

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

BUILDING DEPARTMENT

PERMIT

PERMIT ISSUED
Permit Number 101305

This is to certify that HASSON DAVID J / The Woodside Group NOV - 2 2010

has permission to Build deck on unit #5

AT 102 EASTERN PROMENADE unit 5 City of Portland

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise finished-in. 24 HOURS NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied

OTHER REQUIRED APPROVALS

Fire Dept. Capt. J. Jackson

Health Dept. _____

Appeal Board _____

Other _____

Department Name

Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-1306	Issue Date:	CDL: 003 C009005
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Location of Construction: 102 EASTERN PROMENADE unit	Owner Name: HASSON DAVID J	Owner Address: 102 EASTERN PROMENADE # 5	Phone:
Business Name:	Contractor Name: The Woodville Group	Contractor Address: 223 Woodville Road Falmouth	Phone: 2073293885
Lessee/Buyer's Name:	Phone:	Permit Type: Additions - Multi Family	Zone: R-6

Past Use: 7 unit Condo's	Proposed Use: 7 unit Condo's - Build deck on unit #5	Permit Fee: \$200.00	Cost of Work: \$18,000.00	CE0 District: 1
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legal use - 7 unit residential condo.

FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R-2 Type SB
*See Cond.	IBC-2003

Proposed Project Description:
Build deck on unit #5 - over bay window - 12' x 12'

Signature: *[Signature]* Date: *11/2/10*

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)

Action: Approved Approved w/Conditions Denied

Signature: _____ Date: _____

Permit Taken By: Idobson	Date Applied For: 10/15/2010	Zoning Approval	
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.

<p>Special Zone or Reviews</p> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan <p>Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/></p> <p>Date: <i>10/19/10 ABM</i></p>	<p>Zoning Appeal</p> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied <p>Date: _____</p>	<p>Historic Preservation</p> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied <p>Date: <i>ABU</i></p>
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PERMIT ISSUED

NOV - 2 2010

City of Portland

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT ADDRESS DATE PHONE

RESPONSIBLE PERM

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the City of Portland Inspection Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months, if the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue with construction.**

Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling

Final Inspection required at completion of work.

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-1306	Date Applied For: 10/15/2010	CBU: 003 C0D9005
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Location of Construction: 102 Eastern Promenade	Owner Name: HASSON DAVID J	Owner Address: 102 EASTERN PROMENADE # 5	Phone:
Business Name:	Contractor Name: The Woodville Group	Contractor Address: 223 Woodville Road Falmouth	Phone: (207) 329-3885
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Multi Family	

Proposed Use: 7 residential condos - Build deck over bay window for unit #5 - third floor	Proposed Project Description: Build deck over bay window for unit #5 - third floor
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Dept: Zoning	Status: Approved with Conditions	Reviewer: Ann Machado	Approval Date: 10/19/2010
Note:	Ok to Issue: <input checked="" type="checkbox"/>		
1) This property shall remain as seven residential condominiums. Any change of use shall require a separate permit application for review and approval.			
2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.			
Dept: Building	Status: Approved with Conditions	Reviewer: Jeanine Bouke	Approval Date: 11/02/2010
Note:	Ok to Issue: <input checked="" type="checkbox"/>		
1) Prior to the final inspection a sealed letter shall be submitted from the engineer confirming the steel fabrication and welding is in compliance with the approved plans and structural standards.			
2) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.			
Dept: Fire	Status: Approved with Conditions	Reviewer: Capt Keith Gautreau	Approval Date: 10/26/2010
Note:	Ok to Issue: <input checked="" type="checkbox"/>		
1) All construction shall comply with City Code Chapter 10.			



CITY OF PORTLAND, MAINE
Department of Building Inspections

Original Receipt

October 15 2010

Received from The Washburn Corp

1000 Washburn St - Washburn Park

Cost of Construction \$ 16,000 Building Fee: _____

Permit Fee \$ _____ Site Fee: _____

Certificate of Occupancy Fee: _____

Total: 200.00

Building (M) Plumbing (U) _____ Electrical (E) _____ Site Plan (S) _____

Other _____

Permit # 3-6-004

Check # 1744 Total Collected \$ 200.00

**No work is to be started until permit issued.
Please keep original receipt for your records.**

Taken by: JVM

WHITE - Applicant's Copy
YELLOW - Office Copy
PINK - Permit Copy



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>The Captain Quarters 102 Eastern Promenade Portland</u>		
Total Square Footage of Proposed Structure/Area <u>550 Square feet</u>	Square Footage of Lot	Number of Stories <u>3</u>
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>G03 C 009</u>	Applicant *must be owner, Lessee or Buyer* Name <u>The Woodville Group</u> Address <u>223 Woodville Rd</u> City, State & Zip <u>Falmouth Me 04105</u>	Telephone: <u>329 3885</u>
Lessee/DBA (If Applicable) RECEIVED OCT 15 2010	Owner (if different from Applicant) Name <u>Daniel Hesson</u> Address <u>102 Eastern Promenade</u> City, State & Zip <u>Portland Me</u>	Cost Of Work: \$ <u>18,000</u> C of O Fee: \$ _____ Total Fee: \$ <u>20</u>
Dept of Building Inspections Current legal City (or Portland Maine) <u>Condo's</u> Number of Residential Units <u>7</u> If vacant, what was the previous use? _____ Proposed Specific use: _____ Is property part of a subdivision? <u>no</u> If yes, please name _____ Project description: <u>Build a Deck on unit #5</u>		
Contractor's name: <u>The Woodville Group</u> Address: <u>223 Woodville Rd</u> City, State & Zip: <u>Falmouth Me 04105</u> Telephone: <u>7777252</u> Who should we contact when the permit is ready: <u>Wally Geyer</u> Telephone: <u>329 3885</u> Mailing address: <u>223 Woodville Rd Falmouth Me</u>		

30.
170
200

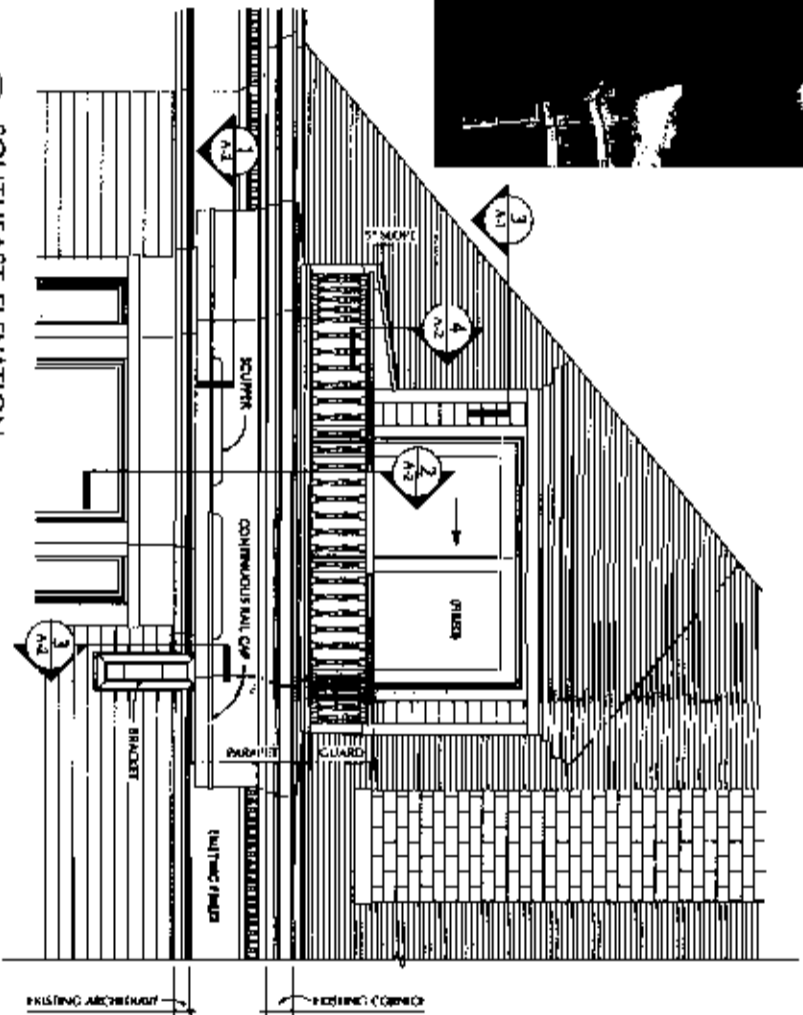
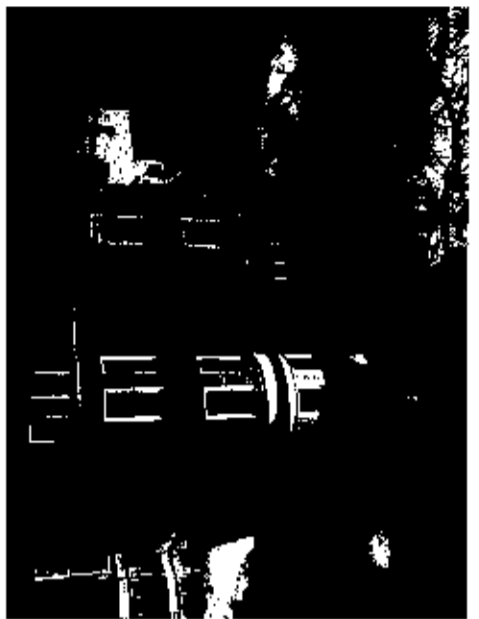
Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

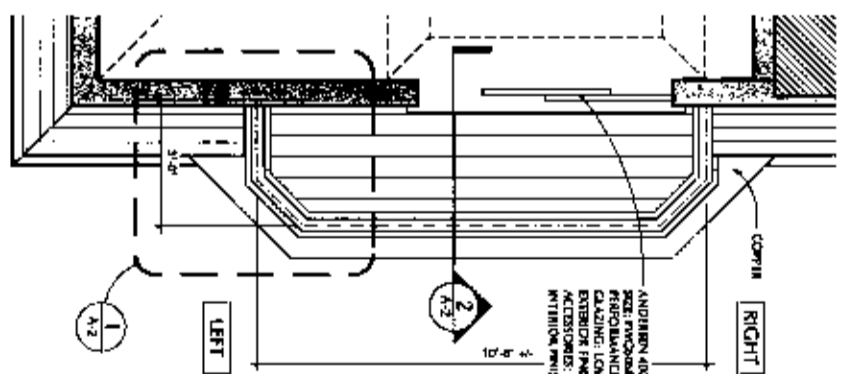
I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Wally Geyer Date: 10-14-10

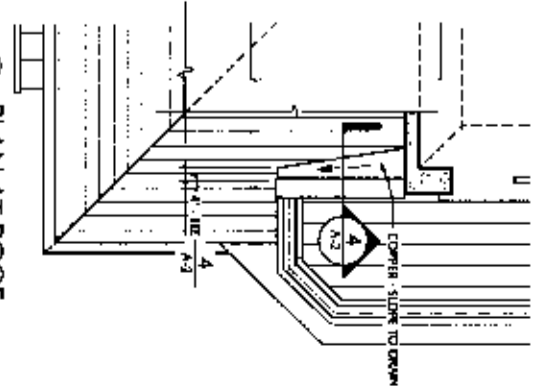
This is not a permit; you may not commence ANY work until the permit is issued



1 SOUTH EAST ELEVATION
Scale: 3/8" = 1'-0"



2 THIRD FLOOR PLAN
Scale: 3/8" = 1'-0"



3 PLAN AT ROOF
Scale: 3/8" = 1'-0"

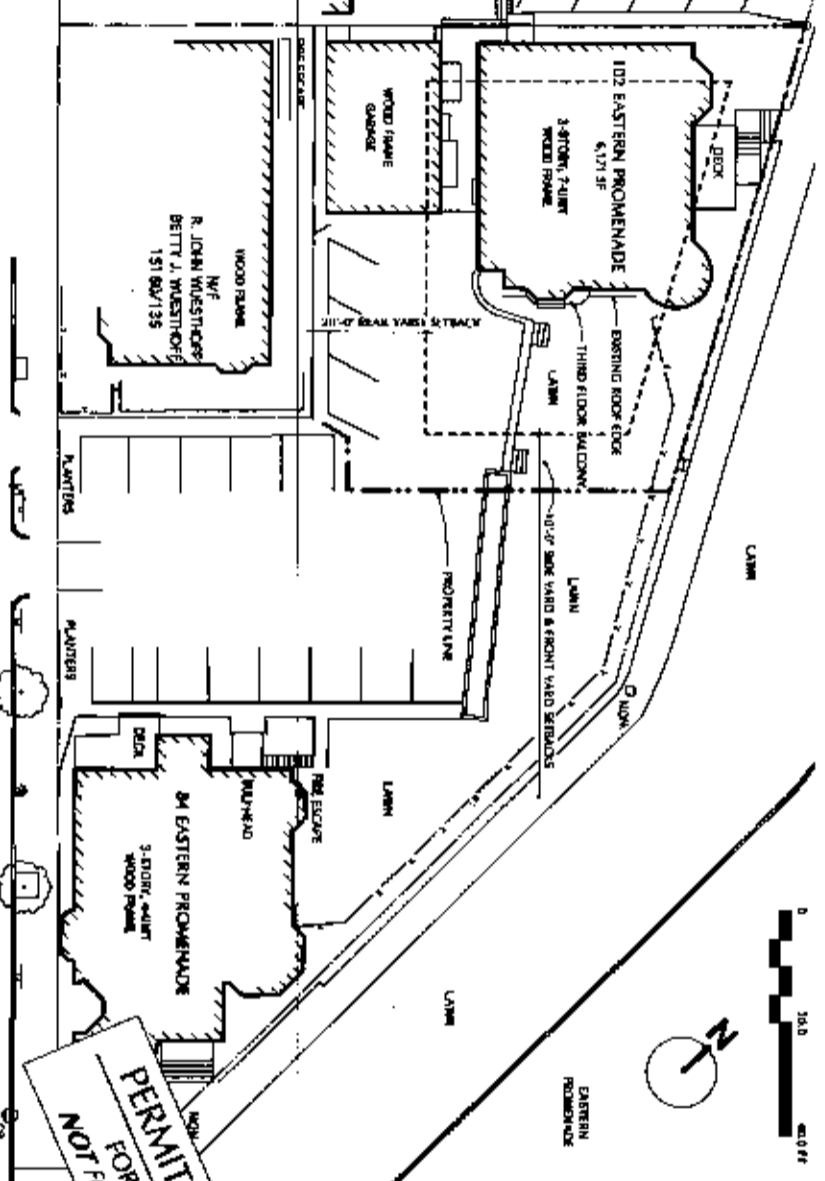
Front setback - 11 1/4
Rear setback - 20' - 33' scale
Side setback - 10' - 33' scale
Lot coverage 50% = 6171 = 3085.1'
adding 23' = 6198



SITE LOCATION PLAN
Not To Scale

ZONING REQUIREMENTS

Requirement	Code	Value
Minimum Lot Area	4.031' x 1.031'	4.071 sq ft
Minimum Front Setback	10'	10'
Minimum Side Setback	10'	10'
Minimum Rear Setback	20'	20'
Maximum Floor Area Ratio (FAR)	0.2	0.2
Maximum Height	15'	15'
Maximum Number of Units	2	2
Maximum Number of Stories	3	3
Maximum Density	150 units/acre	150 units/acre
Maximum Parking	1 space/100 sq ft	1 space/100 sq ft
Maximum Coverage	50%	50%
Maximum Impervious Area	50%	50%
Maximum Impervious Area Ratio (IAR)	50%	50%
Maximum Impervious Area Ratio (IAR) - Street Front	50%	50%
Maximum Impervious Area Ratio (IAR) - Rear	50%	50%
Maximum Impervious Area Ratio (IAR) - Side	50%	50%
Maximum Impervious Area Ratio (IAR) - Total	50%	50%
Maximum Impervious Area Ratio (IAR) - Permitted	50%	50%
Maximum Impervious Area Ratio (IAR) - Prohibited	50%	50%
Maximum Impervious Area Ratio (IAR) - Other	50%	50%
Maximum Impervious Area Ratio (IAR) - Total	50%	50%
Maximum Impervious Area Ratio (IAR) - Permitted	50%	50%
Maximum Impervious Area Ratio (IAR) - Prohibited	50%	50%
Maximum Impervious Area Ratio (IAR) - Other	50%	50%



PERMIT DRAWINGS
NOT FOR CONSTRUCTION

- GENERAL NOTES:**
- BUILDING SHALL BE CONSTRUCTED TO MEET ALL APPLICABLE CODES, ORDINANCES, AND REGULATIONS, INCLUDING THE SELECTION OF APPROPRIATE MATERIALS AND FINISHES, AND THE PROVISION OF SUFFICIENT LIGHTING AND VENTILATION.
 - CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.
 - CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
 - CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND STRUCTURES TO REMAIN.
 - CONTRACTOR SHALL MAINTAIN THE ACCURACY OF ALL DIMENSIONS AND LOCATIONS SHOWN ON THESE DRAWINGS.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
 - CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
 - CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND STRUCTURES TO REMAIN.
 - CONTRACTOR SHALL MAINTAIN THE ACCURACY OF ALL DIMENSIONS AND LOCATIONS SHOWN ON THESE DRAWINGS.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
- ABBREVIATIONS:**
- 1" 3/4" THICK WOOD
 - 1" THICK WOOD
 - 1 1/2" THICK WOOD
 - 1" THICK WOOD
 - 1 1/2" THICK WOOD
 - 1" THICK WOOD
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 - 1 1/2" THICK WOOD
- SELECT SPECIFICATIONS:**
- TRAIL INDICATED WITH "X" ARE EXISTING ELEMENTS.
 - TRAIL INDICATED WITH "O" ARE TO BE OBTAINED FROM THE APPLICABLE AGENCIES.
 - TRAIL INDICATED WITH "D" ARE TO BE OBTAINED FROM THE APPLICABLE AGENCIES.
 - TRAIL INDICATED WITH "S" ARE TO BE OBTAINED FROM THE APPLICABLE AGENCIES.
 - TRAIL INDICATED WITH "T" ARE TO BE OBTAINED FROM THE APPLICABLE AGENCIES.
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 - TRAIL INDICATED WITH "J" ARE TO BE OBTAINED FROM THE APPLICABLE AGENCIES.
 - TRAIL INDICATED WITH "K" ARE TO BE OBTAINED FROM THE APPLICABLE AGENCIES.
 - TRAIL INDICATED WITH "X" ARE TO BE OBTAINED FROM THE APPLICABLE AGENCIES.
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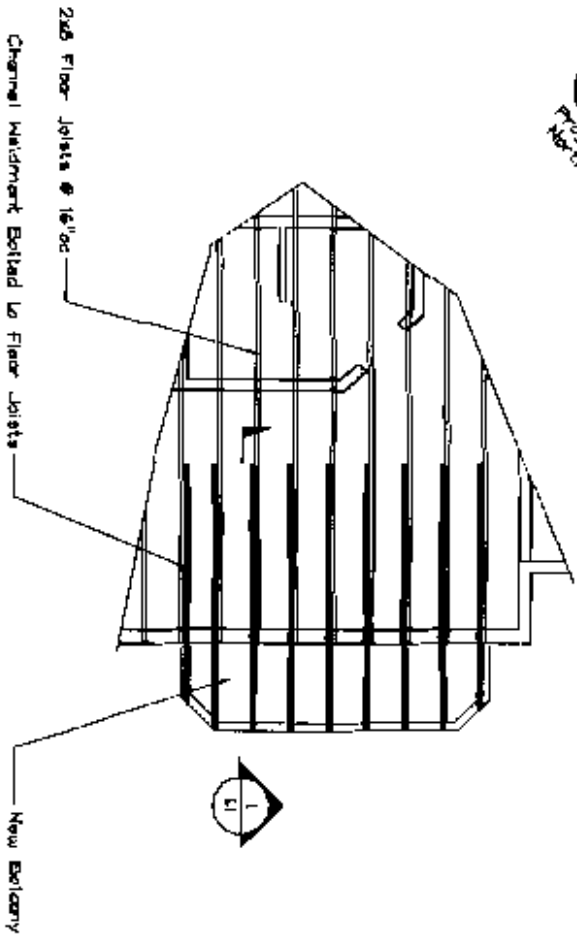
Unit 5 Balcony
102 EASTERN PROMENADE, PORTLAND, MAINE

The Woodville Group
223 Woodville Road
Fairbourn, Maine 04105
(207) 797-7762

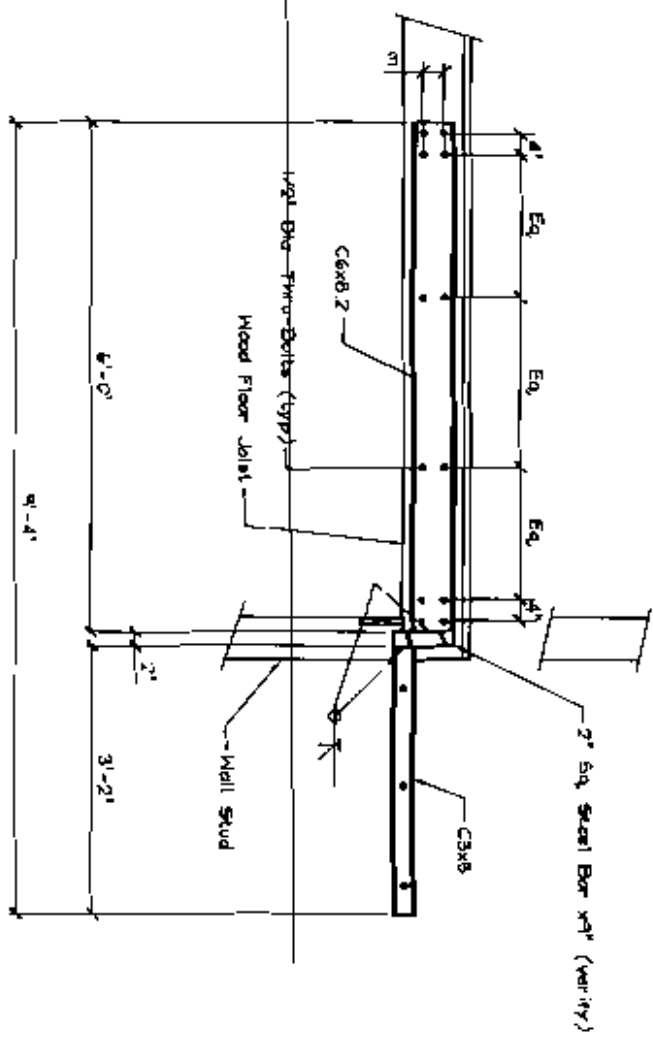
September 8, 2010 0222

SITE - ELEVATION - PLANS

1 OF 2



PART THIRD FLOOR / BALCONY FRAMING PLAN
Scale: 1/4" = 1'-0"



SECTION 1
Scale: 3/4" = 1'-0"

GENERAL NOTES

1. STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH JOB SPECIFICATIONS AND ARCHITECTURAL DRAWINGS.
2. ALL DIMENSIONS AND CONDITIONS MUST BE VERIFIED IN THE FIELD. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH THE AFFECTED PART OF THE WORK.
3. THE STRUCTURE IS DESIGNED TO BE SELF SUPPORTING AND STABLE AFTER THE BUILDING IS COMPLETE. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE ERECTION PROCEDURES AND SEQUENCE TO ENSURE SAFETY OF THE STRUCTURE AND PERSONNEL DURING ERECTION.
4. ALL APPLICABLE FEDERAL, STATE, AND MUNICIPAL REGULATIONS SHALL BE FOLLOWED, INCLUDING THE FEDERAL DEPARTMENT OF LABOR OCCUPATIONAL SAFETY AND HEALTH ACT.

STRUCTURAL DESIGN CRITERIA

1. BUILDING CODE: 2006 EDITION OF THE INTERNATIONAL BUILDING CODE, BUILDING CODE
2. DESIGN WIND LOADS - MAIN WIND FORCE RESISTING SYSTEM:
DESIGN WIND SPEED = 90 MPH
BUILDING USE IMPORTANCE FACTOR (WIND) = 1.1
BUILDING EXPOSURE CATEGORY = B
2. SNOW:
GROUND SNOW LOAD = 60 PSF
IMPORTANCE FACTOR, I = 1.0
EXPOSURE FACTOR, C_e = 0.7
TOTAL FLAT DRIFT SNOW LOAD = 100 PSF

STRUCTURAL STEEL NOTES - GENERAL

1. STRUCTURAL STEEL FABRICATION, ERECTION, AND CONNECTION DESIGN SHALL CONFORM TO AISC "SPECIFICATION FOR THE DESIGN, FABRICATION, AND ERECTION OF STRUCTURAL STEEL" 9th EDITION.
2. ALL STEEL SHAPES TO BE A572/A992 50 KSI. STEEL PLATES TO BE ASTM A56 UNLESS NOTED OTHERWISE.
3. WELDING SHALL BE IN ACCORDANCE WITH AWS D11 - LATEST EDITION. ALL WELDS SHALL BE MADE WITH E70XX ELECTRODES.
4. STRUCTURAL STEEL SHALL BE PAINTED WITH A SHOP APPLIED COAT OF THE FABRICATOR'S RUST INHIBITIVE PRIMER AND EXTERIOR GRADE FINISH COAT PER OWNER SPECS.
5. SUBMIT COMPLETE STRUCTURAL STEEL SHOP DRAWINGS FOR REVIEW PRIOR TO ANY STEEL FABRICATION.

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Structural Consultants
90 Dodge Street
Westbrook, Maine 04092
Phone (207) 654-5475
Fax (207) 654-8706
www.ShelleyEngineering.com

UNIT 5 BALCONY
102 EASTERN PROMENADE

DRN BY:	TUS
CRCD BY:	TCS
DATE:	9-6-10
SCALE:	NOTED
JOB NO.:	2010-190



S1

PORTLAND

MAINE

