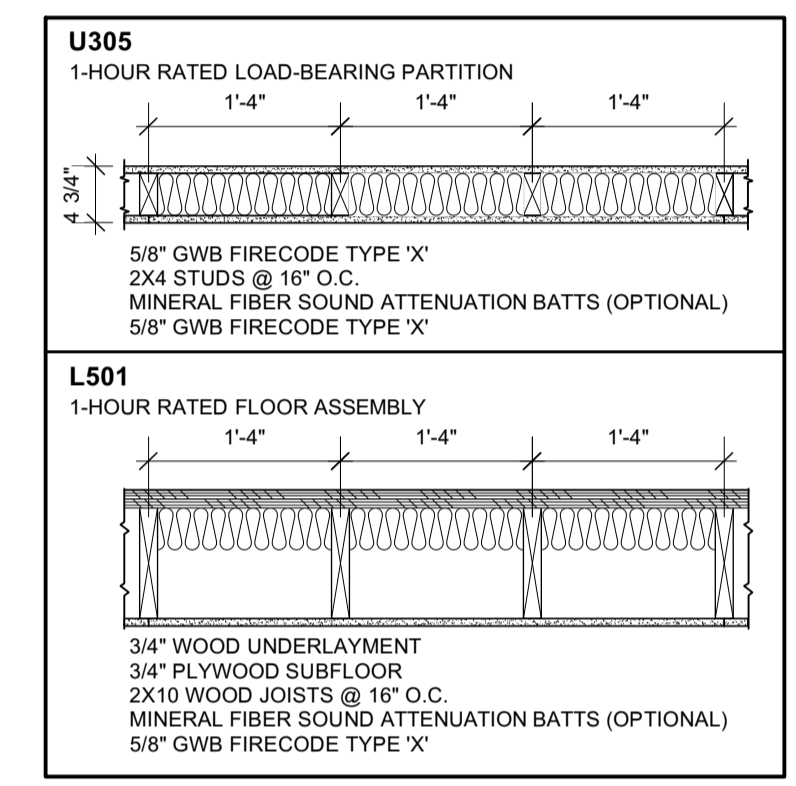


SHEA & DEUTCH RESIDENCE

RENOVATION/ADDITION

86 Morning Street
 Portland, Maine

UL ASSEMBLIES



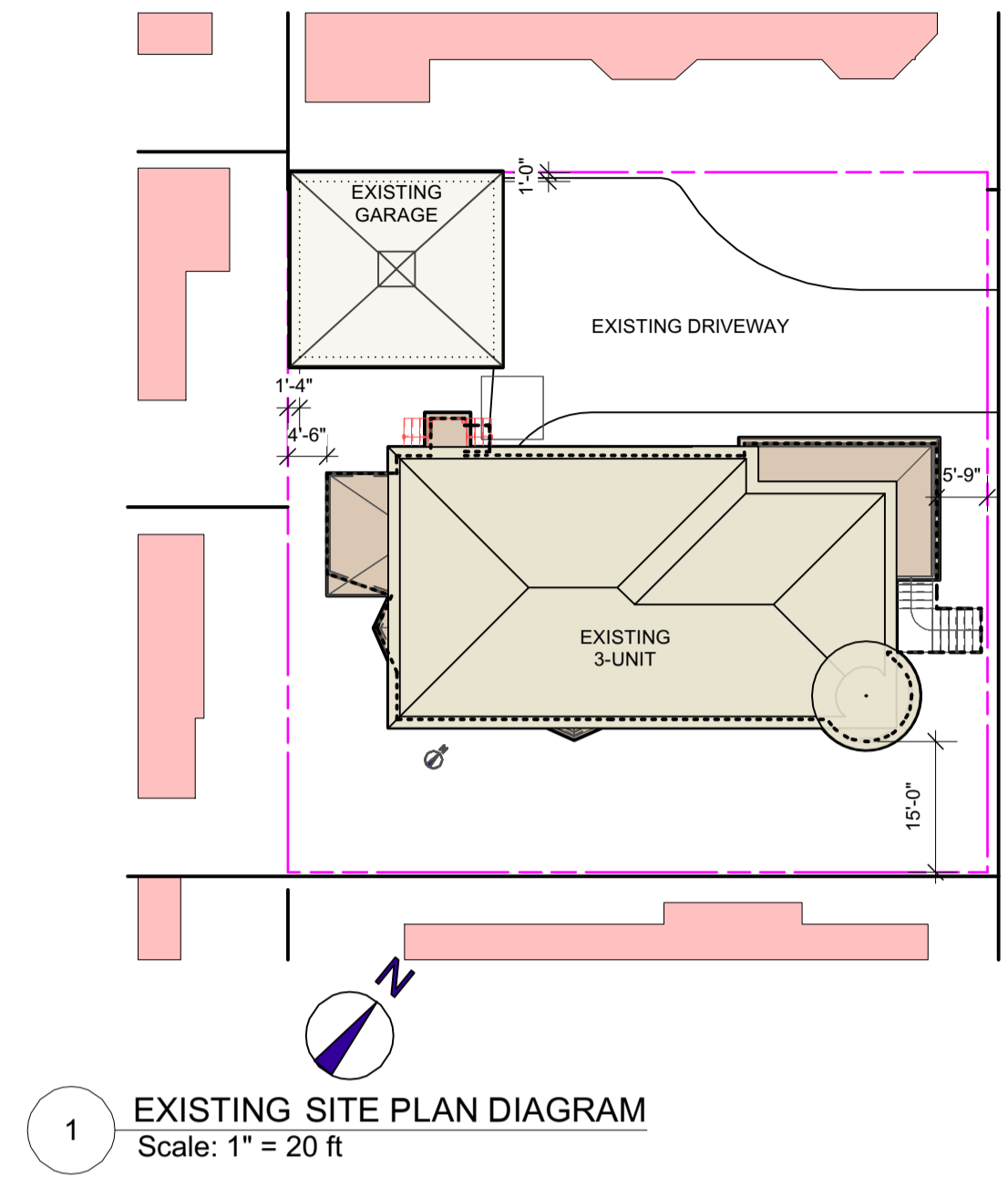
ELEVATOR SPECIFICATION

SAVARIA: "ECLIPSE" RESIDENTIAL ELEVATOR
 TYPE 1 RIGHT HAND CONFIGURATION
 36 X 48 X 80 CAB DIMENSIONS - NO AUTO-SLIM DOORS
 750# LOAD CAPACITY, 40FPM, UP TO 35' TRAVEL
 NO STOP AT SECOND FLOOR

SAVARIA APPLICABLE CODES:
 ASME A17.1/CSA-B44
 SAFETY CODE FOR ELEVATORS & ESCALATORS
 SECTION 5.3 - PRIVATE RESIDENTIAL ELEVATORS
 WWW.SAVARIA.COM
 MAINE ACCESSIBILITY CORP.
 PINE STATE ELEVATOR
 STAN QUINN - 207-624-8675

SITE INFORMATION

86 MORNING STREET	
CBL: 003-D-5	
0.1469 ACRES = 6,400 SF (80' X 80')	
STREET FRONTAGE	80'
EXISTING USE:	3-UNIT RESIDENTIAL
PROPOSED USE:	3-UNIT RESIDENTIAL
EXISTING BUILDING FOOTPRINT	2,071 SF
EXISTING ACCESSORY FOOTPRINT	459 SF
PROPOSED BUILDING EXPANSION	256 SF (NET)



ZONING REVIEW

R6 ZONE DIMENSIONAL STANDARDS	ALLOWED	EXISTING PRINCIPAL STRUCTURE	EXISTING ACCESSORY STRUCTURE	PROPOSED	MEETS REQUIREMENTS
FRONT YARD	5'	5'-9"	>50'	NO CHANGE	✓
SIDE YARD	5' EACH SIDE OR 10' TOTAL	15'	1' +/-	7'	✓
REAR YARD	10'	4'-6"	1'-4" +/-	6'	SEE ATTACHED LETTER RE: SEC. 14-433
HEIGHT	45'	36'-6" @ TURRET, 34'-10 1/2" @ BUILDING	n/a	ADDITION: 33'-5 1/2"	✓
ACCESSORY BLDG HEIGHT	18'	n/a	17'-8"	NO CHANGE	✓
STRUCTURE STEPBACK	10' IF >35' AT SIDE & 15' IF >35' AT REAR	ZERO	ZERO	NONE REQUIRED	✓
LOT COVERAGE	60%	2,044 SF	446 SF	+259 SF = 43.0%	✓

LIFE SAFETY

NFPA 101	EXISTING APARTMENT BUILDING	CHAPTER 31, OPTION 1
STORIES ABOVE GRADE PLANE	3	✓
REMOTE EXITS PER UNIT	2	✓
FIRE RATINGS BETWEEN UNITS	1-HOUR	✓
EXIT ACCESS TRAVEL DISTANCE W/IN DWELLING UNIT	<75'	✓
EMERGENCY LIGHTING & COMMUNICATION SYSTEM	NOT REQUIRED	✓
SMOKE ALARMS (Per 31.3.4.5)	IN & NEAR EVERY SLEEPING ROOM, EACH LEVEL & BASEMENT	✓
SECONDARY MEANS OF ESCAPE (Per State Fire Marshall's letter dated 10/17/13)	IN EVERY SLEEPING ROOM, AS REQ'D.	✓
EXIT ENCLOSURES	1-HOUR (Sec. 1022)	✓
DOORS INTO EXIT ENCLOSURES	1-HOUR	✓

CODE REVIEW

IECC 2009	REQUIRED	PROVIDED	
FENESTRATION U-FACTOR	0.35	0.25 (Andersen Woodwright locations)	✓
SKYLIGHT U-FACTOR	0.60	0.24 (Velux VCS 3046)	✓
CEILING R-VALUE	R-49	R-51	✓
WALL R-VALUE	R-21	R-21	✓
FLOOR R-VALUE	R-30 (FILL CAVITY TO R-19 MIN.)	R-30	✓
CRAWL SPACE WALL R-VALUE	R-10/13	R-10	✓
SEC. 101.4.3.3	Existing cavities exposed during construction are already filled with insulation	Existing to remain	IEBC 2009 Alterations Level 2
SEC 101.4.3.4	Cavity is not exposed during construction	Existing to remain	IEBC 2009 Alterations Level 2

CODE REVIEW

IBC 2009		
USE GROUP	R-2	3-UNIT RESIDENTIAL
CONSTRUCTION TYPE	VB	
FIRE RATINGS BETWEEN UNITS	1-HOUR	✓
EXIT ACCESS TRAVEL DISTANCE	<200'	✓
EXIT ENCLOSURES	1-HOUR (Sec. 1022)	✓
DOORS INTO EXIT ENCLOSURES	1-HOUR	✓

PROJECT TEAM

ARCHITECT
 RESIDENTIAL DESIGN STUDIO, LLC
 CAROL MORRISSETTE, RA
 207-671-7965

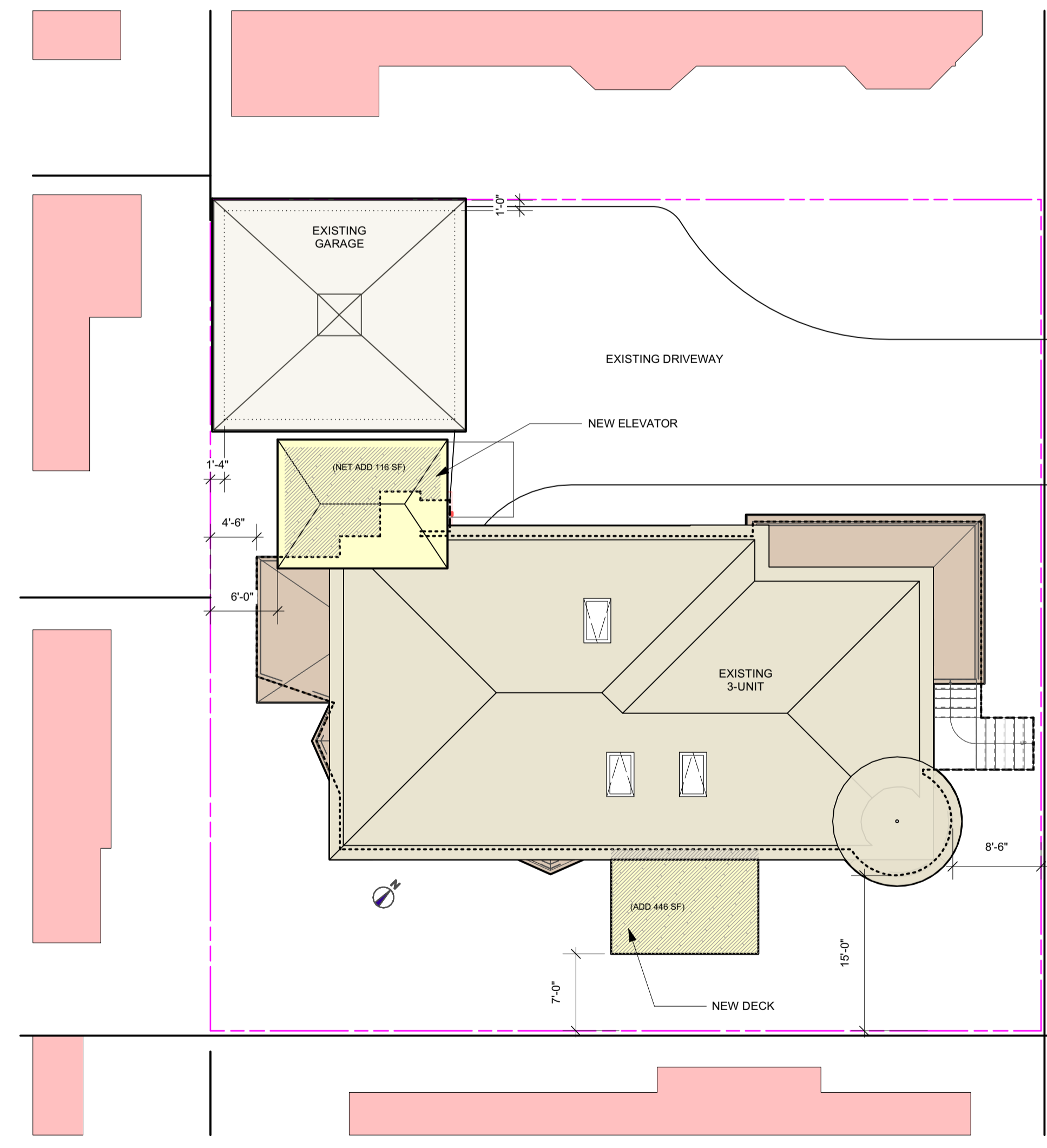
STRUCTURAL ENGINEER
 SRG ENGINEERING
 STEVE GRANT, PE, SECB
 207-657-7323

OWNER
 MARY SHEA & WAVERLY DEUTSCH

DRAWING LIST

ARCHITECTURAL
 A0.1 CODE & SITE PLANS
 A0.2 DEMO PLANS
 A1.1 FIRST FLOOR PLAN
 A1.2 SECOND FLOOR PLAN
 A1.3 THIRD FLOOR PLAN
 A2.1 EXTERIOR ELEVATIONS
 A2.2 EXTERIOR ELEVATIONS
 A3.1 SECTIONS & SCHEDULES
 A3.2 SECTIONS
 A4.1 KITCHEN & BATH PLANS & ELEVS.

STRUCTURAL
 S1.0 FOUNDATION PLAN
 S1.1 FRAMING PLANS



MORNING STREET

EXISTING FOOTPRINT AT GRADE
 EXISTING ROOF LINE

MORNING STREET

EXISTING FOOTPRINT AT GRADE
 EXISTING ROOF LINE
 PROPOSED STRUCTURE
 NET FOOTPRINT INCREASE

PERMIT SET

			Design Firm RESIDENTIAL DESIGN STUDIO, LLC Carol A. Morrisette 21 Chestnut Street, Suite 506 Portland, Maine 04101 T 207.699.4184 C 207.671.7965	Project Title SHEA & DEUTSCH 86 MORNING STREET PORTLAND, MAINE	Sheet Status PERMIT SET
			Revisions 1 2 3	Sheet Title CODE & SITE PLAN	Sheet Number 15.60