

02-1079

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>29 MORNING ST, PORTLAND, ME</u>		
Total Square Footage of Proposed Structure <u>2362+-</u>	Square Footage of Lot <u>3334</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>3</u> Block# <u>C</u> Lot# <u>15</u>	Owner: <u>JEFF DAVISON</u>	Telephone: <u>775-7137</u>
Lessee/Buyer's Name (If Applicable) <u>N/A</u>	Applicant name, address & telephone: <u>JEFF DAVISON</u> <u>29 MORNING ST.</u> <u>PORTLAND, ME 04101</u>	Cost Of Work: \$ <u>12,000</u> Fee: \$ <u>330.00</u>
Current use: <u>Single Family</u>		
If the location is currently vacant, what was prior use: <u>N/A</u>		
Approximately how long has it been vacant: <u>N/A</u>		
Proposed use: <u>SINGLE FAMILY RESIDENCE</u>		
Project description: <u>extending cable w/ dormer two decks</u>		
Contractor's name, address & telephone: <u>CURTIS HEWITT 625-8854</u> <u>CURTIS HEWITT 40 JEFF DAVISON 29 MORNING ST. PORTLAND, ME 04101</u>		
Who should we contact when the permit is ready: <u>JEFF DAVISON</u>		
Mailing address: <u>29 MORNING ST PORTLAND, ME 04101</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>775-7137(H)</u> <u>831-7582 (cell)</u>		

second + third floor decks
5' x 25'
100' deck
19'7" x 134'

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Jeff Davison</u>	Date: <u>9/19/02</u>
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This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BUILDING DEPARTMENT

PERMIT

Permit Number: 021079

Please Read Application And Notes, If Any, Attached

Jeff Davison

This is to certify that ~~Giles Ralph WE~~ &/Applicant

has permission to Extending Gable with Dormer and (2) 5' Decks and (1) 12' x 3'4" Rooftop Deck

AT 29 Morning St 003 C015001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and work in progress must be reported before this building or part thereof is closed or closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____
Department Name

Alfred August 10/16/02
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

2-1079

Building

Approved with Conditions

Mike Nugent

10/16/2002



Mike Nugent

10/16/2002

Code Compliant Guards (36 inches in height with openings less than 4 inches without a ladder design) are required on both sides of the stairs

09/19/2002

gad

10/16/2002

mjn

Sec. 14-433. Lots of record and accessory structure setbacks for existing buildings.

Any lot of record as of June 5, 1957, and held under separate and distinct ownership from adjacent lots and having a street frontage of forty (40) feet, or to which a means of access has been previously approved by the city council as provided elsewhere in this article, may be considered a buildable lot in any residential zone except as provided below for island residential zones, with a minimum lot size of five thousand (5,000) square feet, except that a lot in the R-6 zone may have a minimum lot size of three thousand (3,000) square feet, provided that the applicable yard dimensions can be met.

A lot in the R-1, R-2, R-3, R-4, R-5, R-5A or R-6 zones that was described in a subdivision plat approved by the planning board after June 5, 1981, or a lot of record that conformed to the applicable lot size requirement, lot width and street frontage as of June 5, 1984, shall be considered a buildable lot, provided that the applicable yard dimensions can be met.

Where such a lot has a principal structure which existed as of July 19, 1988, an accessory structure or building addition may be located within the following side and rear yards, provided that the normal applicable yard requirements cannot be met:

- a. R-1, R-2:

Rear yard: Ten (10) feet.

Side yard: Five (5) feet.
- b. R-3, R-4, R-5, R-5A, R-6:

Rear yard: Five (5) feet.

Side yard: Five (5) feet.

Any lot of record as of July 15, 1985, and held under separate and distinct ownership from adjacent lots and meeting the applicable street frontage requirements of that time may be considered a buildable lot in the IR-1 and IR-2 zones, provided that the applicable yard dimensions can be met and provided further that a lot in the IR-1 zone shall have a minimum area of ten

thousand (10,000) square feet and a lot of the IR-2 zone shall have a minimum area of six thousand five hundred (6,500) square feet unless it is served by both public sewer and public water, in which case it shall have a minimum area of five thousand (5,000) square feet.

A lot in the IR-1, IR-2 and I-B zones that was described in a subdivision plat approved by the planning board after July 15, 1982, shall be considered a buildable lot, provided that the applicable yard dimensions can be met.

(Code 1968, § 602.19.L; Ord. No. 539-84, 5-7-84; Ord. No. 32-85, § 1, 7-15-85; Ord. No. 91-88, 7-19-88; Ord. No. 310-89, 1-30-89; Ord. No. 166-89, 12-11-89)

***Editor's note--**Ord. No. 91-88, adopted July 19, 1988, amended § 14-433 to read as herein set out. See also the editor's note to Art. III of this chapter for additional provisions relative to Ord. No. 91-88. Subsequently, § 14-433 was amended by Ord. No. 310-89, adopted Jan. 30, 1989, to read as set out, which ordinance further provided that it be applicable to all pending proceedings and be enacted as an emergency.

Sec. 14-434. Corner clearance.

No obstruction higher than three and one-half (3 1/2) feet above the lowest elevation at the curblineline shall be permitted on a corner lot within the area of a triangle formed by a line intersecting the street lines of the intersecting streets at points twenty-five (25) feet from the corner, unless said obstruction is located in the side or rear yard and is reviewed by the public works authority and found not to be a traffic or public safety hazard. For the purpose of this section, the word "obstruction" shall mean any shrub, wall, fence, temporary building, sign, a pile of material, but shall not include permanent buildings or structures where permitted elsewhere in this article.

(Code 1968, § 602.19.M; Ord. No. 247-97, 4-9-97)

Sec. 14-435. Unsewered residential district.

Where a lot in a residence zone is not served by public sewers and septic tank disposal systems are required, the minimum lot area required shall be determined from the following table, except that on the islands in Casco Bay, such variation as shall be approved by the health officer may be permitted in the minimum required lot areas:

roof signs, flag poles, chimneys, smokestacks, radio or television masts, water tanks, or silos may be erected above the height limitation herein prescribed for buildings.

(b) *Reserved.*

(Code 1968, § 602.19.I; Ord. No. 428-83, § 1, 4-25-83; Ord. No. 36-89, § 3, 6-28-89)

Sec. 14-431. Yards.

The height in stories or feet of that part of the principal building adjoining a yard shall be used in determining the required width or depth of that yard, but in no case shall any higher part of the building be closer to the property line than width or depth of yard required for that height. In case an addition is to be made to a building which existed on June 5, 1957, the side yard spaces of which complied with the ordinance in effect on that date, the aggregate side yards may be the same as required on that date, provided the yard on the side where the addition is intended would comply with the minimum width required by the present ordinance. Yards as prescribed for residential uses shall be required for an apartment house or hotel erected above the ground floor of a building where the ground floor is designed exclusively for business purposes.

(Code 1968, § 602.19.J)

Sec. 14-432. Swimming pools.

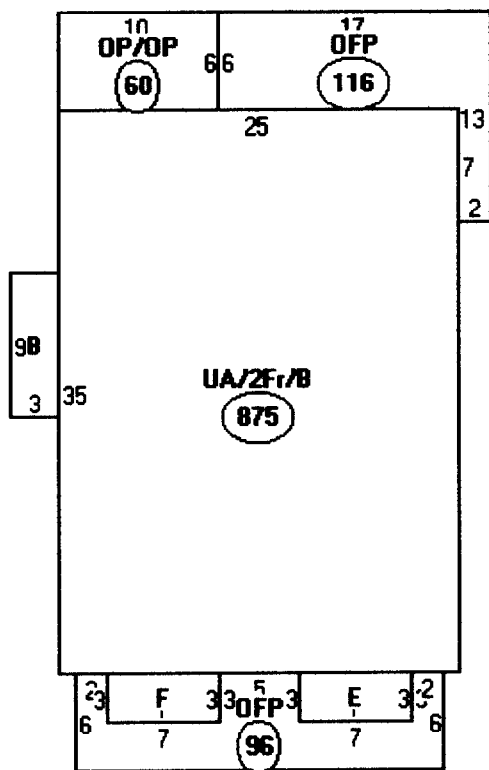
Outdoor swimming pools accessory to dwellings, apartment houses, hotels or motels shall be permitted on lots, provided the following conditions are met:

- (a) No swimming pool shall be sited in the front yard.
- (b) No part of any swimming pool shall be located closer than ten (10) feet from the principal structure, nor closer than ten (10) feet from the side or rear lot lines.

(Code 1968, § 602.19.K; Ord. No. 271-77, 5-16-77; Ord. No. 90-88, 7-19-88)

*Editor's note--Ord. No. 90-88, adopted July 19, 1988, amended § 14-432 to read as herein set out. See also the editor's note to Art. III of this chapter for additional provisions relative to Ord. No. 90-88.





- Descriptor/Area
- A: UA/2Fr/B
875 sqft
 - B: 2FBAY/B
27 sqft
 - C: OP/OP
60 sqft
 - D: OFF
116 sqft
 - E: 2FBAY/B
21 sqft
 - F: 2FBAY/B
21 sqft
 - G: OFF
96 sqft

Application ID Number: 2-1079

Department: Zoning

Status: Approved with Conditions

Inspector: Marge Schmuckal

Comments: 29 Morning St

Approval Date: 10/07/2002

Issue On Date: 09/20/2002

OK to Issue Permit

Name: Marge Schmuckal

Date: 10/07/2002

Page: 2

Conditions Section:

This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.

This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.

It is understood that the previously proposed roof deck with the open, exterior stairway is NOT part of this approval, and such plans have been withdrawn from consideration.

Create Date: 09/19/2002

By: gad

Update Date: 10/08/2002

By: mes

FRAMING SPECIFICS FOR IMPROVEMENTS AT 29 MORNING STREET

DECKS

EXISTING (1ST FLOOR)

6 – 4” X 4” POSTS 6 FT. ON CENTER ON TOP OF 6”X6” POSTS SETTING ON 10” SONOTUBES
2X8 FLOOR JOISTS 16 “ ON CENTER
CAPS 2/4 (RAILING) 1.5” BALISTERS 5.5”ON CENTER
FIRST FLOOR DECK ROOF FRAMING-2 / 2X8’S COVERED WITH TRIM ON DECK PERIMETER.
(FIRST FLOOR TIMBER DIAMETER CAN BE INCREASED IF REQUIRED)

TO BE BUILT

2ND & 3RD FLOOR DECKS WILL BE 2X6 FRAMING WITH 7-8 FOOT SPAN / 16” ON CENTER
2 X 6 CAP (HANDRAIL) BALISTERS 2X2 SPACED AS PER CODE RAILING HEIGHT 42” OR AS PER CODE.
ROOF TOP DECK WILL BR 2X6 FRAMING – 16” ON CENTER WITH 2 X 6 CAP (HANDRAIL) BALISTERS 2X2 SPACED AS PER
CODE RAILING HEIGHT 42” OR AS PER CODE. ACCESSED BY SPIRAL STAIRCASE FROM 3RD FLOOR DECK.

GABLE

2X6 FLOOR JOISTS 16” ON CENTER

EXISTING

2X6 ROOF RAFTERS 24” ON CENTER

TO BE BUILT

2X8 RAFTERS 16’ ON CENTER

EXTERIOR WALLS WILL BE 2X6 FRAMING 16” ON CENTER WITH R-19 INSULATION

DORMER

EXISTING

2X6 RAFTERS 16” ON CENTER (WILL BE TOTALLY REMOVED)

TO BE BUILT

2X10 RAFTERS 16” ON CENTER

EXTERIOR WALLS WILL BE 2X6 FRAMING 16” ON CENTER WITH R-19 INSULATION

BASEMENT

EXISTING

2X8 JOISTS – 16” ON CENTER ALL CROSS BRACED

CENTER BEAM 8X8

CROSS BEAM 6X8

CENTER BEAM BRACED WITH TWO EQUI-DISTANT 5” METAL COLUMNS AND MASSIVE CHIMNEY & SUPPORT

TO BE BUILT

N/A

IMPORTANT POINTS

OLDER LUMBER IS TRUE THE MEASURED DIMENSIONS UNLIKE APPROXIMATED “MODERN” LUMBER

ANY DORMER WALL WILL BE ON TOP OF EXISTING WALLS

2ND FLOOR EXTERIOR WALL TO 1ST HALL SUPPORTING WALL SPAN MEASURES 8.5 TO 9.5FEET

2ND FLOOR EXTERIOR WALL TO 2ND HALL SUPPORTING WALL SPAN MEASURES 10.5 TO 12 FEET

1ST FLOOR EXTERIOR WALL EAST TO INTERIOR SUPPORTING WALL MEASURES 12 FEET

1ST FLOOR EXTERIOR WALL WEST TO INTERIOR SUPPORTING WALL MEASURES 12 FEET

IMPROVEMENTS WILL NOT ADD WEIGHT TO EXISTING STRUCTURE

3RD FLOOR TO BE AN OPEN SPACE FOR READING, MUSIC, YOGA - NOT ADDING WEIGHT OF ADDITIONAL WALLS FOR BEDROOMS ETC.

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number 1 of 1
Parcel ID 003 C015001
Location 29 MORNING ST
Land Use SINGLE FAMILY

Owner Address GILES RALPH W E & KATHLEEN C JTS
 317 FARMERS ROW
 GROTON MA 01450

Book/Page 9327/172
Legal 3-C-15
 MORNING ST 29

3056 SF



Valuation Information

Land	Building	Total
\$40,110	\$75,810	\$115,920

Property Information

Year Built 1898	Style Old Style	Story Height 2	Sq. Ft. 1888	Total Acres 0.07	
Bedrooms 4	Full Baths 1	Half Baths	Total Rooms 7	Attic Unfin	Basement Full

Outbuildings

Type	Quantity	Year Built	Size	Grade	Condition
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Sales Information

Date	Type	Price	Book/Page
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Picture and Sketch

Picture Sketch

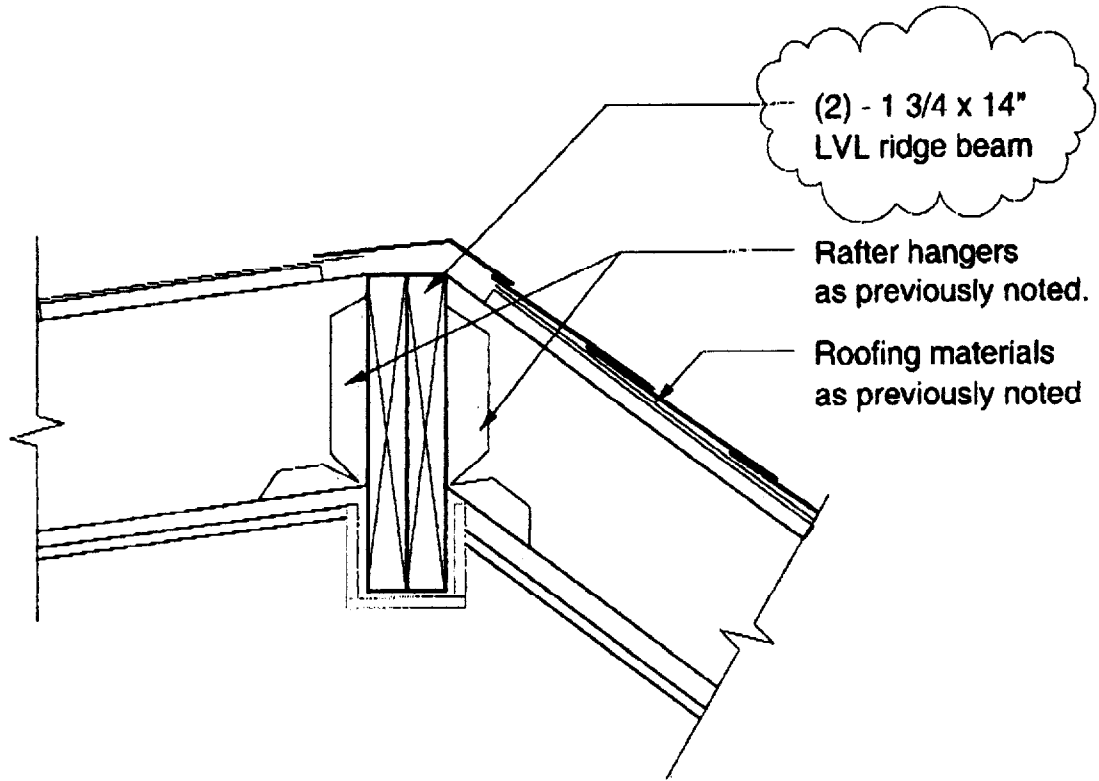
[Click here to view Tax Roll Information.](#)

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or e-mailed.

New Search

ATT: MIKE NUGENT

#874.8716



1 Revised ridge beam

SCALE: 1 1/2" = 1'-0"

Jeff & Diane Davison
Renovations to 33 Morning Street

Revised Ridge beam detail
Add to sheet A1.3

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

_____ **Pre-construction Meeting:** Must be scheduled with your inspection team upon receipt of this permit. Jay Reynolds, Development Review Coordinator at 874-8632 must also be contacted at this time, before any site work begins on any project other than single family additions or alterations.

- Footing/Building Location Inspection:** Prior to pouring concrete
- N/A **Re-Bar Schedule Inspection:** Prior to pouring concrete
- N/A **Foundation Inspection:** Prior to placing ANY backfill
- Framing/Rough Plumbing/Electrical:** Prior to any insulating or drywalling
- Final/Certificate of Occupancy:** Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

_____ **If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.**

_____ **CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED**

X [Signature]
Signature of applicant/designee

10/10/02
Date

[Signature]
Signature of Inspections Official

10/18/02
Date

CBL: 003 C 015 Building Permit #: 021079