

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

Please Read
 Application And
 Notes, If Any,
 Attached

BUILDING INSPECTION

PERMIT

Permit Number: 100039

PERMIT ISSUED

This is to certify that MCMANN HARRY J / Larry Coleman

has permission to First Floor Renovations

FEB - 1 2010

AT 76 MORNING ST

CR# 2003 D007001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise re-finished. 24 HOURS NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. CAPT. R. S. SUTTER

Health Dept. _____

Appeal Board _____

Other _____

Department Name

Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-0039	Issue Date:	CBL: 003 D007001
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Location of Construction: 76 MORNING ST	Owner Name: MCMANN HARRY J	Owner Address: 76 MORNING ST	Phone:
Business Name:	Contractor Name: Larry Cochran	Contractor Address: 89 Seventy Way North Yarmouth	Phone: 2078294232
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Multi Family	Zone: R-6

Past Use: 3 Unit Residential	Proposed Use: 3 Unit Residential - First Floor Renovations	Permit Fee: \$520.00	Cost of Work: \$50,000.00	CEO District: 1
Proposed Project Description: First Floor Renovations <i>legal use - 3 d.v</i>		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied <i>* See Conditions</i>	INSPECTION: Use Group: <i>R-2</i> Type: <i>SB</i> <i>IBC 2003</i>	
		Signature: <i>(KG)</i>	Signature: <i>[Signature]</i>	
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)				
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied				
Signature: _____ Date: _____				

Permit Taken By: Ldobson	Date Applied For: 01/14/2010	Zoning Approval		
1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..		Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>1/15/10 APM</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>APM</i>
		<i>- interior work only on 1st floor.</i>		

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

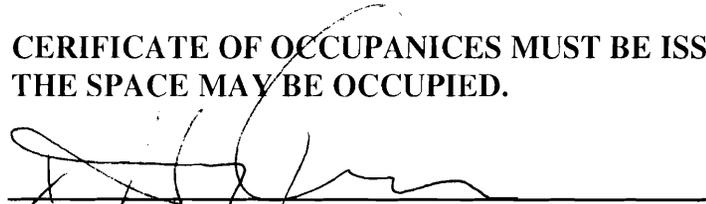
A Pre-construction Meeting will take place upon receipt of your building permit.

- Footing Inspection: Prior to pouring concrete or setting precast piers
- Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling
- Final inspection required at completion of work.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

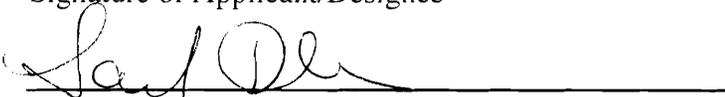
CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.



Signature of Applicant/Designee

2-10-10

Date



Signature of Inspections Official

2-1-10

Date

PERMIT ISSUED

FEB - 1 2010

City of Portland

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-0039	Date Applied For: 01/14/2010	CBL: 003 D007001
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Location of Construction: 76 MORNING ST	Owner Name: MCMANN HARRY J	Owner Address: 76 MORNING ST	Phone:
Business Name:	Contractor Name: Larry Cochran	Contractor Address: 89 Sevenity Way North Yarmouth	Phone: (207) 829-4232
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Multi Family	

Proposed Use: 3 Unit Residential - First Floor Renovations	Proposed Project Description: First Floor Renovations
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Ann Machado **Approval Date:** 01/15/2010

Note: **Ok to Issue:**

- 1) This permit is for interior alterations to first floor only. Any other work must be applied for on a different permit.
- 2) This property shall remain a three family dwelling. Any change of use shall require a separate permit application for review and approval.
- 3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Tammy Munson **Approval Date:** 02/01/2010

Note: **Ok to Issue:**

- 1) Hardwired interconnected battery backup smoke detectors shall be installed in all bedrooms, protecting the bedrooms, and on every level.
- 2) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm or HVAC or exhaust systems. Separate plans may need to be submitted for approval as a part of this process.
- 3) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.
- 4) Those building a new single family dwelling shall install a CO detector in each area within or giving access to bedrooms. That detection must be powered by the electrical service in the building and battery.

Dept: Fire **Status:** Approved with Conditions **Reviewer:** Capt Keith Gautreau **Approval Date:** 01/20/2010

Note: **Ok to Issue:**

- 1) Two means of egress are required from every story. "State Law Title 25 ~ 2453"
- 2) The entire structure shall comply with NFPA 101 "Existing Apartments"
Compliance shall be insured prior to the issuance of a Certificate of Occupancy.
- 3) All construction shall comply with NFPA 101
- 4) All smoke detectors and smoke alarms shall be photoelectric. Carbon Monoxide detectors are required in the dwelling units by State law.

Comments:

1/15/2010-amachado: Left voicemail. Description says that it will be a two family. Which apartment is being replaced? Losing footprint in rear. Won't be able to rebuild.

Location of Construction: 76 MORNING ST	Owner Name: MCMANN HARRY J	Owner Address: 76 MORNING ST	Phone:
Business Name:	Contractor Name: Larry Cochran	Contractor Address: 89 Seventy Way North Yarmouth	Phone (207) 829-4232
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Multi Family	

1/15/2010-amachado: Spoke to Harry McMann. This project is happening in phases. This permit is to renovate the first floor only. Will apply for second permit later to renovate the second and third floors and combine them into one unit and do some changes to the footprint.



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>74-76 Morning St. Portland, Me. 04101</u>		
Total Square Footage of Proposed Structure/Area <u>3730.4 sq. ft.</u>	Square Footage of Lot <u>0.085 Acres</u>	Number of Stories <u>3</u>
Tax Assessor's Chart, Block & Lot Chart# <u>3</u> Block# <u>D</u> Lot# <u>7</u>	Applicant * <u>must</u> be owner, Lessee or Buyer* Name <u>HARRY McMANN</u> Address <u>6 Eastern Promenade</u> City, State & Zip <u>Portland, Me. 04101</u>	Telephone: <u>207-749-6688</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>~ \$50,000.-</u> C of O Fee: \$ _____ Total Fee: \$ <u>520</u>
Current legal use (i.e. single family) <u>3 Family</u> Number of Residential Units <u>3-Fam, In</u> If vacant, what was the previous use? _____ Proposed Specific use: <u>OWNER-OCCUPIED 2-FAMILY - this will happen w/ later permit -</u> Is property part of a subdivision? <u>NO</u> If yes, please name _____ <u>spoke to owner 1/15/10</u> Project description: <u>1st FLOOR RENOVATIONS</u>		
Contractor's name: <u>Larry Cochran</u> Address: <u>89 Serenity Way</u> City, State & Zip <u>North Yarmouth, Me 04097</u> Telephone: <u>207-829-4232</u> Who should we contact when the permit is ready: <u>HARRY McMANN</u> Telephone: <u>207-749-6688</u> Mailing address: <u>PO Box 452, Portland Me 04112-0452</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature] Date: 1/4/10

This is not a permit; you may not commence ANY work until the permit is issued

RECEIVED
JAN 14 2010
Dept. of Building Inspections
City of Portland Maine

DayMatero



100 Front Street
Top Floor
Bath, Maine US 04530
207.671.6819
daymatero.com

January 31, 2010

Ms. Tammy Munson
Code Enforcement Officer
City of Portland, Maine
389 Congress Street
Portland, ME 04101
Via Email: tmm@portlandmaine.gov

**Re: McMann Residence
76 Morning Street, Portland**

Dear Tammy,

Per our discussion, the following are comments regarding the building permit approval for the McMann Residence:

1. The interior stair wall shall be rated one hour. A sketch of the partition wall is attached (see SK-1) for the Owner/GC to confirm existing stair enclosure conditions and/or to construct the enclosure as noted.
2. All doors from interior apartments shall be rated 60 minute.
3. A sketch of interior partitions is attached, see SK-1.
4. Smoke detectors shall be updated.
5. Bedroom windows shall meet egress code and are indicated on the drawings.

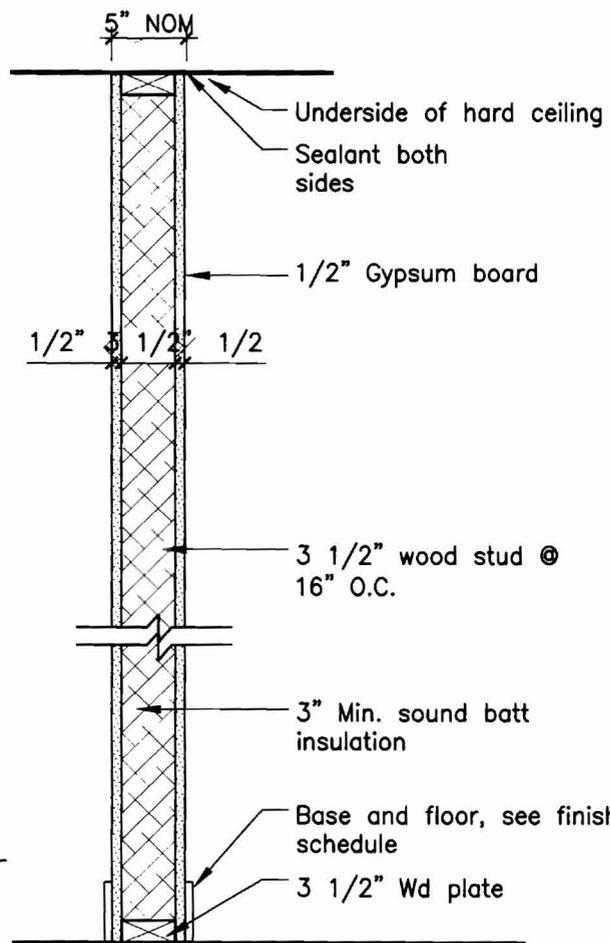
Thank you for your help in the review of this project.

Sincerely,

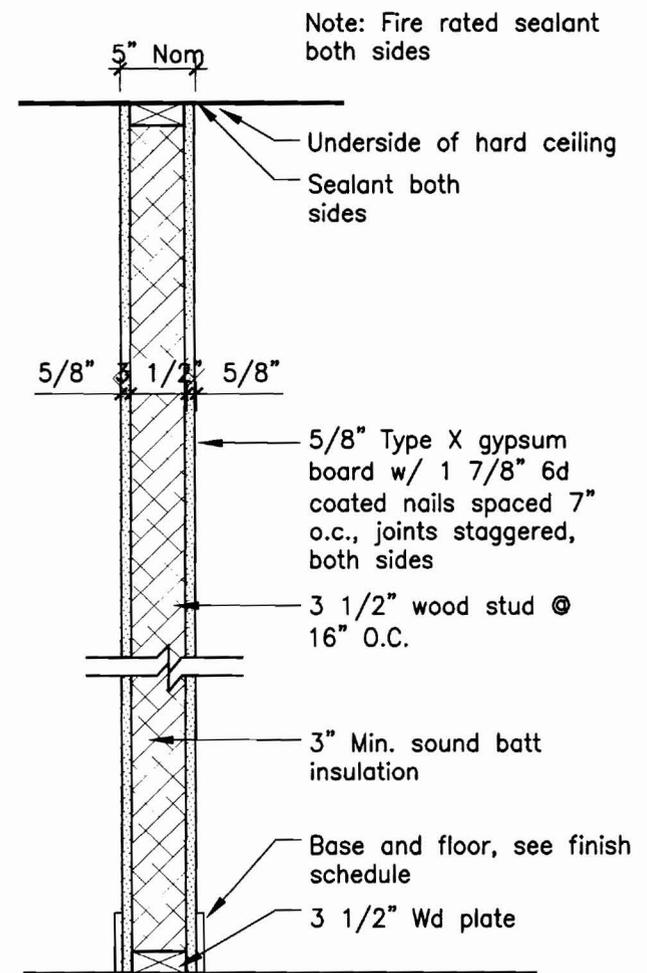
David Matero, AIA, LEED AP

Cc: Harry McMann, Tracy Davis, Laura Gough
Encl: SK-1

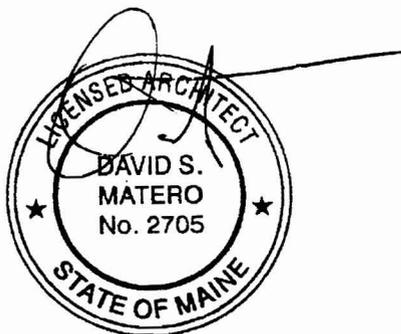
A r c h i t e c t u r e * L i g h t i n g D e s i g n



Interior, Non-Rated Partition



Interior, 1 Hour rated Partition at Stair
ANSI/UL U305



ISSUE FOR PERMIT

Date: 01.31.10 Scale: As Noted

Drawing:

Sketches

Revisions and Notes:

Interior Design:

Architect:

Client:

URBAN DWELLINGS

DayMatero studio

Harry McMann

422 1/2 FOREST Portland, Maine 04101
(207) 789-6136 Fax (207) 842-6056

100 Front Street Bath, ME 04530
(207) 671-6870

76 Morning St. Portland, ME 04101

SK.1

Assessor's Office | 389 Congress Street | Portland, Maine 04101 | Room 115 | (207) 874-8486

[City](#) [Home](#) [Departments](#) [City Council](#) [E-Services](#) [Calendar](#) [Jobs](#)

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information:

Services

[Applications](#)[Doing Business](#)[Maps](#)[Tax Relief](#)[Tax Roll](#)[Q & A](#)[browse city services a-z](#)[browse facts and links a-z](#)

Best viewed at
800x600, with
Internet Explorer

CBL	003 D007001
Land Use Type	THREE FAMILY
Property Location	76 MORNING ST
Owner Information	MCMANN HARRY J 76 MORNING ST PORTLAND ME 04101
Book and Page	27398/341
Legal Description	3-D-7 MORNING ST 74-76 MOODY ST 17-21 3700 SF
Acres	0.085

Current Assessed Valuation:

TAX ACCT NO.	482	OWNER OF RECORD AS OF APRIL 2009
LAND VALUE	\$157,400.00	APON DONATO G & JOSEPH E APON 41 PIERCE AVE PORTLAND ME 04102
BUILDING VALUE	\$235,800.00	
NET TAXABLE - REAL ESTATE	\$393,200.00	
TAX AMOUNT	\$6,975.38	

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or e-mailed.

Building Information:

Card 1 of 1

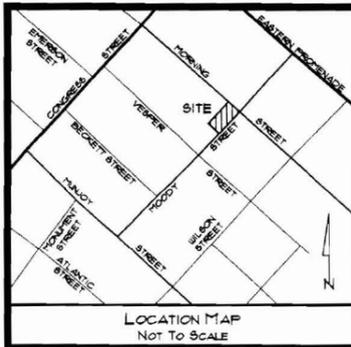
Year Built	1900
Style/Structure Type	OLD STYLE
# Stories	2
Bedrooms	6
Full Baths	3
Total Rooms	15
Attic	FULL FIN./WH
Basement	FULL
Square Feet	4315

[View Sketch](#)[View Map](#)[View Picture](#)

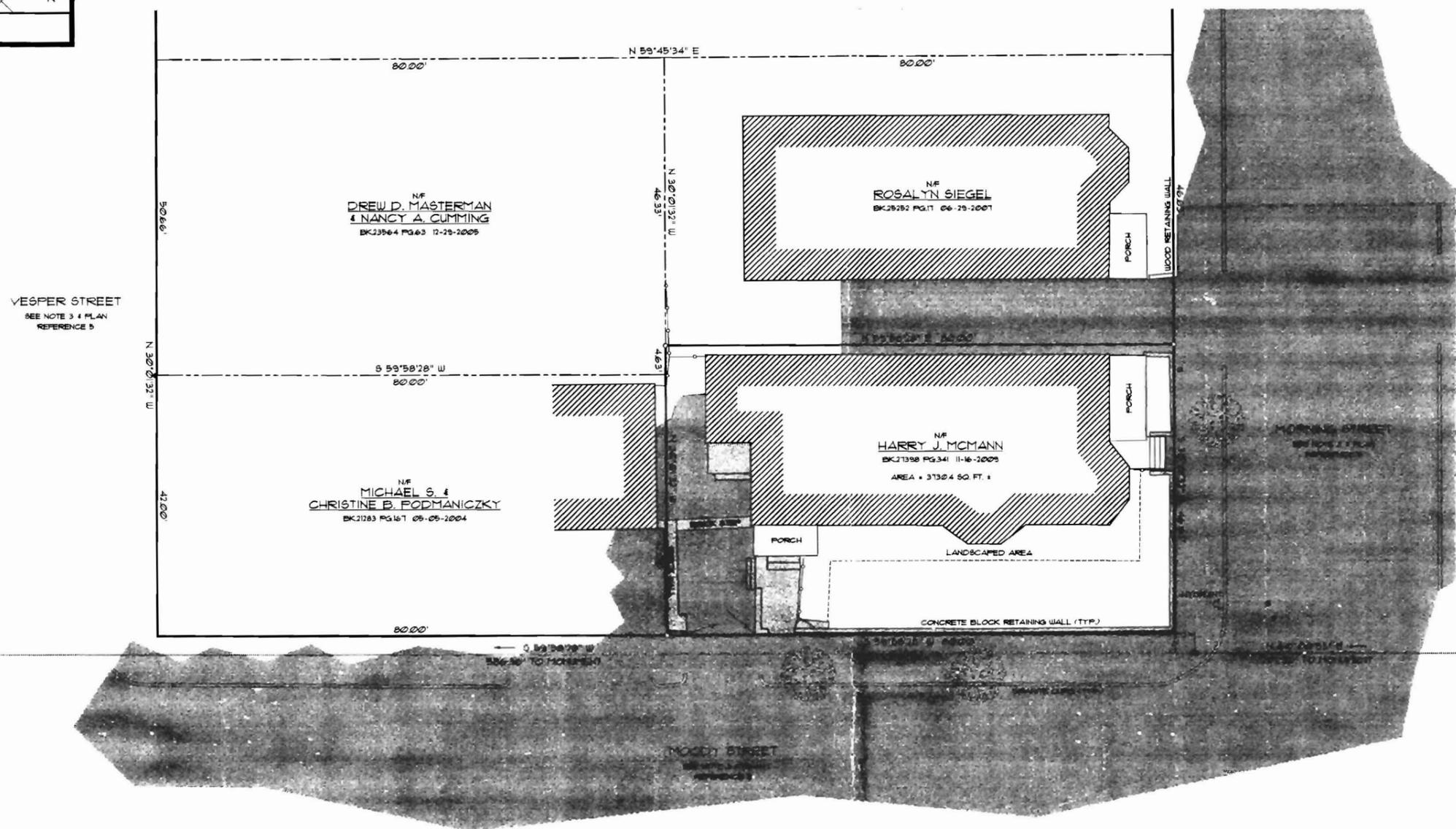
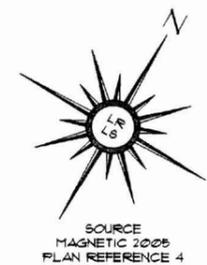
Sales Information:

Sale Date	Type	Price	Book/Page
11/17/2009	LAND + BUILDING	\$0.00	27398/341
10/30/2007	LAND + BUILDING	\$131,067.00	25578/340
4/26/2000	LAND + BUILDING	\$125,874.00	15434/291
8/27/1995	LAND + BUILDING	\$0.00	/

[New Search!](#)



R-6
lotsize 43154



LEGEND

- REBAR SET AND CAPPED PLS #316
- PIPE OR ROD FOUND
- MONUMENT FROM STREET PLANS FOUND
- ROAD LINE
- - - PROPERTY LINE
- - - PROPERTY LINE - NOT SURVEYED
- - - CHAIN LINK FENCE
- - - 3 FOOT OFFSET / TIE LINE
- ▨ BUILDING
- ▨ PAVEMENT
- ▨ STONE / CONCRETE / BRICK
- ⊗ SHUTOFF VALVE

- NOTES**
- 1) ALL BOOK AND PAGE REFERENCES ARE TO THE CUMBERLAND COUNTY REGISTRY OF DEEDS.
 - 2) THE PLAN IS THE RESULT OF AN ON THE GROUND SURVEY PERFORMED WITH A LEICA TOPCON ROBOTIC TOTAL STATION.
 - 3) FOR LAYOUTS OF MOODY, VESPER AND MORNING STREETS SEE PLAN REFERENCE 5 BELOW. FURTHER REFERENCE MAY BE MADE TO THE FOLLOWING CITY OF PORTLAND RECORDS:
 - A. 10-19, VESPER STREET, MARCH 16, 1861, 50 FEET WIDE
 - B. 15-28, MOODY STREET, AUGUST 15, 1868, 50 FEET WIDE
 - C. 18-27, MORNING STREET, AUGUST 15, 1868, 50 FEET WIDE
 - D. 15-220, VESPER STREET, AUGUST 15, 1868, 50 FEET WIDE
 - 4) THE SUBJECT PARCEL IS SHOWN AS MAP 3, BLOCK D, LOT 1 ON THE CITY OF PORTLAND TAX MAPS. THIS PARCEL IS CURRENTLY SHOWN IN THE RESIDENTIAL ZONE (R-6). DIMENSIONAL REQUIREMENTS FOR RESIDENTIAL USES ARE AS FOLLOWS:
 - MINIMUM LOT SIZE: 4500 SQ. FT. (3,000 SQ. FT. - LOT OF RECORD)
 - MINIMUM FRONTAGE: 40 FEET
 - YARD DIMENSIONS:
 - FRONT: 10 FEET
 - REAR: 20 FEET (PRINCIPAL STRUCTURES)
 - SIDE: 10 FEET (UP TO 3 STOREYS)
 - MAX. LOT COVERAGE: 50 PERCENT (LOTS WITH FEWER THAN 20 UNITS)
 - MIN. LOT WIDTH: 50 FEET
 - OPEN SPACE RATIO: 28 PERCENT
 FOR EXCEPTIONS APPLYING TO LOTS OF RECORD, SEE SECTION 14-433 OF THE PORTLAND LAND USE ORDINANCE.
 - 5) BASED ON THE LOCATION OF ALL STRUCTURES AND IMPERVIOUS SURFACES APPARENT TO THIS SURVEY OR THE CURRENT OPEN SPACE RATIO IS 28.9 PERCENT. THIS IS BASED ON A LOT SIZE OF 3,730.4 SQ. FT. AND AN IMPERVIOUS SURFACE AREA OF 2,619.2 SQ. FT.
 - 6) BASED ON THE LOCATION OF ALL STRUCTURES APPARENT TO THIS SURVEY OR THE CURRENT LOT COVERAGE IS 50.1 PERCENT. THIS IS BASED ON A LOT SIZE OF 3,730.4 SQ. FT. AND A STRUCTURE AREA OF 1,867.3 SQ. FT.



CUMBERLAND, ss REGISTRY OF DEEDS
 Received _____
 At _____ h _____ m _____ M, and
 Filed in Plan Book _____ Page _____
 ATTEST: _____
 Register

- PLAN REFERENCES**
- 1) "PLAN OF LAND FROM HANCOY STREET TO EASTERN PROMENADE" FILED IN 1875. RECORDED IN PLAN BOOK 4, PAGE 16.
 - 2) "CITY OF PORTLAND VALUATION SHEET 3", DATED 1882 BY W. A. GOODWIN, CITY ENGINEER. RECORDED IN PLAN BOOK 5, PAGE 3.
 - 3) "58 MORNING STREET CONDOMINIUM" DATED APRIL 30, 1984 BY H. I. F. E. C. JORDAN. RECORDED IN PLAN BOOK 143, PAGE 61.
 - 4) "173 EASTERN PROMENADE CONDOMINIUM ASSOCIATION AT 173-174 EASTERN PROMENADE" DATED AUGUST 26, 2005 BY BACK BAY BOUNDARY, INC. RECORDED IN PLAN BOOK 208, PAGE 134.
 - 5) CITY OF PORTLAND STREET PLANS:
 - A) NO. 131 - CONGRESS, MORNING AND MOODY STREETS, DECEMBER 1925
 - B) NO. 144 - MORNING, MOODY AND VESPER STREETS, JANUARY 1926
 - C) NO. 181 - VESPER AND CONGRESS STREETS, MARCH 1926

CERTIFICATION

TO: HARRY J. MCMANN

TO THE BEST OF MY KNOWLEDGE THIS SURVEY CONFORMS TO THE MAINE BOARD OF LICENSURE FOR LAND SURVEYORS STANDARDS WITH THE FOLLOWING EXCEPTIONS:

- 1) NO SEPARATE REPORT
- 2) NO NEW LEGAL DESCRIPTION PREPARED

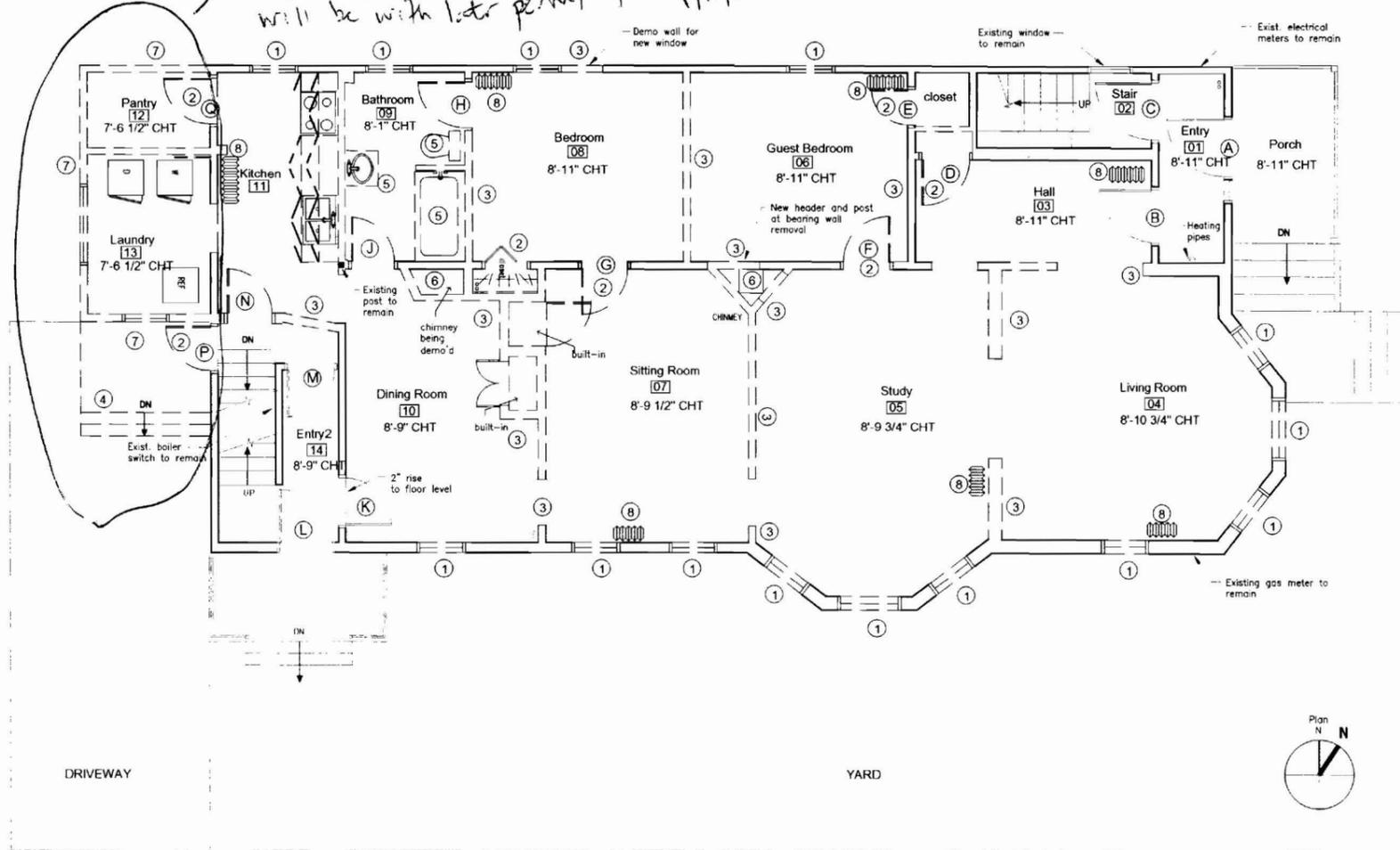
JERAMIAH J. RAITT PLS #316

RECEIVED
 JAN 14 2010
 Dept. of Building Inspections
 City of Portland Maine

RETRACEMENT SURVEY	
HARRY J. MCMANN	
76 MORNING STREET & MOODY STREET PORTLAND, MAINE 04102	
LITTLE RIVER LAND SURVEYING	DATE: DECEMBER 17, 2009
JERAMIAH J. RAITT ME PLS #316 NH LLS #351 56 FROST HILL AVENUE LISBON FALLS, MAINE 04252 (207) 841-0056	SCALE: 1" = 10'
	PROJECT #29-035 DRAWING #29-035
	DRAWN BY: JJR

demo of this will be with later permit - per owner 1/15/10

- DEMO NOTES:**
- ① REMOVE WINDOW
 - ② REMOVE DOOR
 - ③ REMOVE WALL
 - ④ REMOVE STEPS
 - ⑤ REMOVE PLUMBING
 - ⑥ REMOVE FIREPLACE
 - ⑦ REMOVE EXTERIOR WALL
 - ⑧ REMOVE RADIATOR



HARDWARE ABBREVIATIONS

- BC Ball Catch
- DB Dead Bolt
- DP Door Pull
- EL Entry Lock
- MP Multi-point French Door Lock
- PD Pocket Door HW
- PL Privacy Lock
- PS Passage Set
- RC Remote Control Opener
- SC Screen Door HW
- SI Sliding Door HW

ABBREVIATIONS

- AL Aluminum
- Clsr Closer
- Ex Existing
- HM Hollow Metal
- Hrdwre Hardware
- Insul Insulated
- Ob Obscure Glass, Tempered
- Pnt Paint
- Pre Prefinished
- Smoke Smoke Seal Frame
- Thick Thickness
- Wstrp Weatherstripping
- Wd Wood

DOOR SCHEDULE

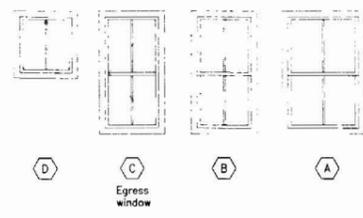
Door No.	Width	Height	Thick.	Material	Type	Hardware	Miscellaneous	Remarks
A	3'-3"	7'-0"	1 3/4"	Wd	Exist	EL	Exist	Existing door to remain
B	3'-0"	7'-0"	1 3/8"	Wd	Exist	EL	-	New door in existing opening
C	3'-0"	7'-0"	1 3/8"	Wd	Exist	EL	-	New door in existing opening
E								Existing door to be removed
F								Existing door to be removed
G								Existing door to be removed
H								Existing door to be removed
J								Existing door to be removed
K	2'-8"	7'-0"	1 3/8"	Wd	Exist	EL	Exist	New door in existing opening
L	3'-0"	7'-0"	1 3/4"	Wd	Exist	EL	Exist	New door in existing opening
M	2'-8"	7'-0"	1 3/8"	Wd	Exist	EL	Exist	New door in existing opening
N								Existing door to be removed
P								Existing door to be removed
Q								Existing door to be removed
R	2'-8"	7'-0"	1 3/8"	Wd	TBD	PL	-	
S	3'-8"	7'-0"	1 3/8"	Wd	TBD	SI	-	
T	2'-6"	7'-0"	1 3/8"	Wd	TBD	PD	-	
U	2'-6"	7'-0"	1 3/8"	Wd	TBD	PD	-	
V	2'-8"	7'-0"	1 3/8"	Wd	TBD	PL	-	
W	2'-6"	7'-0"	1 3/8"	Wd	TBD	PD	-	

Window Schedule (Marvin Windows)

Tag	Unit	Type	Rough Opening	Frame Size	Remarks
A	WUDH3628	Double Hung	3'-6 3/8" x 5'-5 1/2"	3'-5 3/8" x 5'-5"	
B	WUDH2628	Double Hung	2'-8 3/8" x 5'-5 1/2"	2'-7 3/8" x 5'-5"	
C	CCM3254	Casement	2'-9" x 5'-3 5/8"	2'-8" x 5'-3 1/8"	Egress window. GC to confirm existing width, CCM2864 (2'-5" wide also meets egress). Provide 2" check rail to match double hung windows.
D	WAWN3232	Awning	2'-9" x 2'-8 9/16"	2'-8" x 2'-8 9/16"	GC to confirm existing width, use WAWN2832 if insufficient width. Provide obscure glazing at Bathroom.

Window Notes

- Provide tempered glass where glazing is within 18" or less above finished floor, at glazing next to bathtubs, and glazing next to doors.
- Verify jamb extension requirement with building sections and field conditions.
- Provide insect screens at all operable units UNO.
- Provide Low E insulating glass UNO.
- Refer to elevations for window operations, muntin patterns, quantites, and head heights.
- Provide 1 1/8" simulated divided lite bars with air space grill bars between glass in patterns indicated on the elevations.
- GC to verify rough openings with window manufacturer prior to construction.
- Provide fully adhered bituthene flashing at all window and door openings.
- Aluminum clad, wood windows, primed interior.



Window Elevations

General Notes

- Dimensions are to face of framing, studs, and foundation UNO.
- Do not scale drawings, work from dimensions only.
- General Contractor shall verify all dimensions and report any discrepancies to the Architect before proceeding with any work.
- All work shall comply with applicable national, state and local codes.
- Owner / General Contractor shall be responsible for obtaining construction related permits.
- General Contractor shall properly dispose of all construction debris off-site, and shall make every effort to conserve and recycle materials.
- General Contractor shall install blocking in walls for cabinetry, shelving, handrails, mirrors, and accessories.
- Install sound attenuation batt insulation or spray insulation at all bedroom and bathroom partitions.
- Notify Architect / Engineer before penetrating or modifying joists, beams, or other structural members.
- Wood blocking in contact with concrete or masonry shall be pressure treated.
- Provide a continuous bead of sealant in all joints in building envelope and penetrations that may allow passage of moisture or vapor gas through structure.

List of Drawings

- Retracement Survey
- A.1 Drawing List, Notes, Schedules, Demolition Plan
- A.2 Proposed Floor Plan / Site Plan
- A.3 Existing and Proposed Building Elevations and Section
- A.4 Existing and Proposed Building Elevations
- A.5 Existing and Proposed Building Elevations
- A.6 Existing and Proposed Building Elevations
- S0 Structural Notes
- S1.1 Foundation and First Floor Framing Plan
- S1.2 Second Floor Framing Plan
- S2.1 Structural Details



Date: 01.13.10
 Scale: 1/4" = 1'-0"
 Drawing:

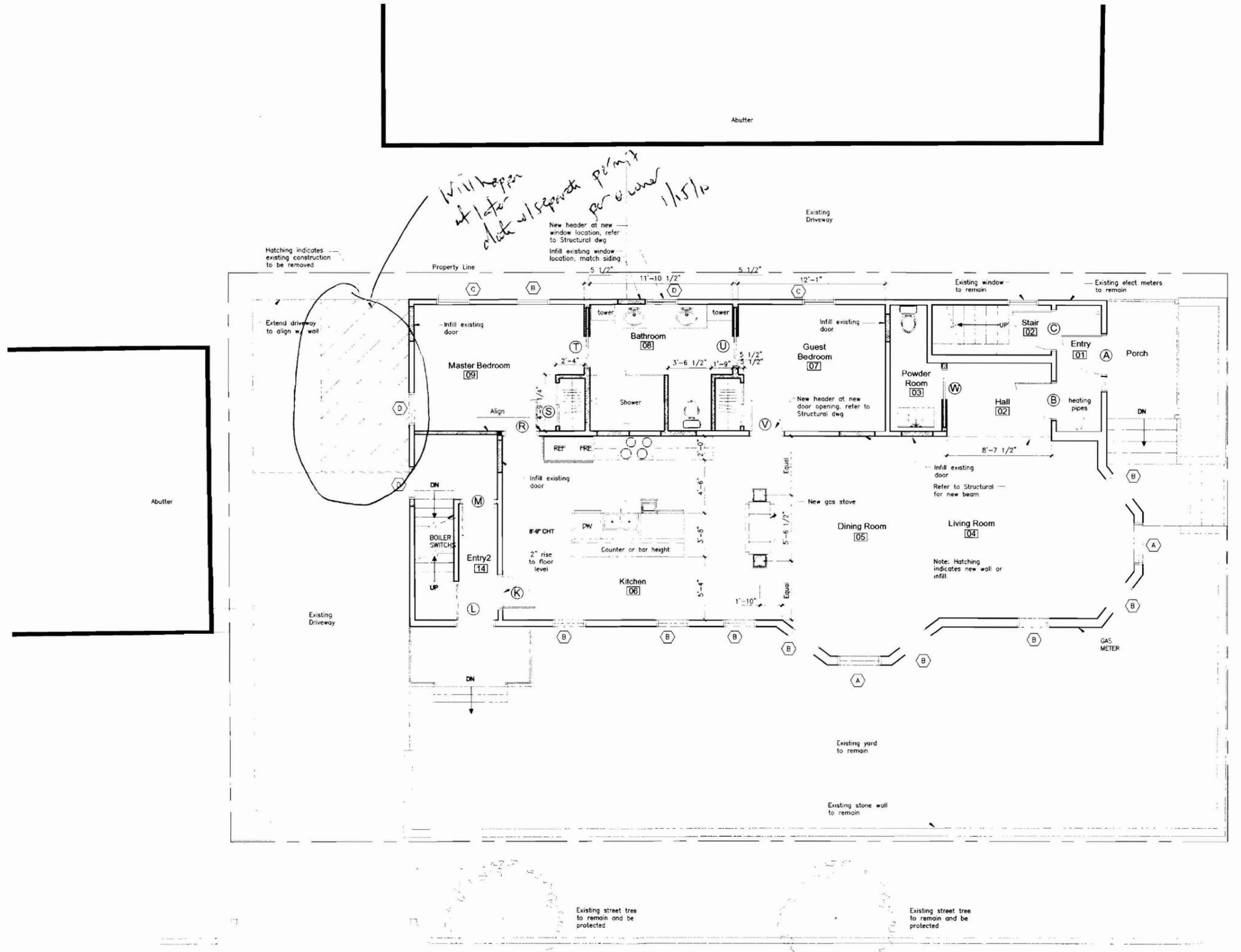
Drawings List, Notes, Schedules, and Demolition Plan

Client: **Harry McMann**
 76 Manning Street
 Portland, Maine
 04101

Architect: **DayMatero studio**
 100 Front Street
 Top Floor
 Bath, ME 04530

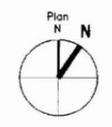
Interior Architecture: **urban**
 42 - 43 FORE STREET
 PORTLAND, ME 04101
 (207) 850.6174 FAX: 850.6556

ISSUE FOR PERMIT



Will happen at later date w/ separate permit per owner 1/15/16

1 Proposed First Floor Plan / Site Plan
Scale: 1/4" = 1'-0"



Client:	Harry McMann 75 Morning Street Portland, Maine 04101
Architect:	DayWatero studio 100 Front Street Top Floor Bath, ME 04530
Interior Architecture:	urban 22 E. FINE STREET PORTLAND, ME 04101 707.780.1313
Revisions and Notes:	
Date:	01.13.16
Scale:	1/4" = 1'-0"
Drawing:	Proposed First Floor Plan / Site Plan
Drawing#:	A.2



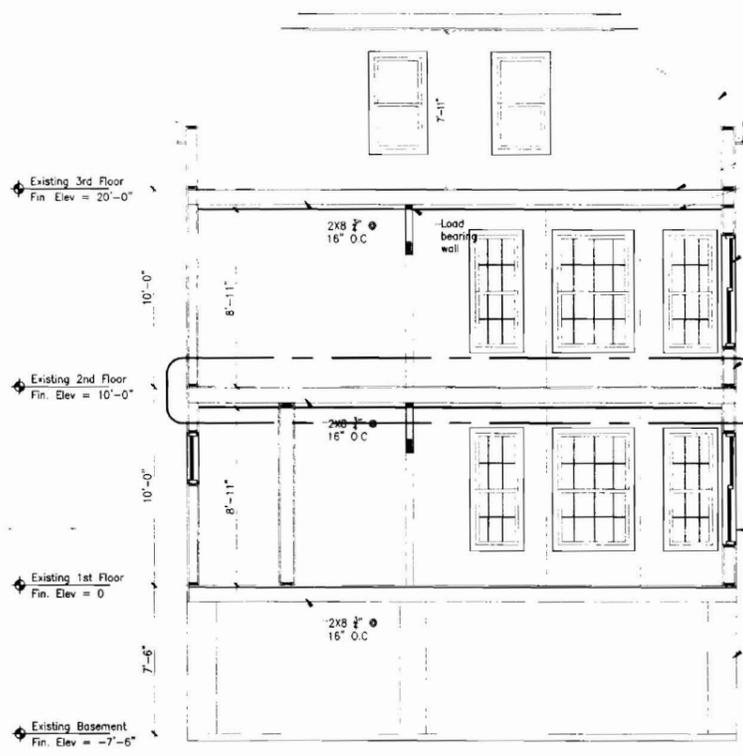
ISSUE FOR PERMIT



1 Existing East Elevation
Scale: 1/4" = 1'-0"



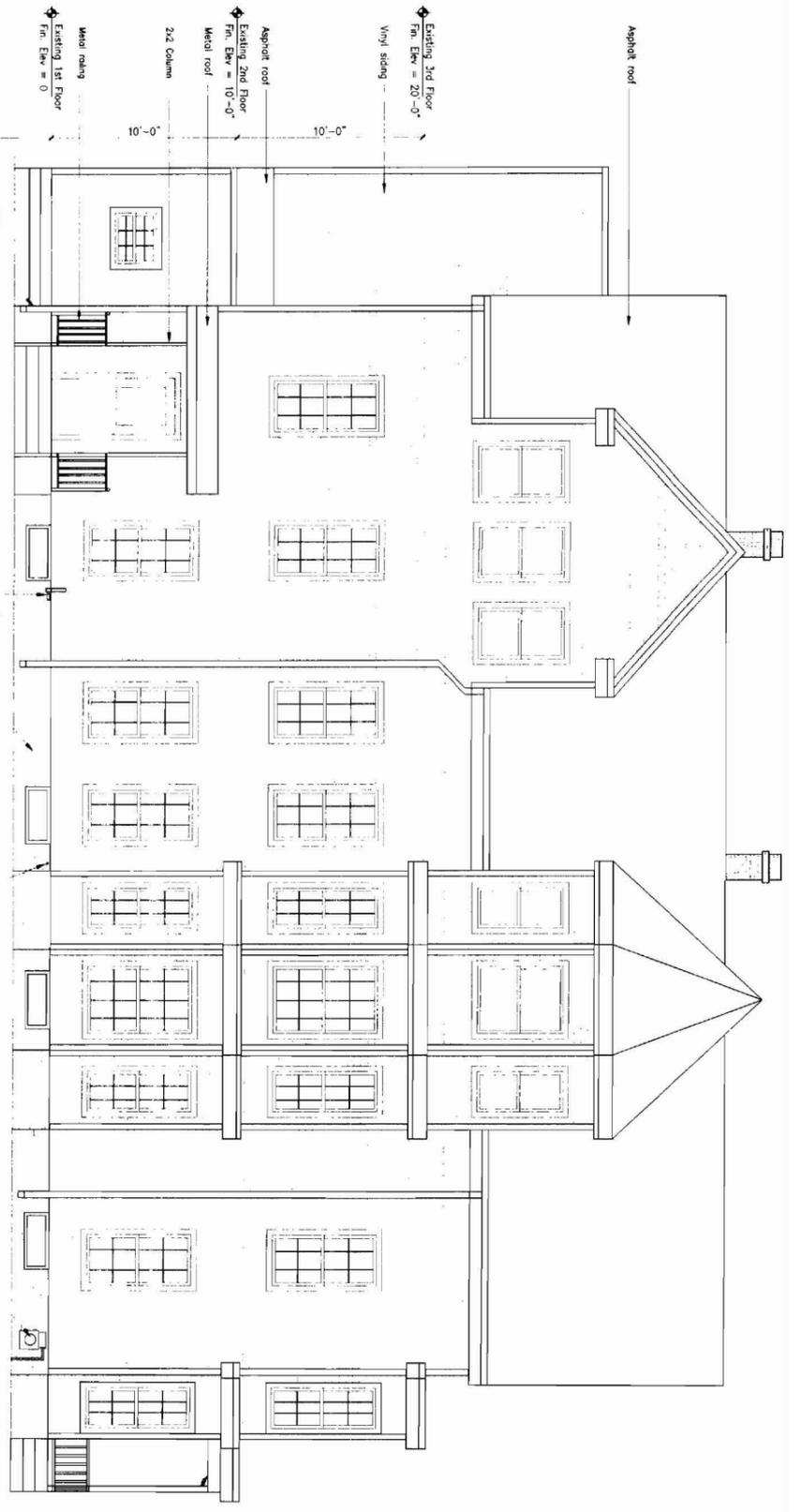
2 Proposed East Elevation
Scale: 1/4" = 1'-0"



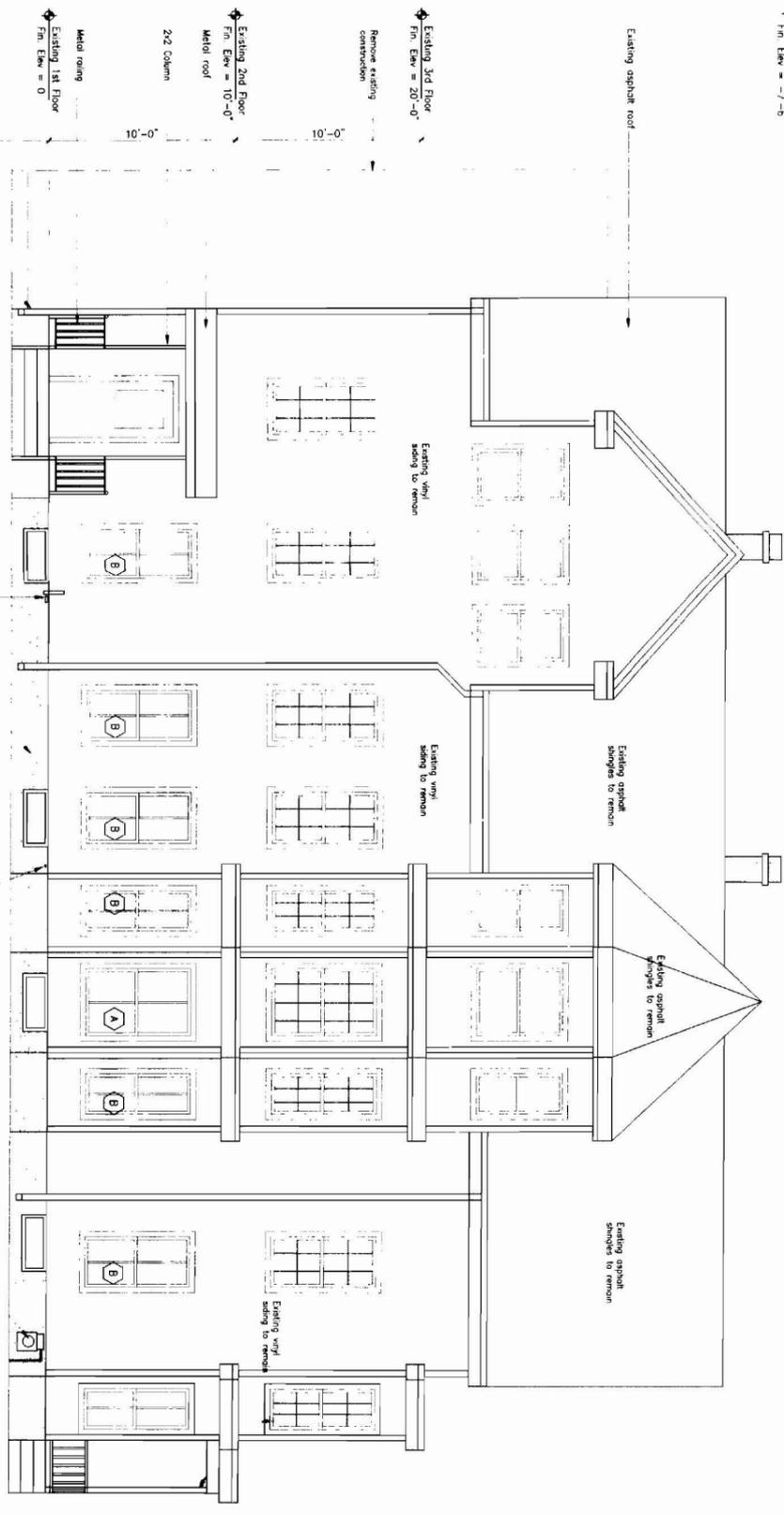
2a Building Section
Scale: 1/4" = 1'-0"

- Existing roof construction: asphalt roofing, roofing paper, plywood, wood rafter
- Existing wood flooring
- Existing wood flooring
- Existing window to remain
- Existing wall construction: vinyl siding, wood clapboard siding, plywood, wood stud wall, furring strips, plaster
- 1 Hour separation between dwelling units. Confirm minimum 3/4" T&C wood floor or plywood on 3/4" subfloor on joists firestopped with 1/2" min. gyp. bd per ULC Design No. M502
- Remove existing window, sash, and frame and replace with new Marvin window per schedule
- Existing brick foundation



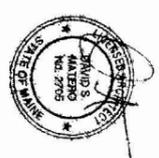


3 Existing South Elevation
Scale: 1/4" = 1'-0"



4 Proposed South Elevation
Scale: 1/4" = 1'-0"

removal of residential entrance per owner 1/15/10



Date: 01.13.10
Scale: 1/4" = 1'-0"
Drawing: Existing and Proposed Building Elevations

Revisions and Notes

Interior Architecture
urban
322 CYPRESS STREET
PORTLAND, ME 04101
(207) 851-7616

Architect
DayMatero studio
100 Front Street
Top Floor
Bath, ME 04530

Client:
Harry McMann
76 Morning Street
Portland, Maine
04101

Drawing:
A.4



424 Fore Street
 Portland, ME 04101
 Phone 207.842.2800
 Fax 207.842.2828
 www.cascobayengineering.com

CLIENT:

DAYMATERO STUDIO
 100 FRONT STREET
 BATH, ME 04530



Carolyn C. Bird, P.E.

PORTLAND, ME
 76 MORNING STREET

McMANN RESIDENCE

BUILDING RENOVATION

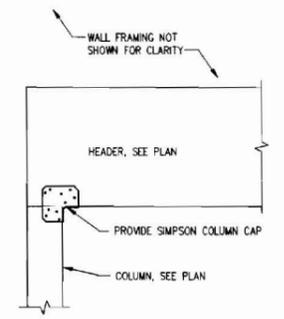
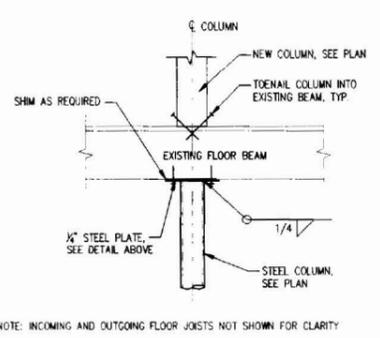
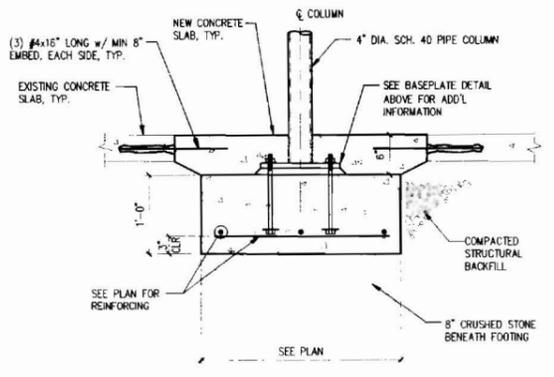
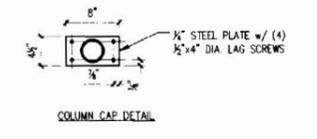
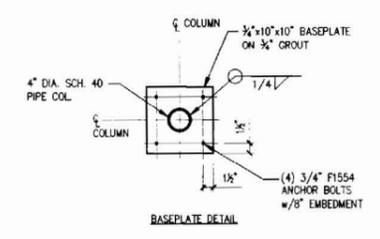
NO.	DATE	REVISIONS
1	01-13-09	ISSUE FOR PERMIT

SHEET TITLE:

STRUCTURAL
 DETAILS

DESIGNED: _____
 DRAWN: _____
 DATE: 01-13-09
 CADD FILE: _____
 PROJECT NUMBER: _____

S2.1



SECTION SCALE: 1"=1'-0" 1

SECTION SCALE: 1"=1'-0" 2

SECTION SCALE: 1"=1'-0" 3

SECTION SCALE: 1"=1'-0" -

SECTION SCALE: 1"=1'-0" -

SECTION SCALE: 1"=1'-0" -

SECTION SCALE: 1"=1'-0" -

SECTION SCALE: 1"=1'-0" -