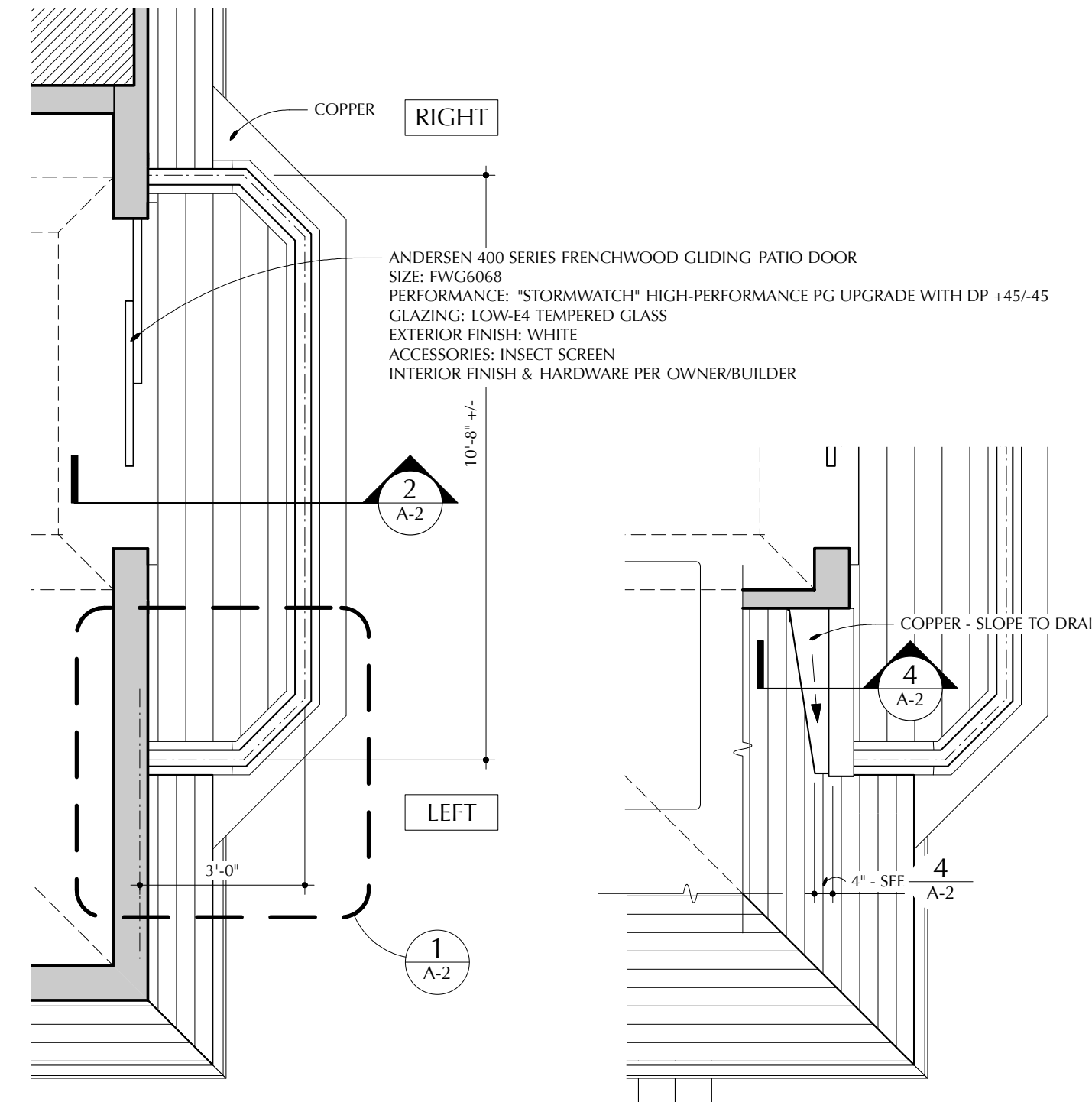


1 A-1 **SOUTHEAST ELEVATION**  
Scale: 3/8" = 1'-0"



2 A-1 **THIRD FLOOR PLAN**  
Scale: 3/8" = 1'-0"

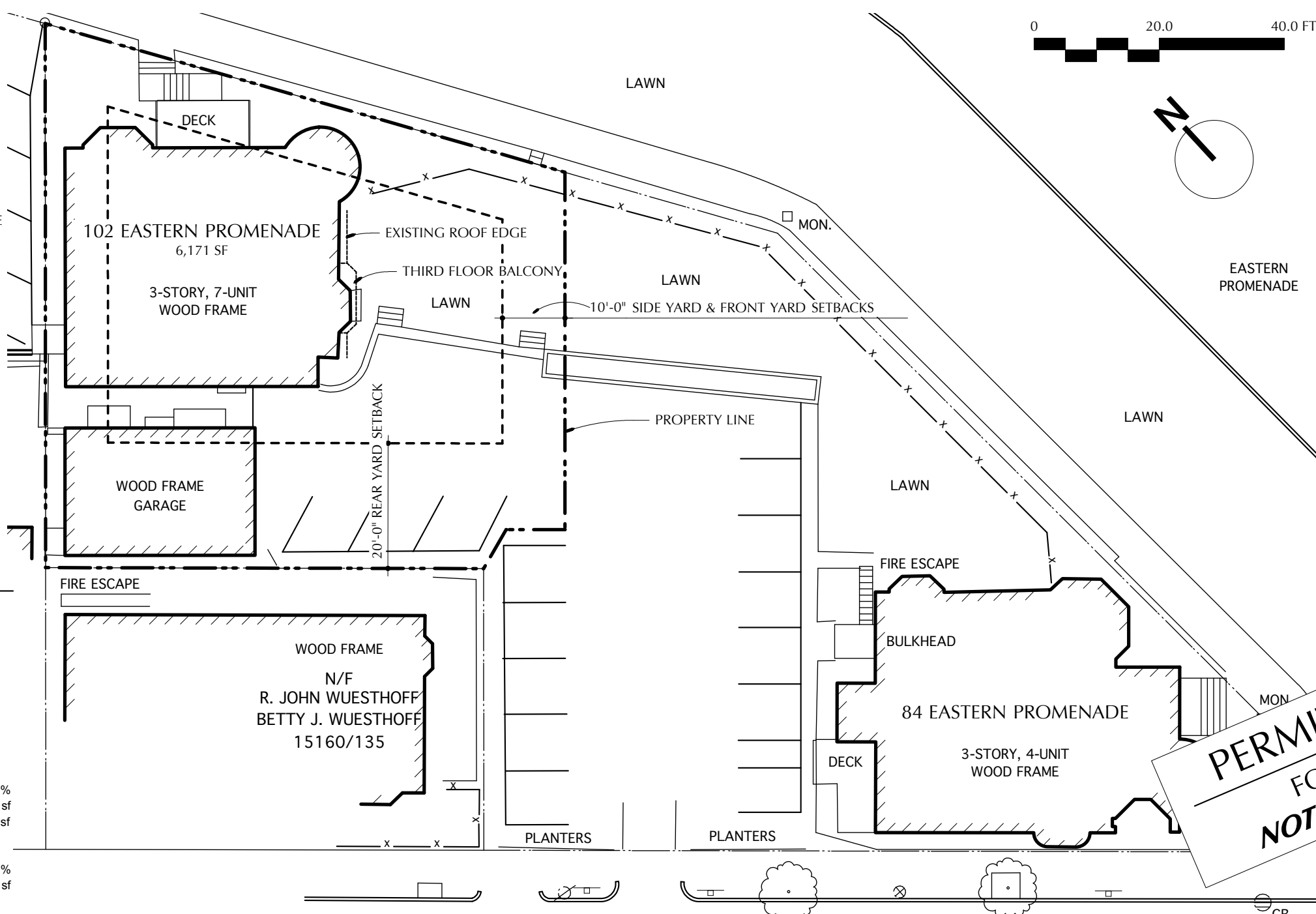
3 A-1 **PLAN AT ROOF**  
Scale: 3/8" = 1'-0"



**SITE LOCATION PLAN**  
Not To Scale

**ZONING REQUIREMENTS**

Zone:	R-6 Residential	
Synopsis:	Balcony Addition to an existing 4-story (including basement level), 7-unit apartment building.	
<b>Description</b>	<b>Requirement</b>	<b>Design Specs</b>
Minimum Lot Size	4,500 sf	6,171 sf
Minimum area per unit	7,000 sf	6,171 sf
Minimum Street Frontage	40 ft	86'-5" +/-
Front Yard	10'	No (Existing Building)
Side Yards	10'	No (Existing Building)
Rear Yard	20'	No (Existing Building)
Maximum Lot Coverage	50%	40.7 %
Footprint - Apartment Building		1,894.27 sf
Footprint - Carriage House		618.38 sf
Minimum Lot Width	50'	83' +/-
Maximum Structure Height	45'	< 45'
Open Space Ratio	20%	28.1 %
Parking	Open Space 0	1,731.06 sf



**SITE PLAN**  
Scale: 1" = 20 ft

**GENERAL NOTES**

- BUILDER SOLELY RESPONSIBLE FOR WEATHER-TIGHT WIND, RAIN, SNOW, ICE & WATERPROOF CONSTRUCTION, INCLUDING THE SELECTION OF APPROPRIATE, COMPATIBLE PRODUCTS AND SYSTEMS OF PRODUCTS AND THEIR PROPER, CODE-COMPLIANT INSTALLATION.
- CODE COMPLIANCE: ALL WORK SHALL CONFORM TO APPLICABLE FEDERAL, STATE AND LOCAL LAWS, CODES AND ORDINANCES.
- DRAWING NOTES: UNLESS INDICATED OR OBVIOUS OTHERWISE, ALL NOTES REFER TO NEW CONSTRUCTION.
- EXISTING FRAMING: PRIOR TO REMOVING ANY FRAMING, VERIFY THAT SUCH FRAMING IS NOT LOAD BEARING OR OTHERWISE STRUCTURAL.
- RATED CONSTRUCTION: MAINTAIN CONTINUITY OF EXISTING INTERIOR WALLS THAT ENCLOSE APARTMENT UNIT AND MAINTAIN CONTINUITY OF FLOOR & CEILING. PATCH & REPAIR EXISTING CONSTRUCTION IF/AS REQUIRED WITH PLASTER, GWB AND/OR 2x SOLID BLOCKING. SEAL ALL PENETRATIONS WITH FIRE-STOPPING CAULK.
- DRAWING SCALE: DO NOT SCALE FROM DRAWINGS (ELEVATION & PLANS ARE AT 3/8" = 1'-0").
- BUILDING INSULATION: INSTALL SOUND BATT INSULATION IN FLOOR JOIST BAYS WHERE EXPOSED DURING CONSTRUCTION. PROVIDE THERMAL INSULATION IN ALL EXTERIOR ENVELOPE FRAMING BAYS ACCESSIBLE DURING CONSTRUCTION.

**SELECT SPECIFICATIONS:**

ITEMS INDICATED WITH \*\* ARE SPECIFIED BELOW  
**SPRAY FOAM INSULATION:** SPRAY POLYURETHANE FOAM; CLOSED-CELL; DENSITY ≥ 1.75 LBS/CF; PERM RATING ≤ 1 @ 3" THICKNESS; AGED R-VALUE: 6 MIN; FIRE-RATED PER ASTM E-84; "TIGER FOAM INSULATION" (www.tigerfoam.com) OR EQUAL.  
**MEMBRANE:** WATERPROOF ROOFING MEMBRANE AND COMPATIBLE ADHESIVES, FASTENERS & ACCESSORIES APPROPRIATE FOR INDICATED APPLICATIONS.

**ABBREVIATIONS:**

1 x	3/4" THICK WOOD
5/4	1" THICK WOOD
8/4	1 3/4" THICK WOOD
A/R	AS REQUIRED
CF	CUBIC FOOT
LBS	POUNDS
MAX	MAXIMUM
MIN	MINIMUM
OSB	ORIENTED STRAND BOARD
OZ	OUNCE
VIF	VERIFY IN FIELD

**PERMIT DRAWINGS**  
FOR REVIEW ONLY  
**NOT FOR CONSTRUCTION**

**Unit 5 Balcony**  
102 EASTERN PROMENADE, PORTLAND, MAINE

The Woodville Group  
223 Woodville Road  
Falmouth, Maine 04105  
(207)797-7752

September 8, 2010 022

PERMIT DRAWINGS - SEPTEMBER 8, 2010 - NOT FOR CONSTRUCTION

\*\*SEE SELECT SPECIFICATIONS ON A-1