

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK  
**CITY OF PORTLAND**

Application And Notes, If Any, Attached

**PERMIT**

**PERMIT ISSUED**  
Permit Number: 050157  
**MAR - 4 2005**  
**CITY OF PORTLAND**

This is to certify that Salem Anthony/Casco Bay  
has permission to stair renovation; balcony; roof deck, bathroom addition  
AT 84 EASTERN PROMENADE

003 C01000

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is altered or closed-in. **48 HOUR NOTICE IS REQUIRED.**

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

**OTHER REQUIRED APPROVALS**

Fire Dept. *[Signature]*

Health Dept.

Appeal Board

Other \_\_\_\_\_ Department Name

*[Signature: Jamie Bouke]* 3/3/05  
Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

**City of Portland, Maine - Building or Use Permit Application**  
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No:	05-0157	Issue Date:	MAR - 4 2005	FBI:	003 C010001
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Location of Construction: 84 Eastern Promenade	Owner Name: Salem Anthony	Owner Address: 1433 Rydal Rd	Phone:
Business Name:	Contractor Name: Casco Bay Ventures	Contractor Address: 223 Woodville Road Falmouth	Phone: 2077977152
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Multi Family	Zone: R-6

Past Use: Multi - Family - four residential dwelling units	Proposed Use: Multi-Family -four residential dwelling units/ stair renovation, balcony, roof deck, bathroom addition	Permit Fee: \$651.00	Cost of Work: \$70,000.00	(CEO District: 1
<p><i>legal use: four family residential dwelling units</i></p>		FIRE DEPT <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R2 Type: 5B IBC-2003	
Proposed Project Description: stair renovation, balcony, roof deck, bathroom addition		Signature: <i>[Signature]</i>	Signature: <i>AMB 3/3/05</i>	
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)				
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied				
Signature		Date		

Permit Taken By: dmartin	Date Applied For: 02/11/02/2005	<b>Zoning Approval</b>		
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<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <i>N/A</i> <input type="checkbox"/> Wetland <i>using H-436</i> <input type="checkbox"/> Flood Zone <i>EC to Allow using 18.7%</i> <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan <i>Needs an exemption given to PLANNING</i> Major <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> <i>ok with conditions</i> Date: <i>3/2/05</i>	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	<b>Historic Preservation</b> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>[Signature]</i>
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**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT \_\_\_\_\_ ADDRESS \_\_\_\_\_ DATE \_\_\_\_\_ PHONE \_\_\_\_\_

RESPONSIBLE PERSON IN CHARGE OF WORK. TITLE \_\_\_\_\_ DATE \_\_\_\_\_ PHONE \_\_\_\_\_

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 05-0157	<b>Date Applied For:</b> 02/10/2005	<b>CBL:</b> 003 C010001
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<b>Location of Construction:</b> 84 Eastern Promenade	<b>Owner Name:</b> Salem Anthony	<b>Owner Address:</b> 1433 Rydal Rd	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b> Casco Bay Ventures	<b>Contractor Address:</b> 223 Woodville Road Falmouth	<b>Phone</b> (207) 797-7752
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Alterations - Multi Family	

<b>Proposed Use:</b> Multi-Family -four residential dwelling units/ stair renovation, balcony, roof deck, bathroom addition	<b>Proposed Project Description:</b> stair renovation, balcony, roof deck, bathroom addition
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**Dept:** Zoning      **Status:** Approved with Conditions      **Reviewer:** Marge Schmuckal      **Approval Date:** 02/24/2005**Note:** 2/24/05 using 18.7% out of 80% expansion as allowed under 14-436- gave a site plan exemption to planning **Ok to Issue:** 

- 1) Separate permits shall be required for future decks, sheds, pools, and/or garages.
- 2) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.
- 3) This property shall remain a four (4) family residential dwelling. Any change of use shall require a separate permit application for review and approval. Residential dwelling units shall be leased out in accordance with the Land Use Ordinance.
- 4) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

**Dept:** Building      **Status:** Approved with Conditions      **Reviewer:** Jeanine Bourke      **Approval Date:** 03/03/2005**Note:** 3/2/05 spoke w/Will T. About structurals for the balcony, roof drain leader & stair profile. Met w/MJN about **Ok to Issue:** to discuss details. Conditions will be addressed on approved permit.

- 1) Stair profile needs to meet the IBC code requirements as outlined on plans, no nosing allowed.
- 2) Details on where the new roof dram leader ties in must be submitted to this office.
- 3) Construction on the new 3rd floor balcony cannot commence until engineered details are submitted
- 4) Separate permits are required for any electrical, plumbing, or heating

**Dept:** Fire      **Status:** Approved      **Reviewer:** Lt. MacDougal      **Approval Date:** 02/28/2005**Note:** **Ok to Issue:** **Comments:**

03/01/2005-mjn: Called designer re the scope of the project



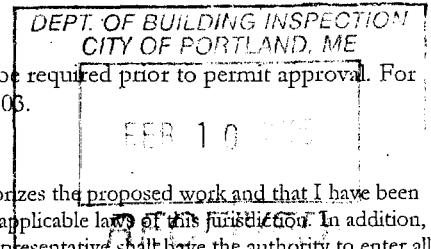
# Commercial Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

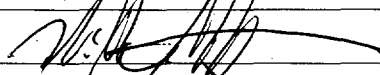
Location/Address of Construction: <b>84 Eastern Promenade, Portland, Maine</b>		
Total Square Footage of Proposed Structure <b>315</b>	Square Footage of Lot <b>8,842</b>	
Tax Assessor's Chart, Block & Lot Chart# <b>3</b> Block# <b>C</b> Lot# <b>10</b>	Owner: <b>Anthony Salem</b>	Telephone: <b>215-885-2421</b>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <b>TFH Architects 100 Commercial Street Portland, ME 04101</b>	cost Of Work: \$ <b>70,000</b>  Fee: \$ <b>651.00</b>
Current Specific use: <u><b>Residential</b></u>		
Proposed Specific use: <u><b>same</b></u>		
Project description:  <b>stair renovation; balcony and roof deck additions; bathroom addition</b>		
Contractor's name, address & telephone: <b>Casco Bay Ventures, 223 Woodville Rd., Falmouth Maine 04105 207-797-7752</b> <i>Wally Gault</i>		
Who should we contact when the permit is ready: _____		
Mailing address: <b>Will Tinkelenberg, TFH Architects</b>		
Phone: <b>207-775-6141</b>		

Please submit all of the information outlined in the Residential Application Checklist. Failure to do so will result in the automatic denial of your permit.

At the discretion of the Planning and Development Department, additional information may be required prior to permit approval. For further information stop by the Building Inspections office, room 315 City Hall or call 874-8703.



I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: 	Date: <b>February 9, 2005</b>
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Permit Fee: \$30.00 for the first \$1000.00 Construction Cost, \$9.00 per additional \$1000.00 cost

**This is not a Permit; you may not commence any work until the Permit is issued.**

*✓#  
12645*

T A X   R E C E I P T  
City of Portland, Maine  
P O Box 544  
Portland ME 041120544  
207-874-8856

Paid by: CASCO BAY VENTURES  
84 EASTERN PROM  
PORTLAND ME 04101

Receipt#: 32563 / 459463  
Batch: TONYAM 2/10/2005 00  
Date paid: 2/10/2005

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Account ID: 448 Parcel Id 003 - C-010-001  
84 EASTERN PROMENADE REAL ESTATE TAX  
Owner: HORTON EVA B 3-C-10  
ACCOUNT # H39253 EASTERN PROMENADE 84  
EAST END MORNING ST  
8800SF  
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Year Value Rate Base Pen & Int Cell fee Total paid  
2005 1 RE TAX 209270 26.53000 2,775.97 75.95 2,851.92

Printed: 2/10/05 11:41:56

Receipt total: 2,851.92

Tender: CHECK 1471 2,851.92

UNPAID BALANCE AS OF: 2/10/05  
2005 2 RE TAX Base Pen & Int Coll fee Total unpaid  
2,775.97 2,775.97

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

**Current Owner Information**

Card Number	1 of 1
Parcel ID	003 C010001
Location	84 EASTERN PROMENADE
Land Use	FIVE TO TEN FAMILY
Owner Address	SALEM ANTHONY 1433 RYDAL RD RYDAL PA 19046
Book/Page	21614/219
Legal	3-C-10 EASTERN PROMENADE 84 MORNING ST 8800SF

**Valuation Information**

Land	Building	Total
\$76,340	\$132,930	\$209,270

**Building Information**

Bldg #	Year Built	# Units	Bldg Sq. Ft.	Identical Units
1	1900	54	5712	1
Total Acres	Total Buildings	Sq. Ft.	Structure Type	Building Name
0.202	5712		APARTMENT - GARDEN	

**Exterior/Interior Information**

Section	Levels	Size	Use
1	B1/B1	1528	UNFINISHED RES BSMT
1	01/01	1528	APARTMENT
1	02/02	1507	APARTMENT
1	03/03	1149	APARTMENT
	Height	Walls	Heating
	7		
	8	FRAME	HOT AIR
	8	FRAME	HOT AIR
	8	FRAME	HOT AIR

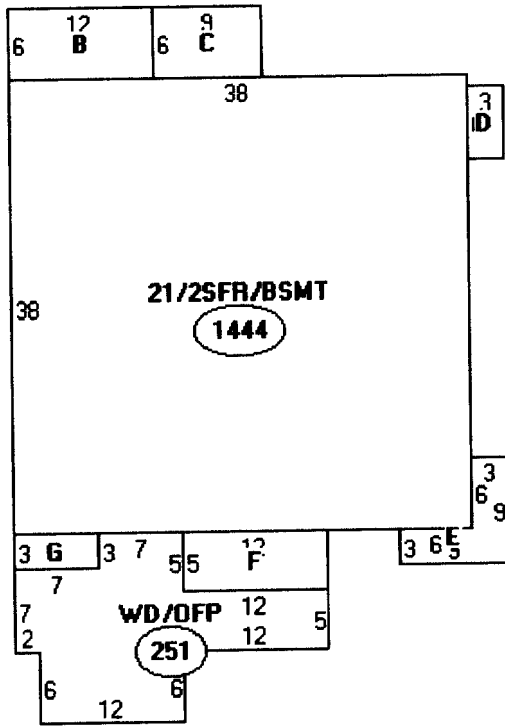
**Building Other Features**

Line	Structure Type	Identical Units
2	PORCH - OPEN	1
2	PORCH - ENCL	1
2	PORCH - ENCL	1
2	PORCH - COVERED	1

**Yard Improvements**

Year Built	Structure Type	Length or Sq. Ft.	# Units
1972	ASPHALT PARKING	1386	1





- Descriptor/Aj
- A: 21/2SFR/BS  
1444 sqft
  - E: WD  
72 sqft
  - C: EFP  
54 sqft
  - D: 2SFRBAY/B:  
18 sqft
  - E: 3SFRBAY/B:  
45 sqft
  - F: EFP  
60 sqft
  - G: WD/1SFR/B  
21 sqft
  - H: WD/DFP  
251 sqft



# Transmittal Letter

Project: 84 Eastern Promenade

Project No 0429

Date: February 9, 2005

To: Jeanie Bourke  
 Inspections  
 City Hall Room 315  
 389 Congress Street  
 Portland, Maine 04101

Fax No.:

If enclosures are not as noted, please inform us immediately.

We transmit:

- herewith       under separate cover via UPS  
 in accordance with your request \_\_\_\_\_

For your:

- approval       distribution to parties       information  
 Review and Com( ) record  
 use       Signature

The following:

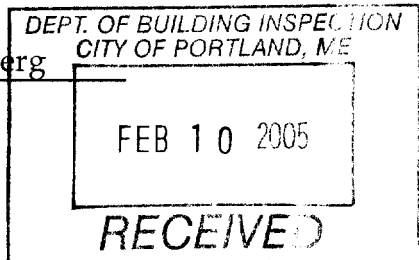
- Drawings       Shop Drawing Prints/Specifi ( ) Samples  
 Specifications       Shop Drawing Reproducibles( ) Product Literature  
 Change Order       Slides

Copies	Date	Rev. No.	Description	Action
1	02-09-05		Building Permit Application	
1	"		Permit Fee, check #12645	
1 Set	"		Construction Drawings G-1.1; S-1.1- 1.3; A-1.1 - 1.5	
1	03-25-04		Plot Plan (Owen Haskell Land Title Survey)	
1 Set	na		11x17 Reductions	
1	02-09-05		CD with PDF Files of Architectural Drawings	

- Action Code: A. Action indicated on item transmitted      D. For signature and forwarding as noted below under Remarks  
 B. No action required  
 C. For signature and return to this office      E. See Remarks below

Remarks: \_\_\_\_\_

Copies to:	(with enclosures)	<b>TFH Architects, P. A.</b>
Wally Geyer	x	100 Commercial Street
File	O	Portland Maine 04101
	x	Telephone 207-775-6141
	O	Fax 207-773-0194
		By: Will Tinkelenberg



Zoning Division  
Marge Schmuckal  
Zoning Administrator

Department of Planning & Development  
Lee Urban, Director



**CITY OF PORTLAND**

July 15, 2004

Keller Williams Realty/ The Hatcher Group  
49 Dartmouth Street  
Portland, ME 04101  
Attn: Robin Fallon & John Hatcher

RE: **84** Eastern Promenade – 003-C-010 – R-6 Residential Zone

Dear Robin & John,

I am in receipt of your request to determine the legal number of dwelling units within the building located at 84 Eastern Promenade. A research of our files show that the most recently approved building permit allowed four (4) family dwelling units at this property. A certificate of occupancy was issued for the four family dwelling units on January 1, 1993. Copies of the permit and certificate of occupancy are attached.

Please note that any change of use from the four legal dwelling units will require a separate permit application for reviews and approvals.

Very truly yours,

Marge Schrnuckal  
Zoning Administrator

CC: File

all the roofs of ordinary structures, it is sometimes hard to distinguish it from among the other roofs which have been added as additions to it.

**Gambrel Roof.** The gambrel roof is a variation of the simple pitch or gable roof and was probably developed from it to meet a new condition, namely, the necessity for more space in the portion of the building immediately under the roof surface. This form of roof has a sort of gable at each end of the building, but the gable is not triangular in shape, as is shown in Fig. 240. It will be seen that the *roof* surface has been broken near the middle on both

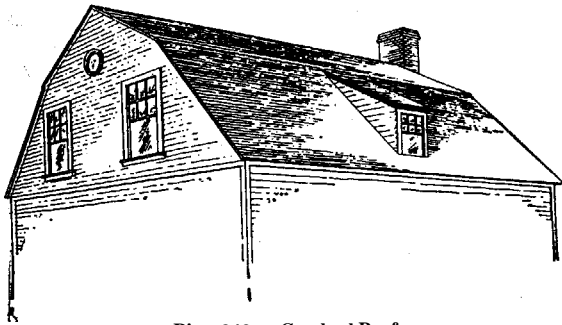


Fig. 240. Gambrel Roof

sides of the building and that the portion below the break has been made steeper, and the portion above the break flatter than would be the case in a simple roof surface for a building of the same size with a gable roof. This arrangement allows of considerably more space and much greater head room in the attic. The position of the break in the roof surface may be varied to suit the taste of the designer, and the slopes of both the upper and the lower parts of the roof may be arranged as desired. Gambrel roofs may be seen on many old houses built in the Colonial days, and they have lately come again into favor for the roofs of cottages and suburban or country houses.

**Mansard Roof.** The mansard roof, called by the name of the architect who introduced it, slopes very steeply from each wall toward the center, instead of from two opposite walls only, and it has a nearly flat *deck* on top. This form of roof gives better rooms in the attic space than does either of the two forms already described. It was at one time very popular for large suburban and

city houses, but it is now seldom employed. The mansard roof is shown in Fig. 241. It bears a close relation to the so-called *hip* roof.

**Hip Roof.** The hip roof also slopes from all four walls toward

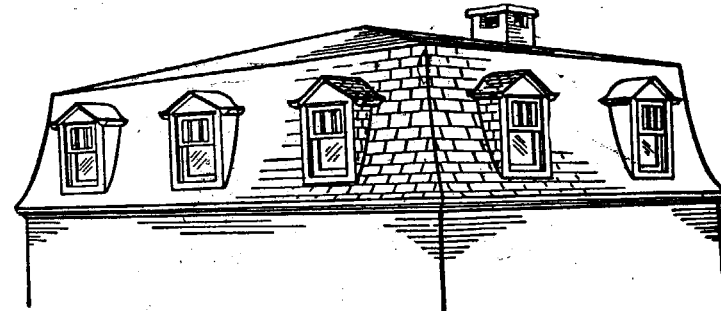


Fig. 241. Mansard Roof



Fig. 242. Hip Roof with Ridge

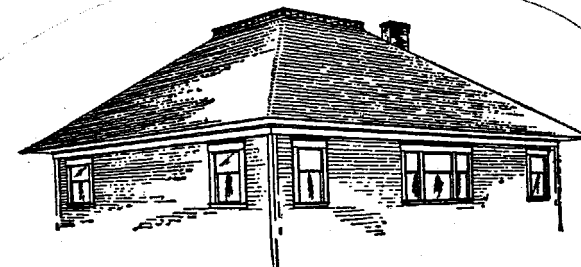
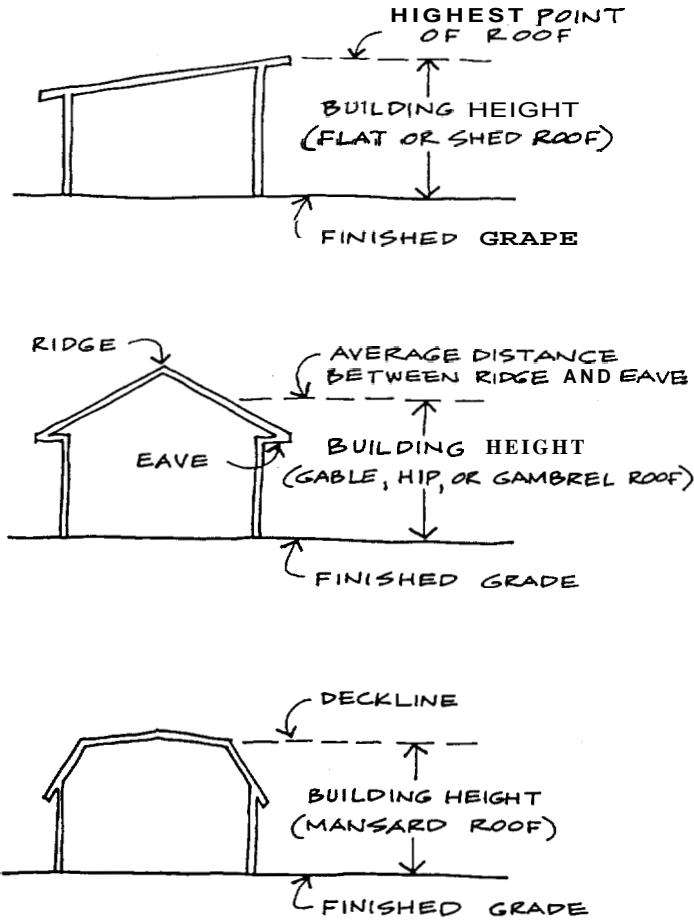
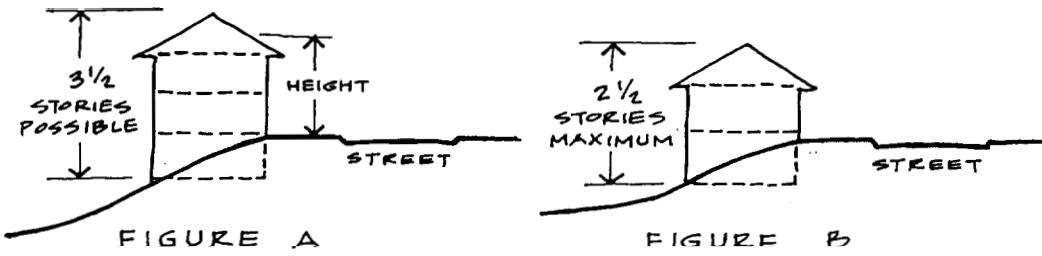


Fig. 243. Hip Roof with Deck

the center, but not so steeply as does the mansard roof. It is usually brought to a point or a ridge at the top, as in Fig. 242, but sometimes it is finished with a small flat deck, as in Fig. 243. The hip roof as a rule allows of very little useful space in the attic, and



BUILDING HEIGHT

Figure 12

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