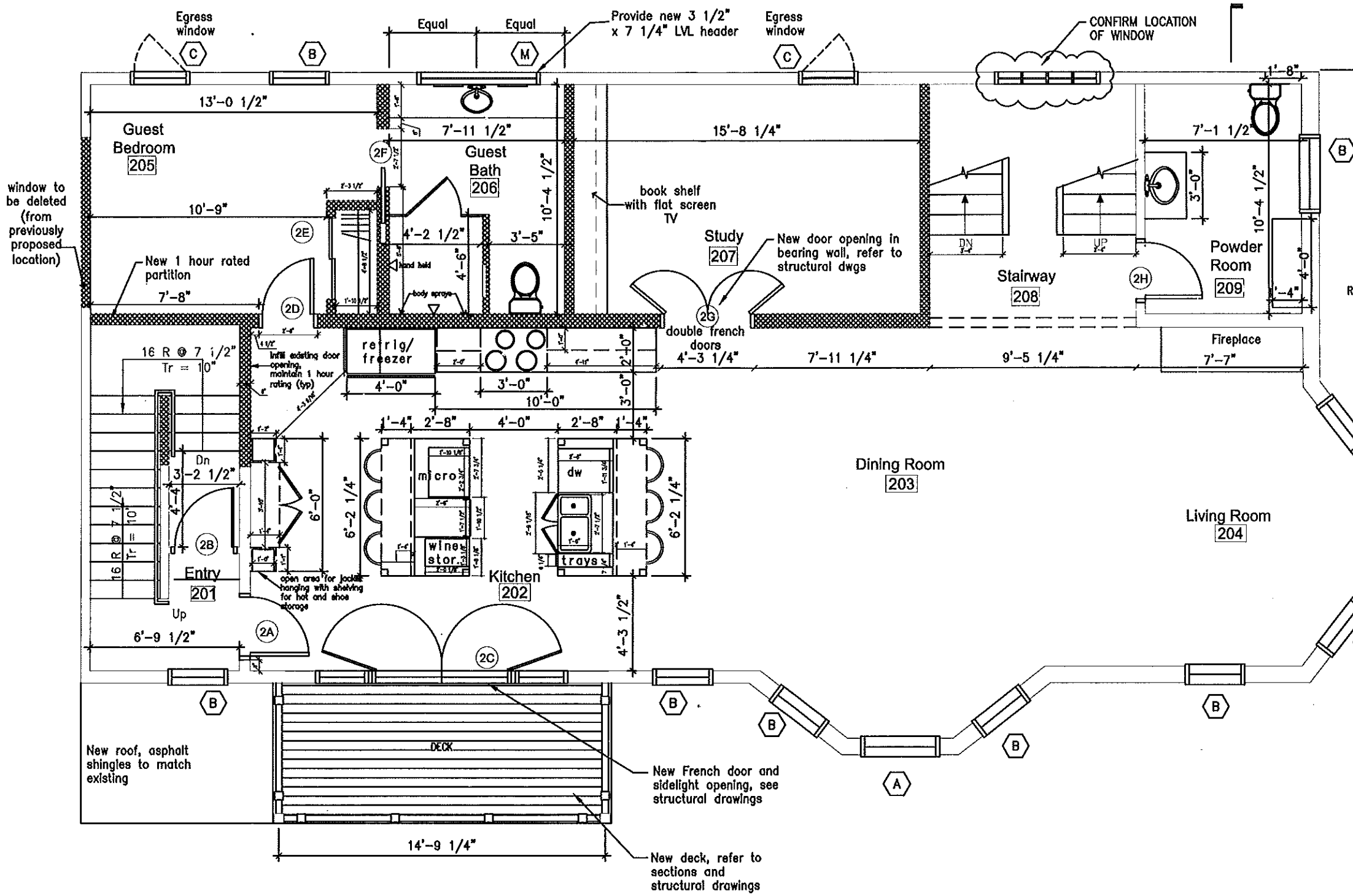
Interior Architecture:




dwelling's  
422 1/2 FORE STREET  
PORTLAND, ME 04101  
(207)780.6136 842.6056 F

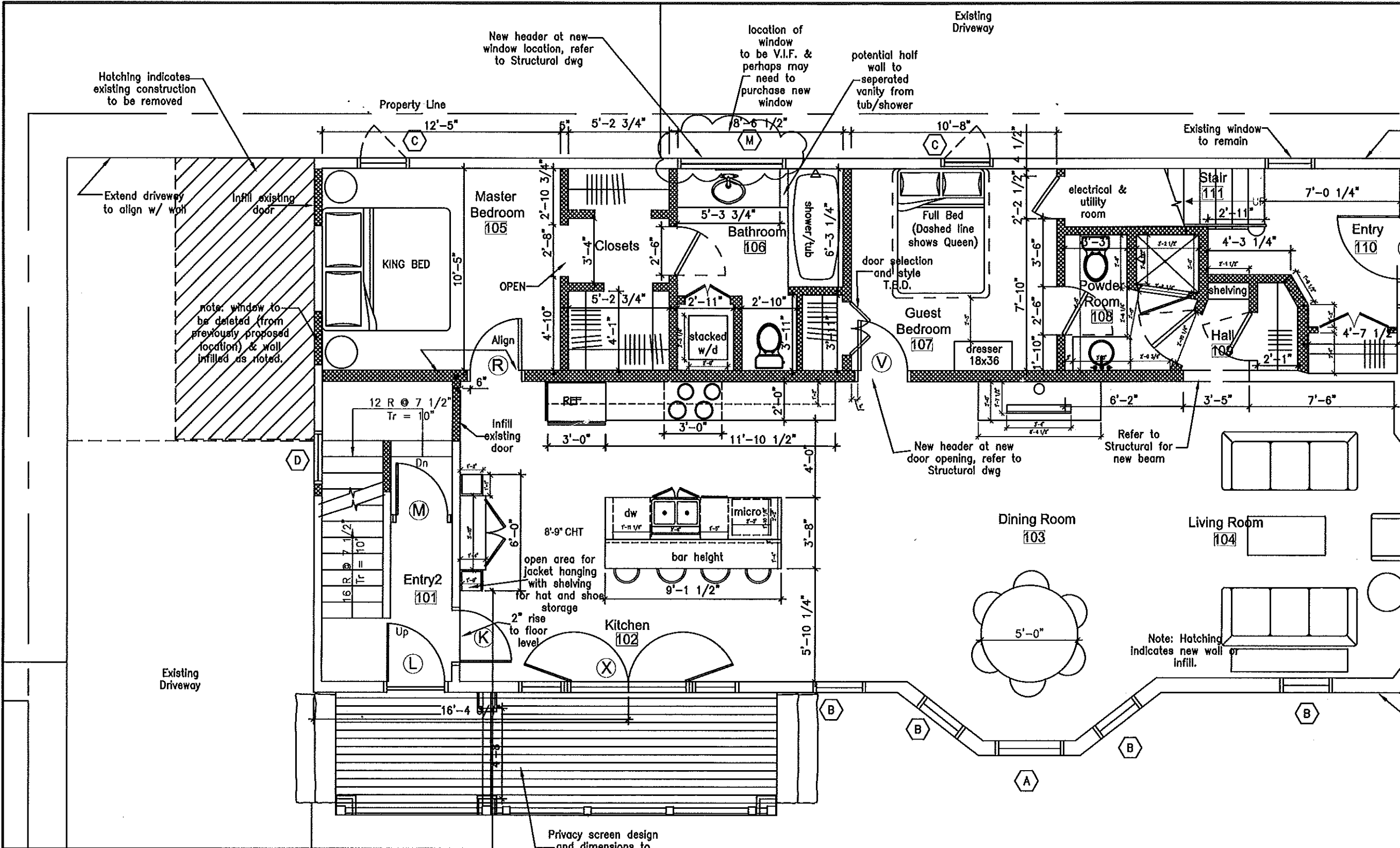
Architect:

DayMatero studio  
100 Front Street  
Top Floor  
Bos, ME 04530



NOT FOR CONSTRUCTION. SCHEMATIC ONLY.

Date:	Scale:	Revisions and Notes:	Interior Architecture:	Architect:
5.12.10	3/16" = 1'-0"	9.28.10 ON SITE TO FIELD VERIFY DIMENSIONS. UPDATED PLAN WITH NEW DIMENSIONS AND WALL THICKNESSES, INCLUDING DECREASING OVERALL BUILDING LENGTH TO CORRECT SIZE	 422 1/2 FORE STREET PORTLAND, ME 04101 (207)780.6136 B47.6056 F	
Drawing: Second Floor Plan				



NOT FOR CONSTRUCTION. SCHEMATIC ONLY.

Date:	5.12.10	Scale:	3/16" = 1'-0"
Revisions and Notes:	12.3.10 ADDED DETAIL TO FULL HEIGHT BUILT-IN IN KITCHEN		
Drawing:	First Floor Plan As Built (as of 9.28.10)		

Interior Architecture:	Architect:
 dwelling's 422 1/2 FORE STREET PORTLAND, ME 04101 (207)780.6136 842.6056 F	DayMatero studio 100 Front Street Top Floor Bath, ME 04530

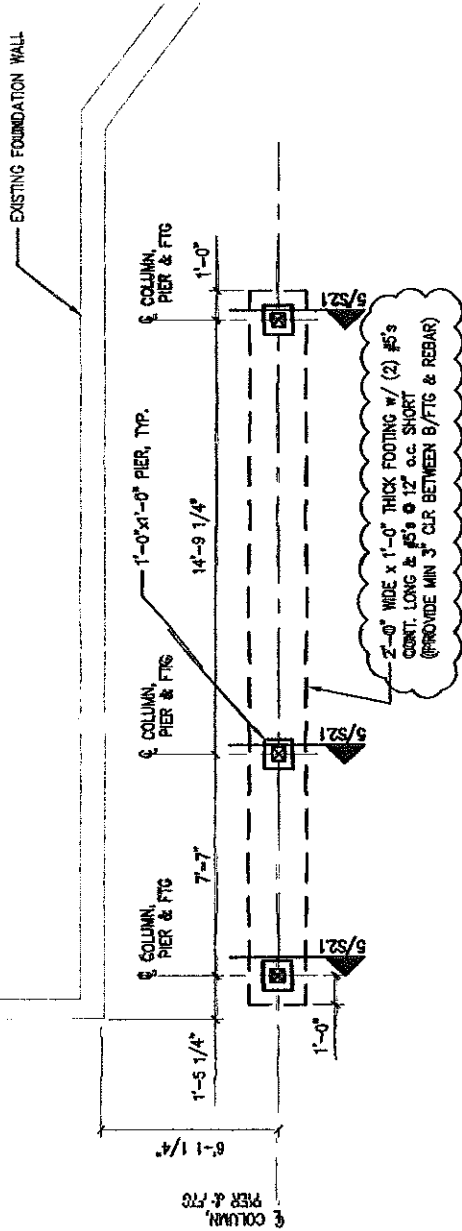
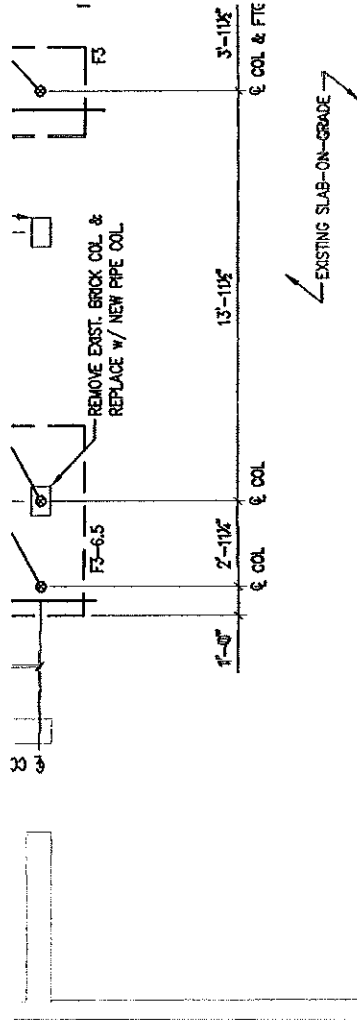
RECEIVED

DEC - 9 2010

Dept. of Building Inspections  
City of Portland Maine



McMANN RESIDENCE  
76 MORNING STREET  
PORTLAND, ME



No.	DATE	ISSUE

REVISIONS

SHEET TITLE  
FOUNDATION  
PARTIAL PLAN

DESIGNED:	TD
DRAWN:	TD
DATE:	12-1-10
CADD FILE:	9114-SI.DWG
PROJECT NO.:	9114

SK7

REVISED FOUNDATION PARTIAL PLAN

SCALE: 1/4"=1'-0"

1

12-8-10 DWM Footings @ Moody st under new decks OK  
contact Fdn Mike Foreman Larry Contractor Harry.

12-15-10 DWM OK to Backfill

3-7-11 DWM Larry 232-8613 Provide 1hr protection  
between 2 units, provide revised plan, Provide blocking  
at floor joists, repair cut joist in basement.

3-9-11 DWM Larry, Harry Corrections made except new  
revised plans are not as built. Structural engineer to  
renew job & issue a letter stating that the construction  
is as per plan & conforms to code.