



Application for Exemption from Site Plan Review

Portland, Maine

Department of Planning and Urban Development, Planning Division and Planning Board

PROJECT NAME: DAVISON
Donner + GARBE END

PROJECT ADDRESS: 33 Morning St. Portland, ME 04101

PROJECT DESCRIPTION: (Please Attach Sketch/Plan of Proposal/Development)

new Donner + GARBE END connecting to existing deck

CHART/BLOCK/LOT: 3-C-14

RECEIVED

CONTACT INFORMATION:

AUG 26 2009

OWNER/APPLICANT

CONSULTANT/AGENT

City of Portland
Planning Division

Name: Jeffrey Davison

Name: _____

Address: 29 Morning St.

Address: _____

Portland, ME

Zip Code: 04101

Zip Code: _____

Work #: 207-878-7770

Work #: _____

Cell #: 207-837-7582

Cell #: _____

Fax #: 207-878-7771

Fax #: _____

Home #: _____

Home #: _____

E-mail: jeffrey@firstportland.com E-mail: _____

Criteria for Exemptions:

(See Section 14-523 (4) on page 2 of this application)

	Applicant's Assessment Y(Yes), N(no), N/A	Planning Division Use Only
a) Is the proposal within existing structures?	<u>Y</u>	<u>yes - donors added</u>
b) Are there any new buildings, additions, or demolitions?	<u>N</u>	<u>donors - roof ext.</u>
c) Is the footprint increase less than 500 sq. ft.?	<u>N/A</u>	<u>yes</u>
d) Are there any new curb cuts, driveways or parking areas?	<u>N</u>	<u>no</u>
e) Are the curbs and sidewalks in sound condition?	<u>Y</u>	<u>yes</u>
f) Do the curbs and sidewalks comply with ADA?	<u>N/A</u>	<u>yes</u>
g) Is there any additional parking?	<u>N/A</u>	<u>no</u>
h) Is there an increase in traffic?	<u>N/A</u>	<u>no</u>
i) Are there any known stormwater problems?	<u>N/A</u>	<u>no</u>
j) Does sufficient property screening exist?	<u>Y</u>	<u>yes</u>
k) Are there adequate utilities?	<u>Y</u>	<u>yes</u>

Planning Division Use Only

Exemption Granted

Partial Exemption

Exemption Denied

1. The application states that the donor and roof change are to create a storage area. The application is exempt from site plan review as a storage area. If a residential use on other use is proposed for the upper floor, the plans need to be reviewed as a site plan.

2. This exemption from site plan review does not constitute a permit to begin work and the applicant shall obtain all applicable building permits from the Inspection Division.

Planner's Signature: Bachar Bahrndt

Date: Sept. 9, 2009

PROVISION OF PORTLAND CITY CODE
14-523 (SITE PLAN ORDINANCE)
RE: EXEMPTIONS FROM SITE PLAN REVIEW

Sec. 14-523. Approval required.

No person shall undertake any development without obtaining approval therefore under this article.

- (4) The Planning authority shall exempt from review under all standards in this article developments that meet all of the following requirements:
- a. The proposed development will be located within existing structures, and there will be no new buildings, demolitions, or building additions other than those permitted by subsection b of this section;
 - b. Any building addition shall have a new building footprint expansion of less than five hundred (500) square feet;
 - c. The proposed site plan does not add any new curb cuts, driveways, or parking areas; the existing site has no more than one (1) curb cut and will not disrupt the circulation flows and parking on-site; and there will be no drive-through services provided;
 - d. The curbs and sidewalks adjacent to the lot are complete and in sound condition, as determined by the public works authority, with granite curb with at least four (4) inch reveal, and sidewalks are in good repair with uniform material and level surface and meet accessibility requirements of the Americans with Disabilities Act;
 - e. The use does not require additional or reduce existing parking, either on or off the site, and the project does not significantly increase traffic generation;
 - f. There are no known stormwater impacts from the proposed use or any existing deficient conditions of stormwater management on the site;
 - g. There are no evident deficiencies in existing screening from adjoining properties; and
 - h. Existing utility connections are adequate to serve the proposed development and there will be no disturbance to or improvements within the public right-of-way.

A developer claiming exemption under this subsection shall submit a written request for exemption stating that the proposed meets all of the provisions in standards a-h of this subsection, including an itemized statement by a qualified professional. Upon receipt of such a request, the planning authority will visit the site to verify that the exemption is applicable due to compliance with the standards. The planning authority, after consultation with the public works authority, shall render a written decision within twenty (20) working days after receipt of a written request for exemption that contains all the information required by this subsection. If a full exemption is granted, the application shall be approved without further review under this article, and no performance guarantee shall be required. The planning authority may require full site plan review of a project that meets the criteria of this subsection if it determined that there is a substantial public interest in the project.

In the event that the planning authority determines that standards a and b of this subsection and at least four (4) of the remaining standards have been met, the planning authority shall review the site plan under the review standards in section 14-526 that are affected by the standards in this subsection that have not been met. An application that receives review by the planning board shall receive a complete review under the standards of section 14-526. The planning authority shall notify an applicant in writing that full or partial site plan review is required, the reasons for the decision, and the information that will be required for site plan review.

IMPORTANT NOTICE TO APPLICANT

An Exemption from site plan review does not exempt this proposal from other approvals or permits, nor is it an authorization for construction. You should first check with the Building Inspections Office, Room 315, City Hall (874-8703), to determine what other City permits, such as a building permit, will be required.

Planning Barbara Barhydt

September 9, 2009

Exemption for 33 Morning Street

- 1) The application states that the dormer and roof changes are to create storage area. The application is exempt from review as a storage area. If a residential use or other use is proposed for the upper level, the plans may need to be reviewed as a site plan.
- 2) This exemption from site plan review from site plan review does not constitute a permit to begin work and the applicant shall obtain all applicable building permits from the Inspection Division.

**** THIS EXEMPTION IS NOT A BUILDING PERMIT – PLEASE CHECK WITH
BUILDING INSPECTIONS PRIOR TO ANY WORK BEING DONE ****



09-0860

General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>33 Morning St.</u>		Square Footage of Lot	Number of Stories
Total Square Footage of Proposed Structure/Area <u>664</u>		<u>3800</u>	<u>3-4</u>
Tax Assessor's Chart, Block & Lot Chart# <u>3 C</u> Block# <u>14</u> Lot# <u>14</u>	Applicant *must be owner, Lessee or Buyer* Name <u>JEFFREY + DIANE DAVISON</u> Address <u>29 Morning St.</u> City, State & Zip <u>Portland, ME 04101</u>		Telephone: <u>207.831.7582</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	AUG 10 2009	Cost Of Work: \$ <u>14,000.</u> C of O Fee: \$ Total Fee: \$ <u>160.00</u>
Current legal use (i.e. single family) <u>THREE FAMILY</u>	Number of Residential Units <u>3</u>		
If vacant, what was the previous use? <u>MA</u>			
Proposed Specific use: <u>THREE FAMILY</u>	If yes, please name _____		
Is property part of a subdivision? <u>NO</u>			
Project description: <u>DORMER + GABLE END ON HIP ROOF. NOT PROPOSED AS LIVING SPACE.</u>			
Contractor's name: <u>CURTIS HEWITT</u>			
Address: <u>556 MIDDLE ROAD</u>			
City, State & Zip: <u>WOLWICH, ME 04579</u>	Telephone: <u>207.443.8854</u>		
Who should we contact when the permit is ready: <u>OWNER</u>	Telephone: <u>207.831.7582</u>		
Mailing address: <u>29 MORNING ST. PORTLAND, ME 04101</u>	<u>xx call Jeff</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Jeffrey Davison Date: 8/10/09

This is not a permit; you may not commence ANY work until the permit is issued

August 4th, 2009

Description of Use & Overview for Proposed Dormer

To Whom It May Concern:

I was told to include a brief letter explaining the use of my proposed building improvement to accompany my permit request.

It was brought to my attention that the roof at 33 Morning Street needed to be replaced a number of years back. I have nursed this roof along for as long as I was able since I knew the job would be costly and disruptive. This spring with its abundant rain, led me to discover the roof had developed additional small leaks and I knew it was time to make the repair.

It has been a wish of mine at some point to make a second floor of living space above for the 3rd floor apartment to take advantage of the fabulous Casco Bay view. The cost of doing this modification all at once is prohibitive and I prefer to do it in stages rather than finance myself into oblivion as many have done. Rather than put on a new roof and modify later, it would be less expensive more sensible to make any modifications to the roof now when contractors and materials will have the necessary lifts, ladders and staging on site to repair the roof and gutters.

What I would like to do is to build the dormer and gable, put in windows and doors per the plan, apply new roofing materials and make this improvement tight to the weather. This new space for now will be just storage area with access from the scuttle hatch in the ~~setting of the apartment below~~. At some point in the future, when I have digested this portion of the improvement and have additional funds available, I would like to apply for a 2nd permit to build a stairway, install the plumbing, electric and insulation, finishing the area as additional living space.

Due to lot size and parking this area cannot and will not be made into a 4th unit.

Respectfully,



Jeffrey Davison

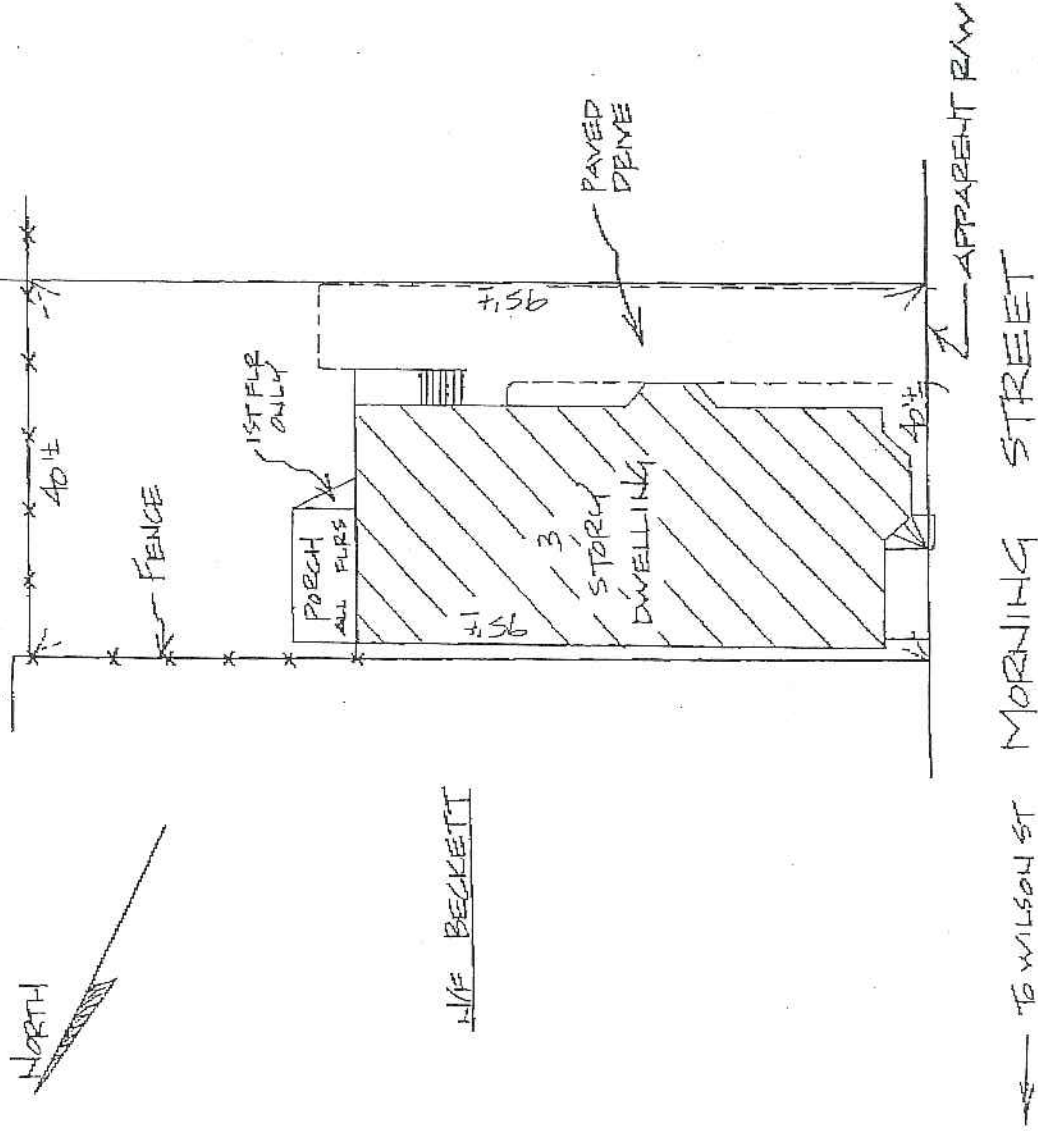
FOR MORTGAGE LENDER USE ONLY

GENERAL NOTES: (1) DISTANCES SHOWN ARE TAKEN FROM TITLE REFERENCES AND ARE NOT THE RESULT OF THIS MORTGAGE INSPECTION. (2) THIS MORTGAGE INSPECTION PLAN CONFORMS TO THE MAINE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS; CATEGORY 3, "MORTGAGE LOAN INSPECTIONS" AND MAY NOT REVEAL ANY CONFLICTS WITH ABUTTING DEEDS. (3) A STANDARD BOUNDARY SURVEY SHOULD BE PERFORMED TO RENDER A PROFESSIONAL OPINION AS TO PROPERTY LINE LOCATIONS WITH RESPECT TO DWELLINGS. (4) THIS MORTGAGE INSPECTION IS TO BE USED BY THE BELOW LISTED TITLE COMPANY AND OR ATTORNEY AND ITS TITLE INSURER FOR MORTGAGE PURPOSES ONLY.

ADDRESS: 33 MORNING STREET
PORTLAND, ME

W/ MCARTHUR
& BARKER

DATED: 12.30.1983
SCALE: 1" = 20'



APPLICANT: JEFF DAVISON
OWNER: LINDA CARL
LENDER: EMPIRE OF AMERICA REALTY

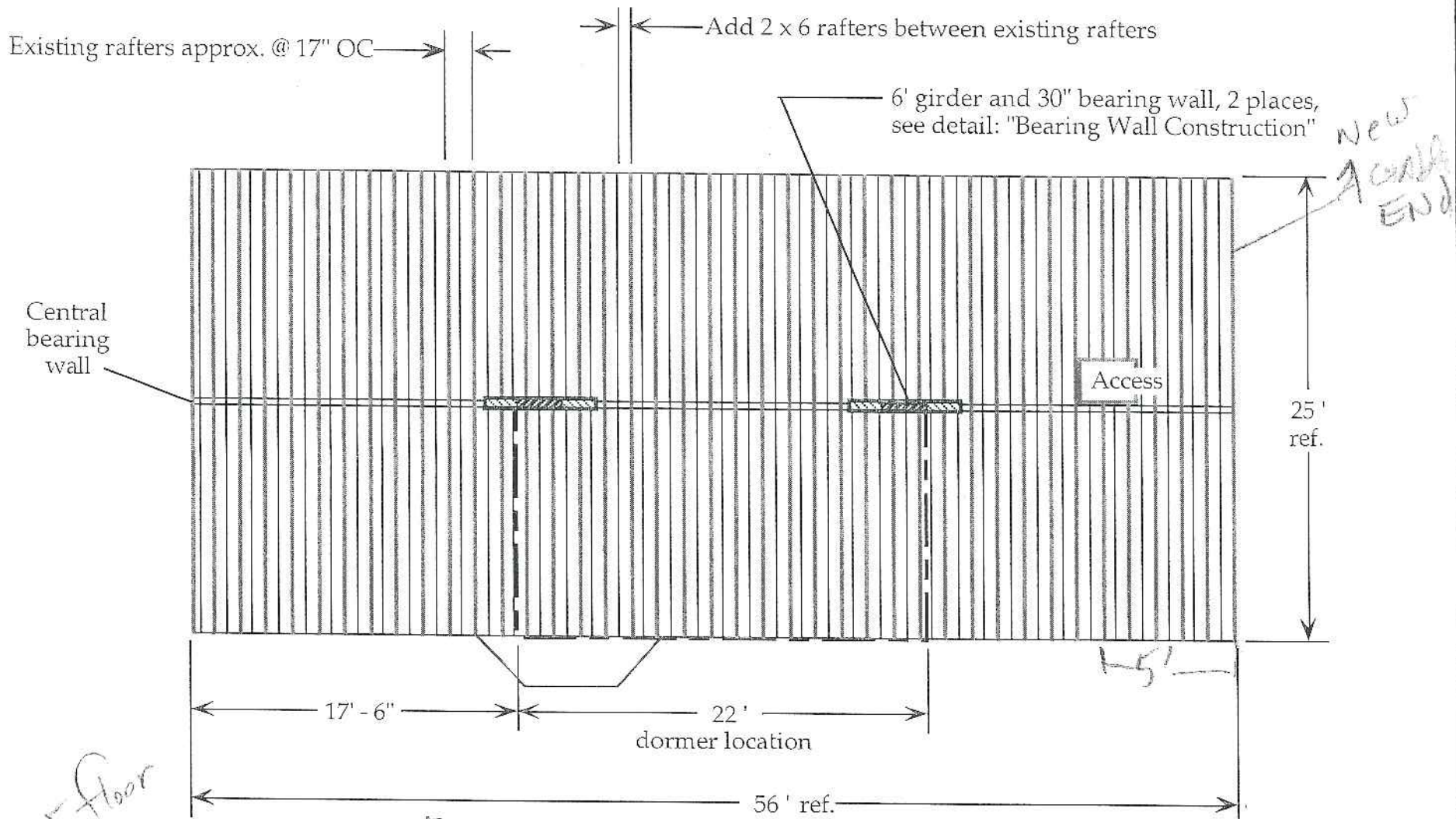
REQUESTING PARTY: FIRST TITLE OF MAINE
ATTORNEY: THOMAS W. CLOUTIER
FILE No. 93533

TITLE REFERENCES:

DEED BOOK: 9075 PAGE: 282

NADEAU & LODGE

PROFESSIONAL LAND SURVEYORS
85 RACKLEFF STREET, PORTLAND, ME, 04103
TELEPHONE: 843-1111 FAX: 843-1112

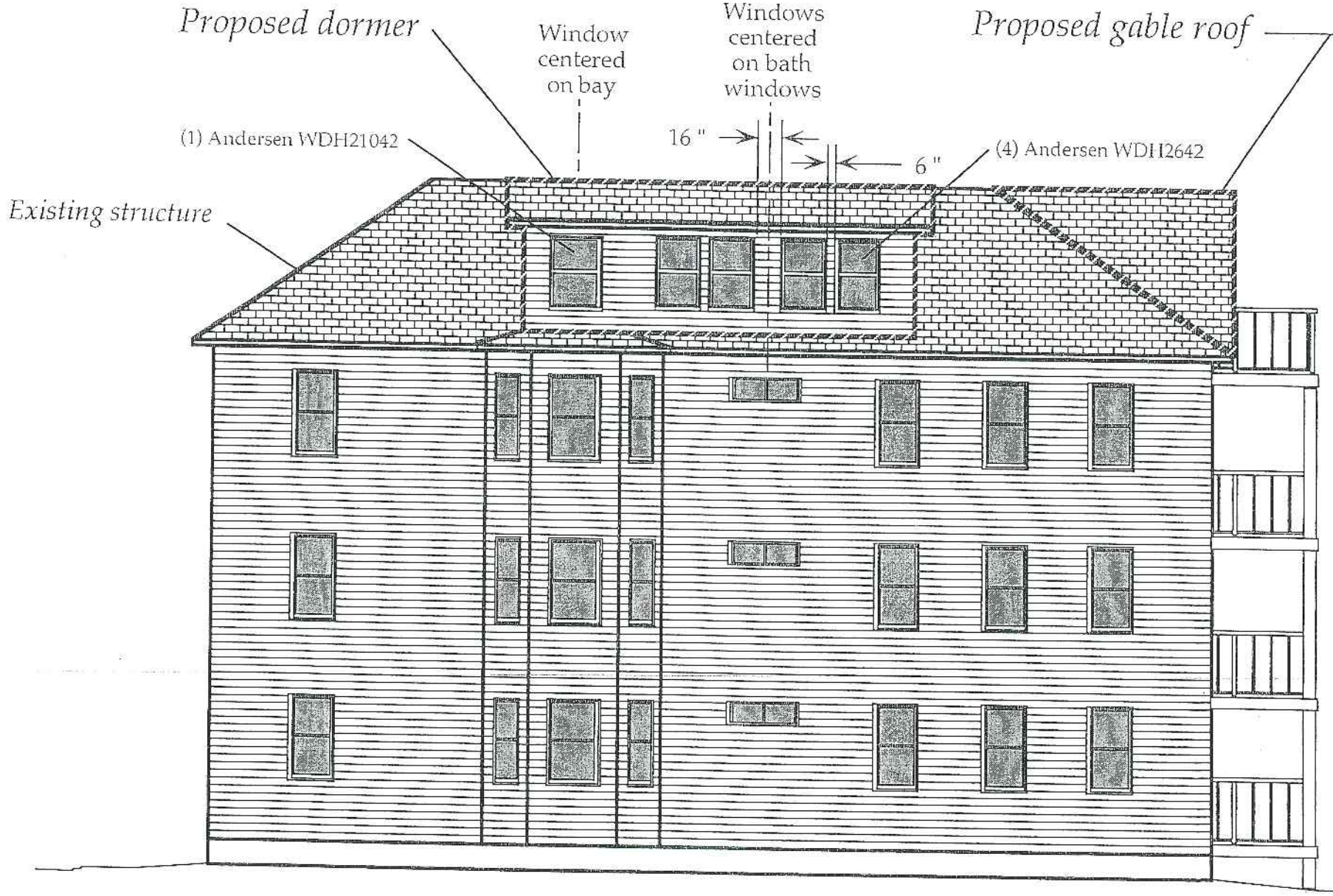


New floor
 area from
 1' down to
 6" x 22' = 132 sq ft
 13.5' x 56' = 756 sq ft existing
 25' x 56' = 1400 sq ft increase
 TOTAL

Drawing: Davison - Attic Floor Framing

Date: Aug. 5, '09

Scale: 1" = 8'



Drawing: **Ledgewood House - South Elevation, Dormer Detail**

Date: **Aug. 5, '04**

Scale: **1" = 8'**

Whole Home Resource

3 Tide Mill Lane, Scarborough, ME 04074

WholeHomeResource.com

207.883.6050