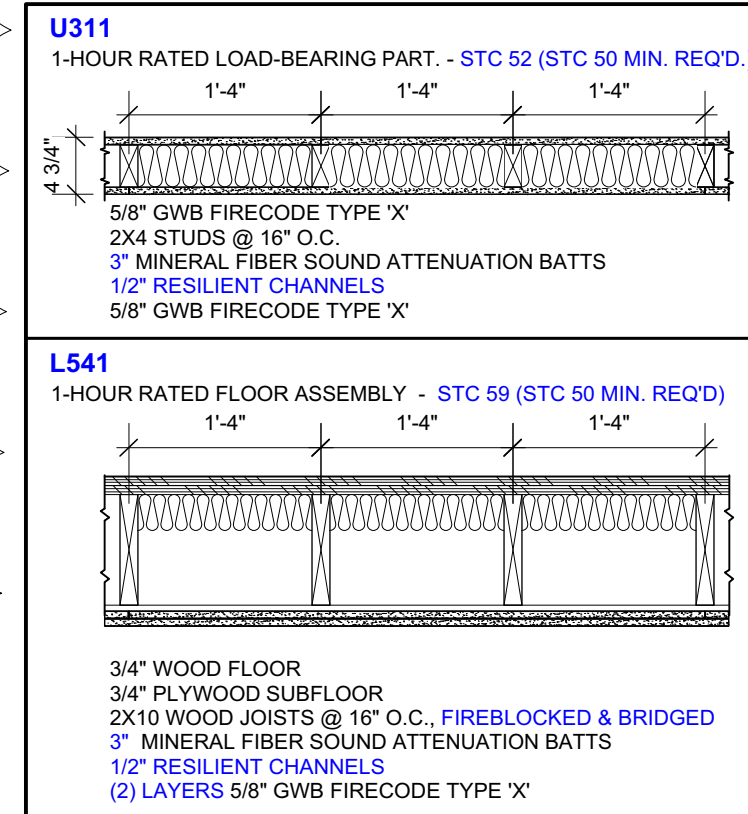


SHEA & DEUTCH RESIDENCE

RENOVATION/ADDITION

86 Morning Street
Portland, Maine

UL ASSEMBLIES



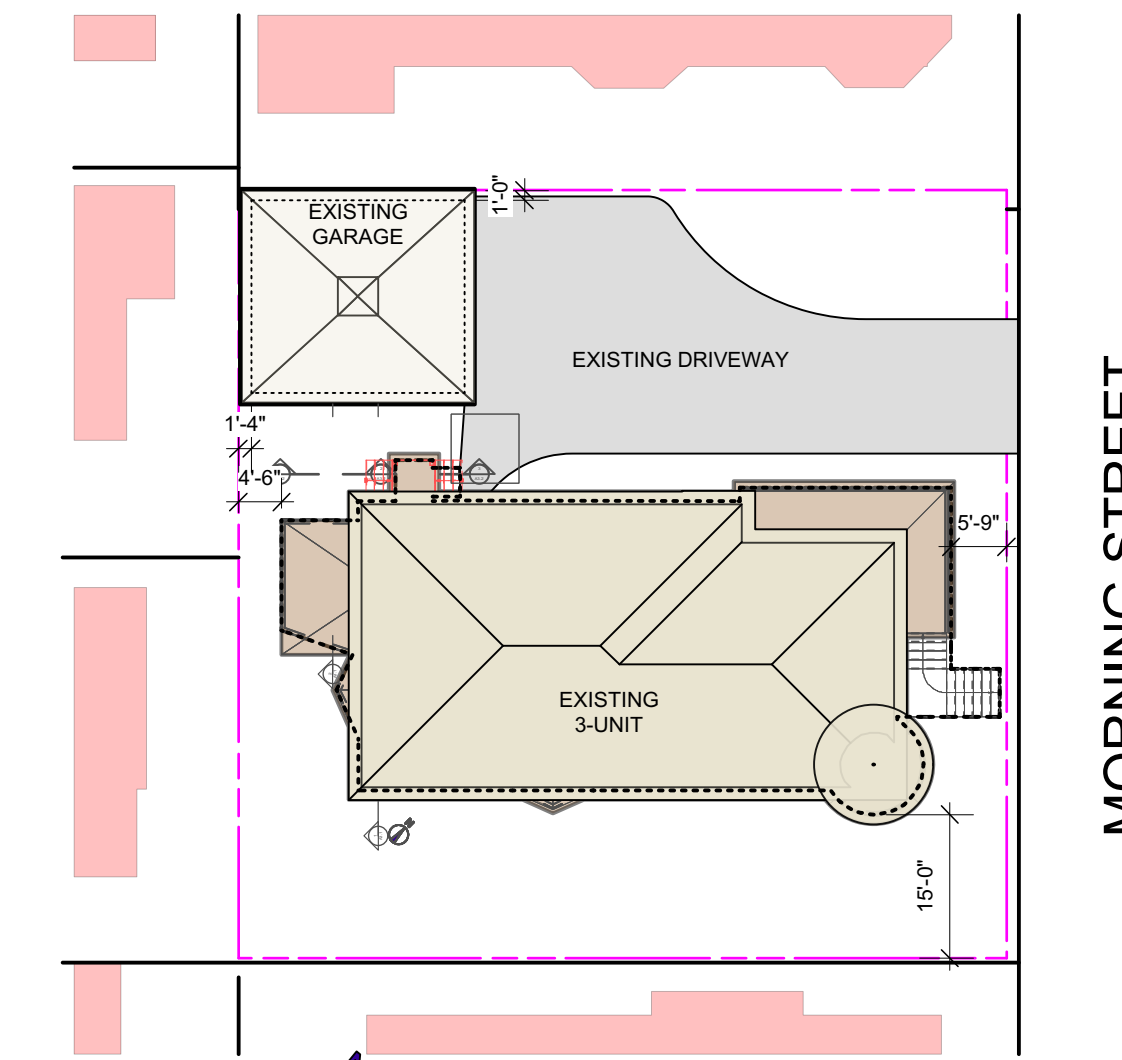
ELEVATOR SPECIFICATION

SAVARIA: "ECLIPSE" RESIDENTIAL ELEVATOR
TYPE 1 RIGHT HAND CONFIGURATION
36 X 48 X 80 CAB DIMENSIONS - NO AUTO-SLIM DOORS
750# LOAD CAPACITY - 40FPM LIP TO 35' TRAVEL
"NO STOP AT SECOND FLOOR"

SAVARIA APPLICABLE CODES:
ASME A17.1/CSA-B44
SAFETY CODE FOR ELEVATORS & ESCALATORS
SECTION 5.3 - PRIVATE RESIDENTIAL ELEVATORS
WWW.SAVARIA.COM
MAINE ACCESSIBILITY CORP.
PINE STATE ELEVATOR
STAN QUINN - 207-624-8675

SITE INFORMATION

86 MORNING STREET	
CBL: 003-D-5	
0.1469 ACRES = 6,400 SF	(80' X 80')
STREET FRONTAGE	80'
EXISTING USE:	3-UNIT RESIDENTIAL
PROPOSED USE:	3-UNIT RESIDENTIAL
EXISTING BUILDING FOOTPRINT	2,071 SF
EXISTING ACCESSORY FOOTPRINT	459 SF
PROPOSED BUILDING EXPANSION	256 SF (NET)



1 EXISTING SITE PLAN DIAGRAM
Scale: 1" = 20 ft

EXISTING FOOTPRINT AT GRADE
EXISTING ROOF LINE

NOTE: EXISTING GARAGE TO BE DEMOLISHED UNDER SEPARATE DEMOLITION PERMIT

ZONING REVIEW

R6 ZONE DIMENSIONAL STANDARDS	ALLOWED	EXISTING PRINCIPAL STRUCTURE	EXISTING ACCESSORY STRUCTURE	PROPOSED	MEETS REQUIREMENTS
FRONT YARD	5'	5'-9"	>50'	NO CHANGE	✓
SIDE YARD	5' EACH SIDE OR 10' TOTAL	15'	1' +/-	7'	✓
REAR YARD	10'	4'-6"	1'-4" +/-	6'	SEE ATTACHED LETTER RE: SEC. 14-433
HEIGHT	45'	36'-6" @ TURRET; 34'-10 1/2" @ BUILDING	n/a	ADDITION: 33'-5 1/2"	✓
ACCESSORY BLDG HEIGHT	18'	n/a	17'-8"	NO CHANGE	✓
STRUCTURE STEPBACK	10' IF >35' AT SIDE & 15' IF >35' AT REAR	ZERO	ZERO	NONE REQUIRED	✓
LOT COVERAGE	60%	2,044 SF	446 SF	+259 SF =	✓
		38.9% EXISTING		43.0%	

LIFE SAFETY

NFPA 101	EXISTING APARTMENT BUILDING	CHAPTER 31, OPTION 1
STORIES ABOVE GRADE PLANE	3	✓
REMOTE EXITS PER UNIT	2	✓
FIRE RATINGS BETWEEN UNITS	1-HOUR	✓
EXIT ACCESS TRAVEL DISTANCE W/IN DWELLING UNIT	<75'	✓
EMERGENCY LIGHTING & COMMUNICATION SYSTEM	NOT REQUIRED	✓
SMOKE ALARMS (Per 31.3.4.5)	IN & NEAR EVERY SLEEPING ROOM, EACH LEVEL & BASEMENT	✓
SECONDARY MEANS OF ESCAPE (Per State Fire Marshall's letter dated 10/17/113)	IN EVERY SLEEPING ROOM, AS REQ'D.	✓
EXIT ENCLOSURES	1-HOUR (Sec. 1022)	✓
DOORS INTO EXIT ENCLOSURES	1-HOUR	✓

CODE REVIEW

IECC 2009	REQUIRED	PROVIDED	
FENESTRATION U-FACTOR	0.35	0.25 (Andersen Woodwright locations)	✓
SKYLIGHT U-FACTOR	0.60	0.24 (Velux VCS 3046)	✓
CEILING R-VALUE	R-49	R-51	✓
WALL R-VALUE	R-21	R-21	✓
FLOOR R-VALUE	R-30 (FILL CAVITY TO R-19 MIN.)	R-30	✓
CRAWL SPACE WALL R-VALUE	R-10/13	R-10	✓
SEC. 101.4.3.3	Existing cavities exposed during construction are already filled with insulation	Existing to remain	IEBC 2009 Alterations Level 2
SEC 101.4.3.4	Cavity is not exposed during construction	Existing to remain	IEBC 2009 Alterations Level 2

CODE REVIEW

IBC 2009		
USE GROUP	R-2	3-UNIT RESIDENTIAL
CONSTRUCTION TYPE	VB	
FIRE RATINGS BETWEEN UNITS	1-HOUR	✓
EXIT ACCESS TRAVEL DISTANCE	<200'	✓
EXIT ENCLOSURES	1-HOUR (Sec. 1022)	✓
DOORS INTO EXIT ENCLOSURES	1-HOUR	✓

CODE REVIEW - SEPARATE BUILDINGS ON ONE LOT

EXISTING GARAGE IS PROPOSED TO BE DEMOLISHED UNDER A SEPARATE PERMIT APPLICATION FILED MAY 1, 2017.
INTENT IS TO REBUILD THE ACCESSORY STRUCTURE (GARAGE) WITHIN ONE YEAR-UNDER A SEPARATE PERMIT APPLICATION THAT HAS NOT BEEN FILED, YET

THE EXISTING BUILDING AND ACCESSORY STRUCTURE, SHOULD THEY BOTH REMAIN, MAY BE CONSIDERED A SINGLE BUILDING PER SEC 705.3 EXCEPTION: BLDGS SHALL BE CONSIDERED A SINGLE BUILDING IF AGGREGATE AREA IS WITHIN LIMITS SPEC'D IN CHAPTER 5 FOR A SINGLE BLDG.

CHAPTER 5 AGGREGATE AREA LIMITS FOR A SINGLE BUILDING: GROUP R-2, TYPE VB, 3-STORIES ABOVE GRADE PLANE: 12,000 SF

EXISTING 3-UNIT AGGREGATE AREA WITH PROPOSED ADDITION AND REBUILDING OF ACCESSORY STRUCTURE: 7,485 SF

PROJECT TEAM

ARCHITECT
RESIDENTIAL DESIGN STUDIO, LLC
CAROL MORRISSETTE, RA
207-671-7965

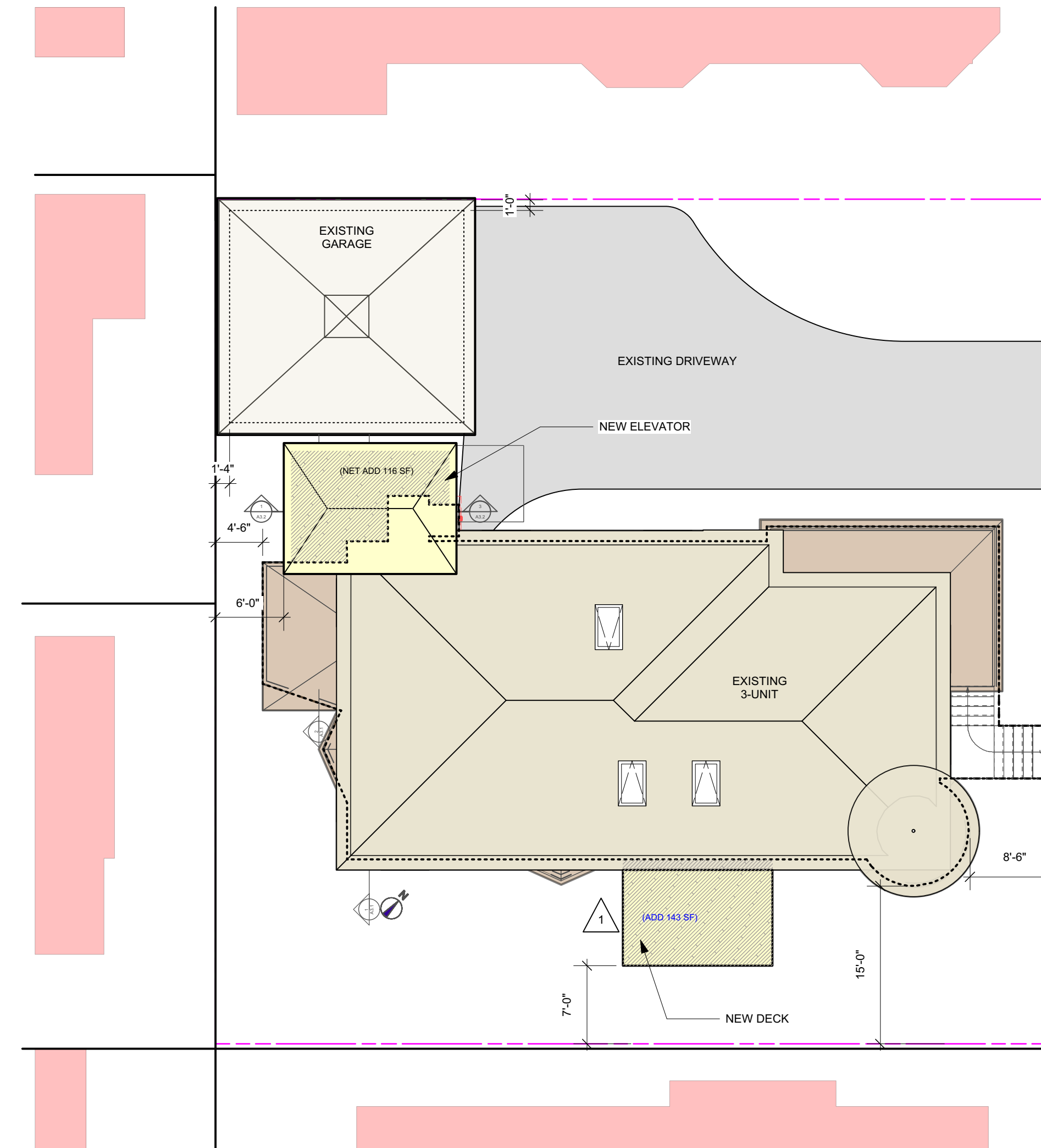
STRUCTURAL ENGINEER
SRG ENGINEERING
STEVE GRANT, PE, SECB
207-657-7323

OWNER
MARY SHEA & WAVERLY DEUTSCH

DRAWING LIST

ARCHITECTURAL
A0.1 CODE & SITE PLANS
A0.2 DEMO PLANS
A1.1 FIRST FLOOR PLAN
A1.2 SECOND FLOOR PLAN
A1.3 THIRD FLOOR PLAN
A2.1 EXTERIOR ELEVATIONS
A2.2 EXTERIOR ELEVATIONS
A3.1 SECTIONS & SCHEDULES
A3.2 SECTIONS
A4.1 KITCHEN ELEVATIONS
A4.3 BATH ELEVATIONS

STRUCTURAL
S1.0 FOUNDATION PLAN
S1.1 FRAMING PLANS



2 PROPOSED SITE PLAN DIAGRAM
Scale: 1" = 10 ft

EXISTING FOOTPRINT AT GRADE
EXISTING ROOF LINE
PROPOSED STRUCTURE
NET FOOTPRINT INCREASE

PERMIT SET

		Design Firm RESIDENTIAL DESIGN STUDIO, LLC Carol A. Morrisette 21 Chestnut Street, Suite 306 Portland, Maine 04101 T 207-699-4184 C 207-671-7965	Project Title SHEA & DEUTSCH 86 MORNING STREET PORTLAND, MAINE	Sheet Status PROGRESS SET Project Number 16.60 Drawn By AC/CM Sheet Scale AS NOTED CAD File Number
		Revisions 1 5/10/17 - CODE REDLINES 2 3	Sheet Title CODE & SITE PLAN	Date 15 APRIL 2017 Sheet No. A0.1