

130 EASTERN PROMENADE

PORTLAND, MAINE

CARROLL ASSOCIATES
Landscape Architects

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Consultants:

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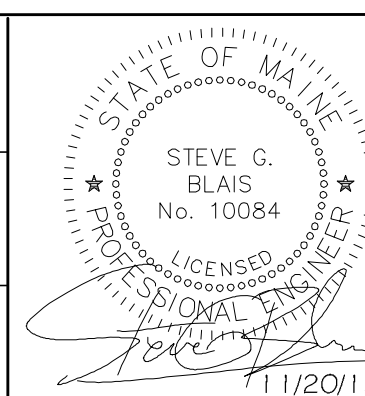
ARCHITECT:
Mark Mueller Architects
100 Commercial St.
Portland, ME 04101
207-774-9057

ENGINEER:
Blais Civil Engineers
780 Broadway
So. Portland, ME 04106
207-767-7300

No.	Date	Revision
6-21-11		RE-SUBMISSION TO CITY
7-28-11		FOR CITY REVIEW
8-12-11		PRICING SET
10-15-13		AMENDED SITE PLAN
11-20-13		RE-SUBMISSION TO CITY

Drawing Set:
AMENDED SITE PLAN

Drawn:
TC
Checked:
PC



Approved:

Drawing Title:
SITE PREPARATION PLAN

Job Number:

File:

Date: 10-15-2013 Scale: 1" = 10'-0"

Drawing Number:

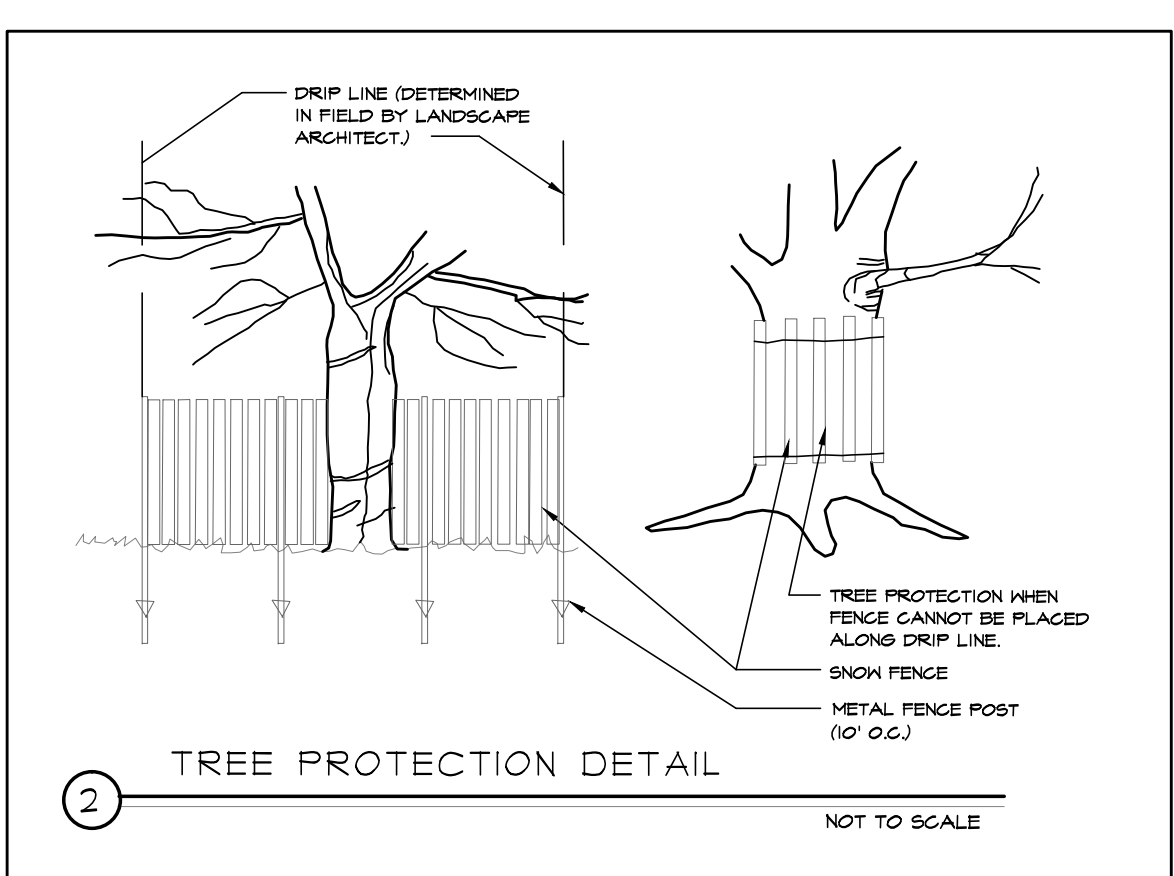
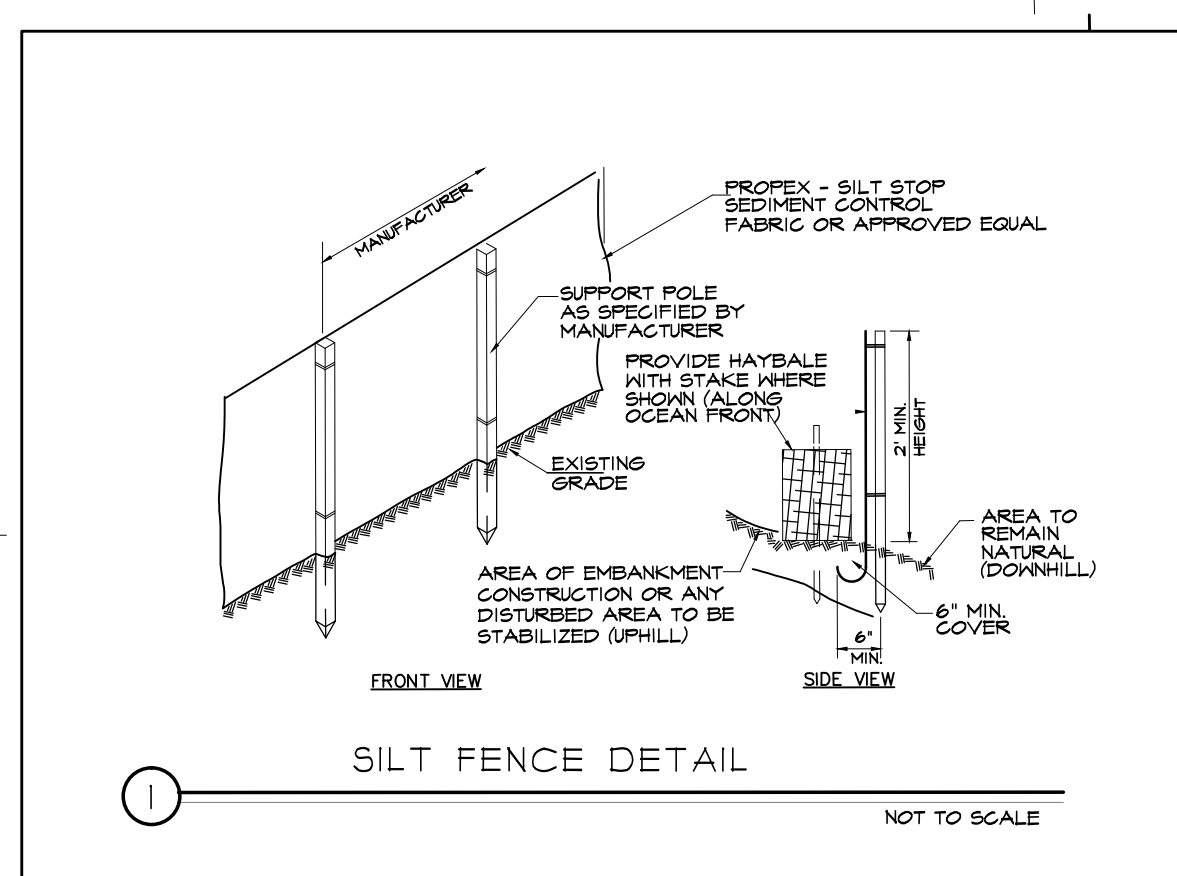
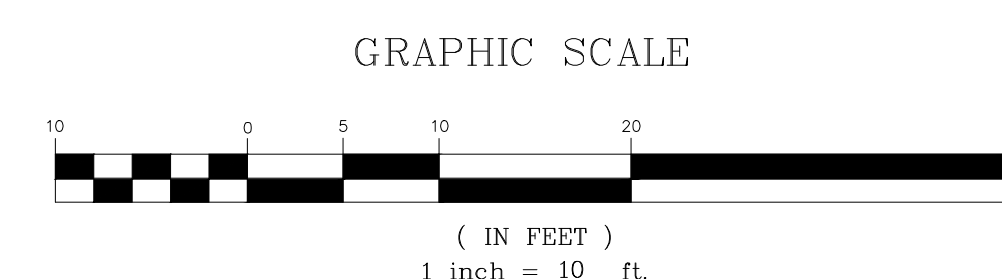
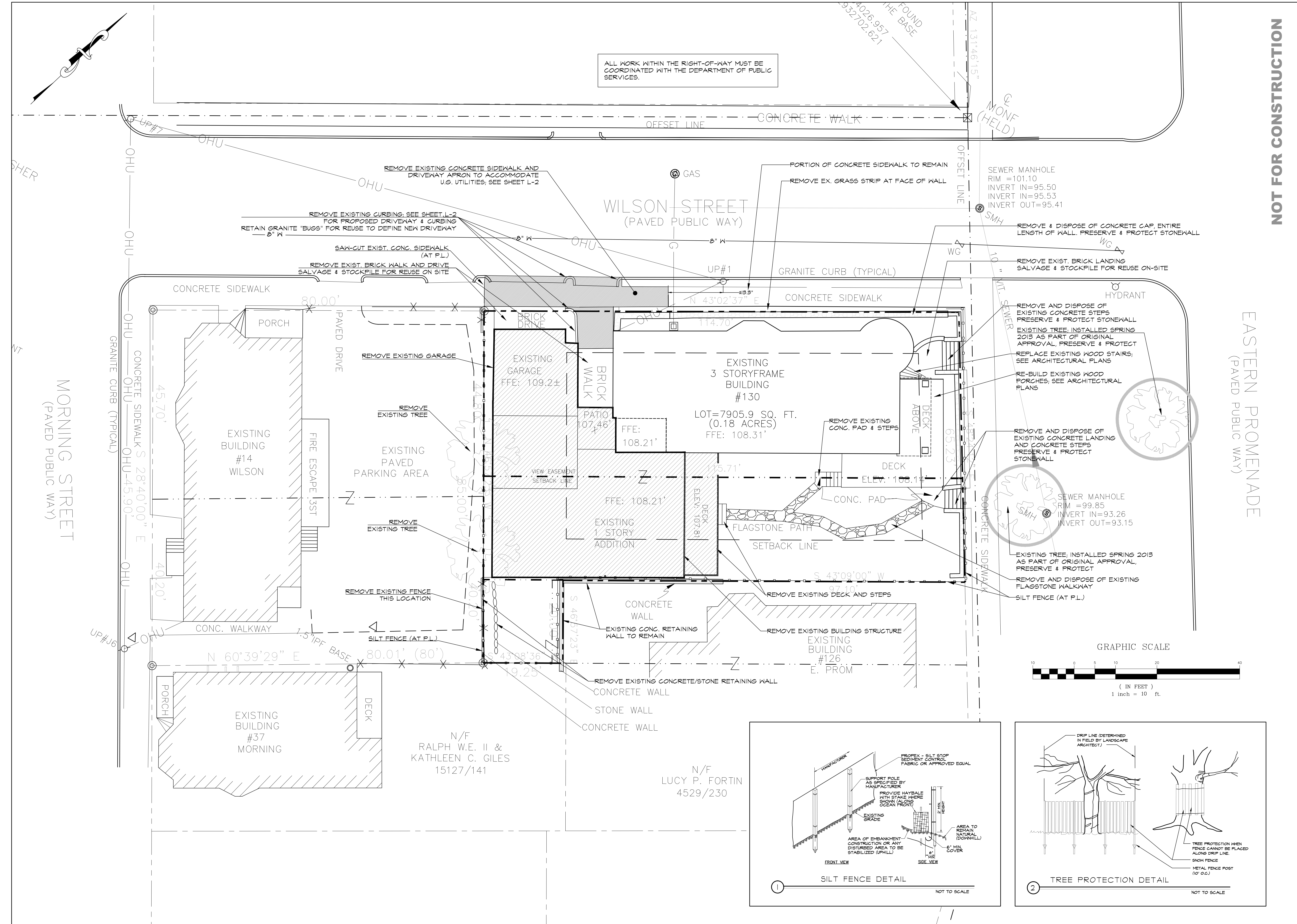
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NOT FOR CONSTRUCTION

EASTERN PROMENADE
(PAVED PUBLIC WAY)

ALL WORK WITHIN THE RIGHT-OF-WAY MUST BE COORDINATED WITH THE DEPARTMENT OF PUBLIC SERVICES.



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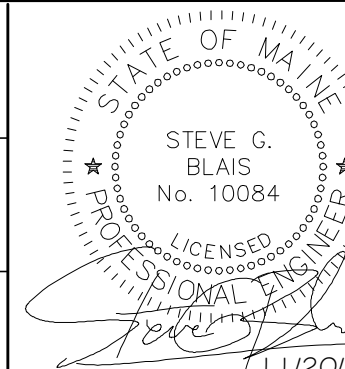
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Drawing Title:
SITE LAYOUT & MATERIALS PLAN

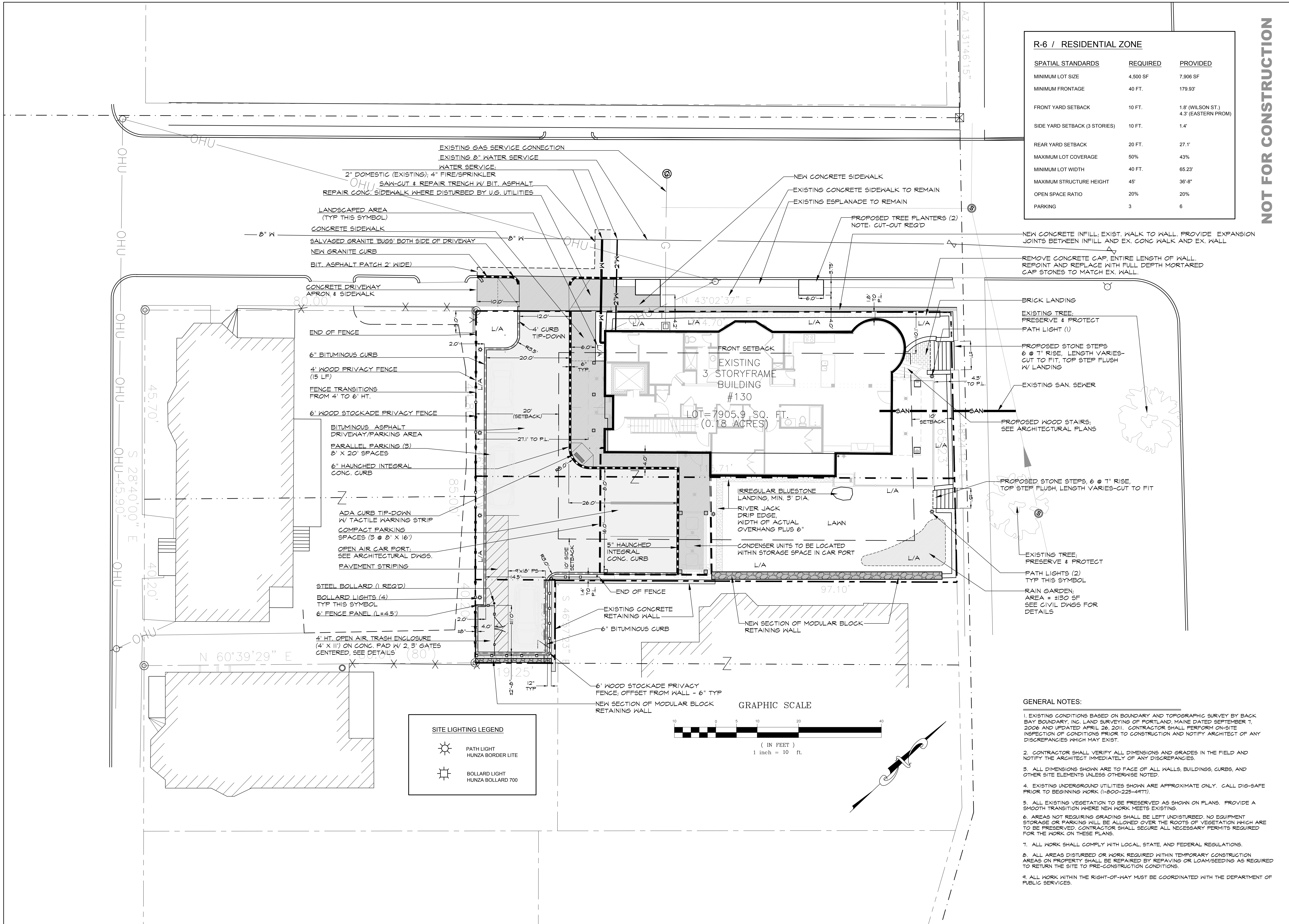
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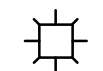
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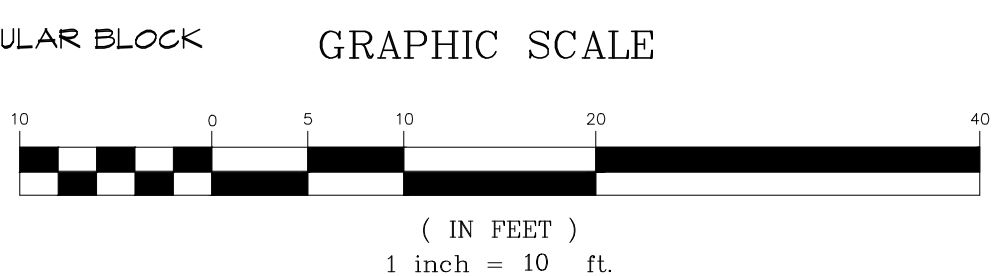
R-6 / RESIDENTIAL ZONE		
SPATIAL STANDARDS	REQUIRED	PROVIDED
MINIMUM LOT SIZE	4,500 SF	7,906 SF
MINIMUM FRONTAGE	40 FT.	179.93'
FRONT YARD SETBACK	10 FT.	1.8' (WILSON ST.) 4.3' (EASTERN PROM.)
SIDE YARD SETBACK (3 STORIES)	10 FT.	1.4'
REAR YARD SETBACK	20 FT.	27.1'
MAXIMUM LOT COVERAGE	50%	43%
MINIMUM LOT WIDTH	40 FT.	65.23'
MAXIMUM STRUCTURE HEIGHT	45'	36'-8"
OPEN SPACE RATIO	20%	20%
PARKING	3	6



- GENERAL NOTES:**
- EXISTING CONDITIONS BASED ON BOUNDARY AND TOPOGRAPHIC SURVEY BY BACK BAY BOUNDARY, INC. LAND SURVEYING OF PORTLAND, MAINE DATED SEPTEMBER 7, 2006 AND UPDATED APRIL 26, 2011. CONTRACTOR SHALL PERFORM ON-SITE INSPECTION OF CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY ARCHITECT OF ANY DISCREPANCIES WHICH MAY EXIST.
 - CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND GRADES IN THE FIELD AND NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES.
 - ALL DIMENSIONS SHOWN ARE TO FACE OF ALL WALLS, BUILDINGS, CURBS, AND OTHER SITE ELEMENTS UNLESS OTHERWISE NOTED.
 - EXISTING UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE ONLY. CALL DIG-SAFE PRIOR TO BEGINNING WORK (1-800-225-4477).
 - ALL EXISTING VEGETATION TO BE PRESERVED AS SHOWN ON PLANS. PROVIDE A SMOOTH TRANSITION WHERE NEW WORK MEETS EXISTING.
 - AREAS NOT REQUIRING GRADING SHALL BE LEFT UNDISTURBED. NO EQUIPMENT STORAGE OR PARKING WILL BE ALLOWED OVER THE ROOTS OF VEGETATION WHICH ARE TO BE PRESERVED. CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS REQUIRED FOR THE WORK ON THESE PLANS.
 - ALL WORK SHALL COMPLY WITH LOCAL, STATE, AND FEDERAL REGULATIONS.
 - ALL AREAS DISTURBED OR WORK REQUIRED WITHIN TEMPORARY CONSTRUCTION AREAS ON PROPERTY SHALL BE REPAIRED BY REPAVING OR LOAM/SEEDING AS REQUIRED TO RETURN THE SITE TO PRE-CONSTRUCTION CONDITIONS.
 - ALL WORK WITHIN THE RIGHT-OF-WAY MUST BE COORDINATED WITH THE DEPARTMENT OF PUBLIC SERVICES.

SITE LIGHTING LEGEND

	PATH LIGHT HUNZA BORDER LITE
	BOLLARD LIGHT HUNZA BOLLARD 700



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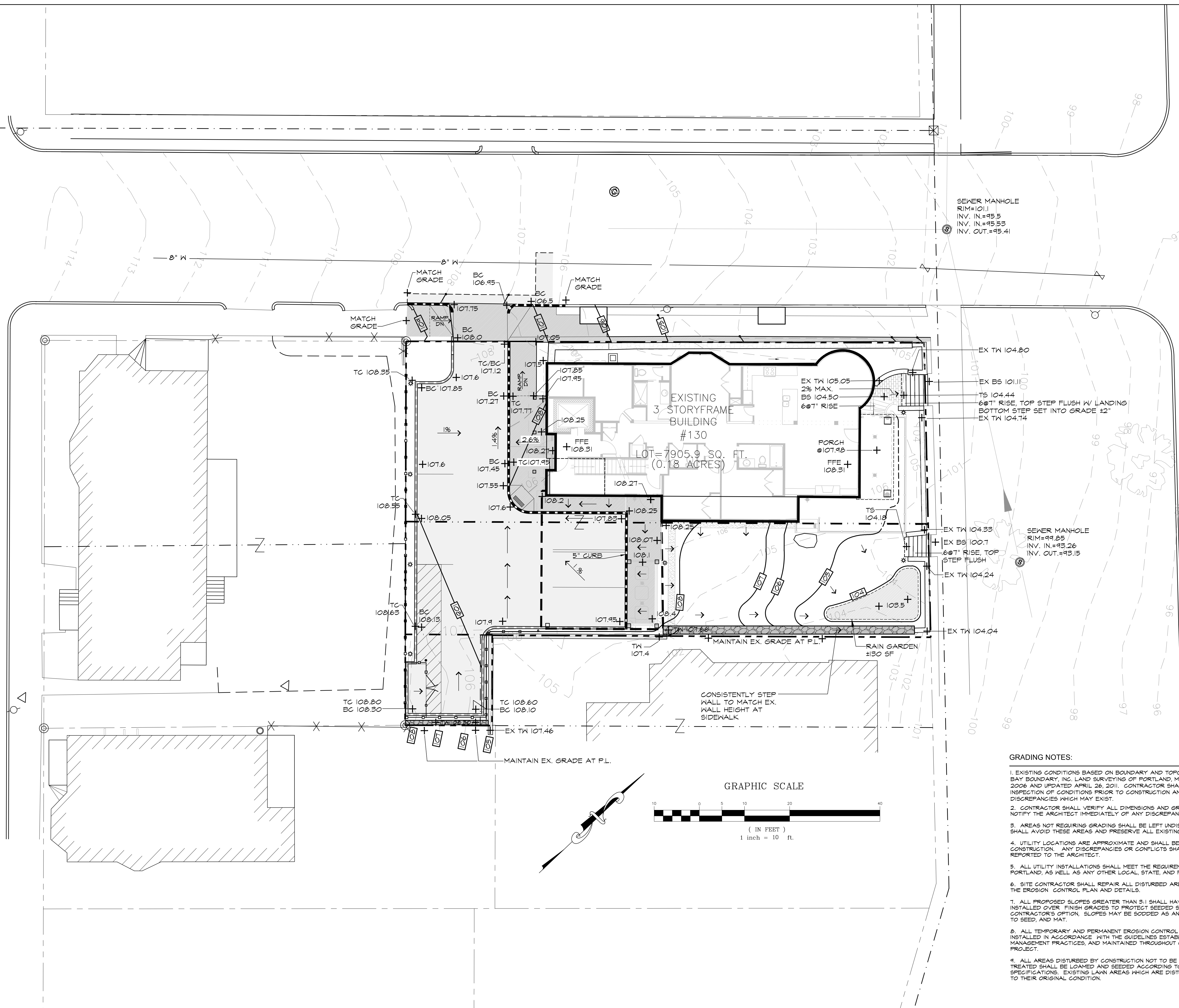
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SITE GRADING PLAN

Job Number:
File:
Date: 8-12-2011 Scale: 1" = 10'-0"
Drawing Number:

L-3.0

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GRADING NOTES:

- EXISTING CONDITIONS BASED ON BOUNDARY AND TOPOGRAPHIC SURVEY BY BACK BAY BOUNDARY, INC. LAND SURVEYING OF PORTLAND, MAINE DATED SEPTEMBER 1, 2006 AND UPDATED APRIL 26, 2011. CONTRACTOR SHALL PERFORM ON-SITE INSPECTION OF CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY ARCHITECT OF ANY DISCREPANCIES WHICH MAY EXIST.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND GRADES IN THE FIELD AND NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES.
- AREAS NOT REQUIRING GRADING SHALL BE LEFT UNDISTURBED. CONTRACTOR SHALL AVOID THESE AREAS AND PRESERVE ALL EXISTING VEGETATION AS NOTED.
- UTILITY LOCATIONS ARE APPROXIMATE AND SHALL BE VERIFIED PRIOR TO CONSTRUCTION. ANY DISCREPANCIES OR CONFLICTS SHALL BE IMMEDIATELY REPORTED TO THE ARCHITECT.
- ALL UTILITY INSTALLATIONS SHALL MEET THE REQUIREMENTS OF THE CITY OF PORTLAND, AS WELL AS ANY OTHER LOCAL, STATE, AND FEDERAL REQUIREMENTS.
- SITE CONTRACTOR SHALL REPAIR ALL DISTURBED AREAS IN ACCORDANCE WITH THE EROSION CONTROL PLAN AND DETAILS.
- ALL PROPOSED SLOPES GREATER THAN 3:1 SHALL HAVE AN EROSION MAT INSTALLED OVER FINISH GRADES TO PROTECT SEEDED SLOPES FROM EROSION. AT CONTRACTOR'S OPTION, SLOPES MAY BE SODDED AS AN APPROPRIATE SUBSTITUTION TO SEED AND MAT.
- ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE GUIDELINES ESTABLISHED IN THE BEST MANAGEMENT PRACTICES, AND MAINTAINED THROUGHOUT CONSTRUCTION OF THIS PROJECT.
- ALL AREAS DISTURBED BY CONSTRUCTION NOT TO BE PAVED OR OTHERWISE TREATED SHALL BE LOAMED AND SEEDED ACCORDING TO THE PROJECT SPECIFICATIONS. EXISTING LAWN AREAS WHICH ARE DISTURBED SHALL BE RESTORED TO THEIR ORIGINAL CONDITION.

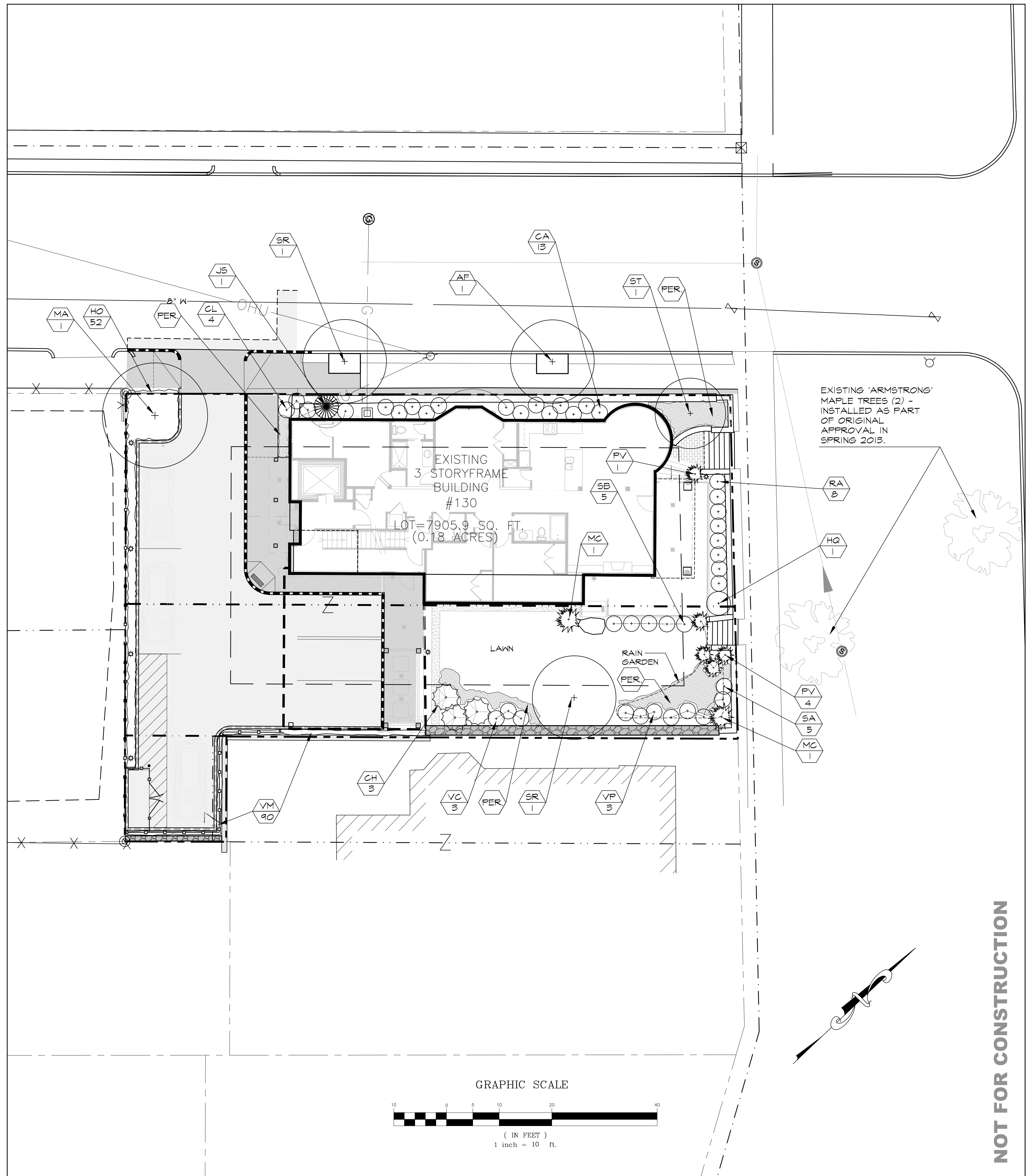
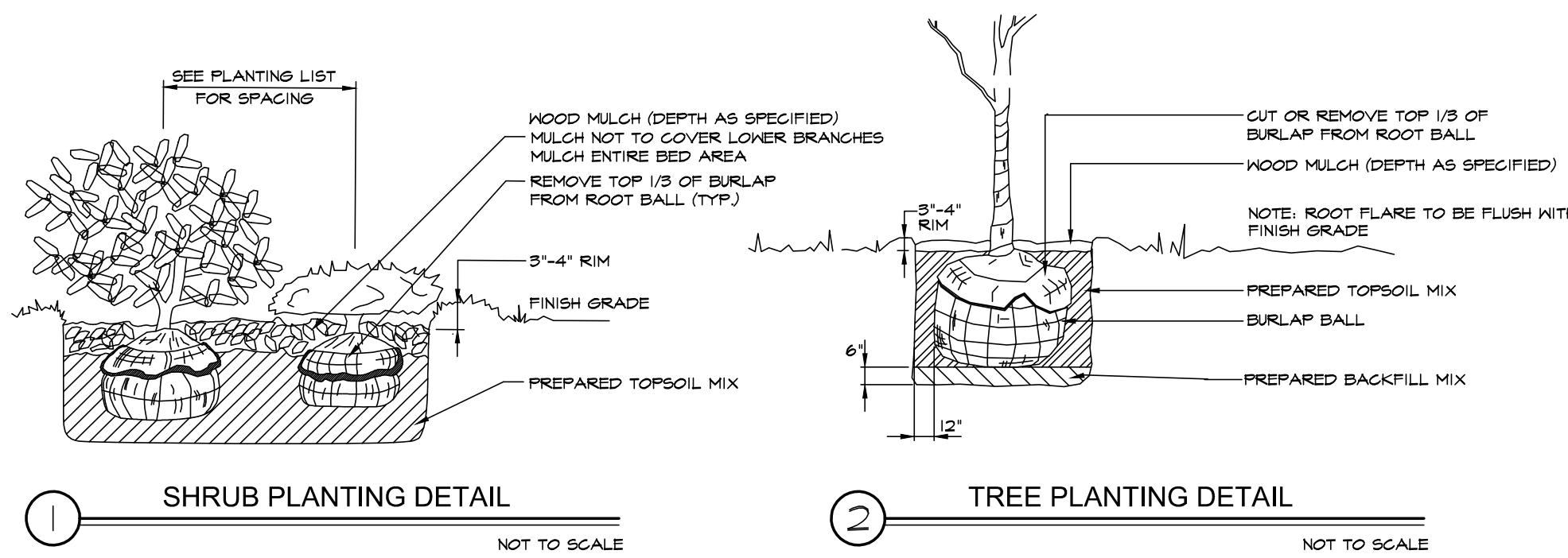
PLANT SCHEDULE

QTY.	SYM.	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
TREES					
1	AF	ACER X FREEMANII 'ARMSTRONG'	ARMSTRONG MAPLE	2.5" CAL.	B#B
1	MA	MALUS 'ADIRONDACK'	ADIRONDACK FLOWERING CRAB	2.5" CAL.	B#B/HEAVY GROWTH
2	SR	SYRINGA RETICULATA 'IVORY SILK'	IVORY SILK TREE LILAC	2.5" CAL.	B#B / SINGLE STEM
1	ST	STENANTIA PSEUDOCAMELLIA	JAPANESE STEKARTIA	6-7'	B#B
SHRUBS / ORNAMENTAL GRASSES / GROUNDCOVERS/BULBS					
13	CA	COTONEASTER APICULATUS	CRANBERRY COTONEASTER	3 GAL.	CONT.
3	CH	CHAMAECYPARIS OBTUSA 'COMPACTA'	COMPACT HINOKI FALSECYPRESS	5-6'	B#B
4	CL	CLETHRA ALNIFOLIA 'SIXTEEN CANDLES'	DWARF SUMMERSWEET	15-18"	
1	JS	JUNIPERUS SCOPULORUM 'WICHITA BLUE'	WICHITA BLUE JUNIPER	4-5'	B#B
1	HQ	HYDRANGEA QUERCIFOLIA 'SIKES DWARF'	DWARF OAKLEAF HYDRANGEA	5 GAL.	CONT.
52	HO	HOSTA SP. (ASSORTED)	HOSTA (ASSORTED)	2 GAL.	CONT. / 24" O.C.
2	MC	MISCANTHUS SINENSIS 'STRICTUS'	PORCUPINE GRASS	3 GAL.	CONT.
5	PV	PANICUM VIRGATUM 'SHENANDOAH'	SWITCH GRASS	3 GAL.	CONT.
8	RA	RHUS AROMATICA 'GRO-LOW'	DWARF FRAGRANT SUMAC	3 GAL.	CONT.
5	SA	SALIX PURPUREA 'NANA'	DWARF ARCTIC WILLOW	3 GAL.	CONT.
5	SB	SPIRAEA X BIMALDA 'NEON FLASH'	NEON FLASH SPIREA	18-24"	CONT.
90	VM	VINCA MINOR	PERIWINKLE	BARE ROOT	PLANT 10' O.C.
3	VC	VIBURNUM CARLESII	KOREANSPICE VIBURNUM	30-36"	B#B
3	VP	VIB. PLICATUM TOMENT. 'SNOWFLAKE'	SUMMER SNOWFLAKE VIBURNUM	30-36"	B#B
	PER	ASSORTED PERENNIALS	(TO BE DETERMINED)	1 GAL.	ZONE HARDY

NOTE: ALL SUBSTITUTIONS SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO ORDERING OF PLANTS

PLANTING NOTES

- CONTRACTOR SHALL BEGIN MAINTENANCE IMMEDIATELY AFTER PLANTING AND SHALL CONTINUE UNTIL FINAL ACCEPTANCE. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MEANS AND METHODS OF WATERING AND MAINTENANCE.
- CONTRACTOR SHALL SUPPLY PLANTS IN QUANTITIES SUFFICIENT TO COMPLETE WORK SHOWN ON THE PLAN. ANY DISCREPANCY BETWEEN THE QUANTITIES SHOWN IN THE PLANT SCHEDULE AND THOSE REQUIRED ON THE PLAN SHALL NOT ENTITLE THE CONTRACTOR TO ADDITIONAL REMUNERATION. ANY DISCREPANCIES SHALL BE CLARIFIED WITH THE LANDSCAPE ARCHITECT PRIOR TO ORDERING PLANT MATERIAL.
- ALL MATERIALS SHALL CONFORM TO SPECIFICATIONS OF THE AMERICAN STANDARDS FOR NURSERY STOCK (LATEST EDITION) AS SET FORTH BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- ALL PLANTS SHALL BEAR THE SAME RELATIONSHIP TO FINISH GRADE AS THE ORIGINAL GRADES BEFORE DIGGING.
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR ONE (1) FULL YEAR FROM DATE OF SUBSTANTIAL COMPLETION.
- ALL PLANT MATERIALS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT AT THE NURSERY AND AT THE SITE.
- ALL PLANT BEDS SHALL MEET MINIMUM TOPSOIL REQUIREMENTS (SEE SPECIFICATIONS).
- NO PLANT MATERIAL SHALL BE INSTALLED UNTIL GRUBBING, BED PREPARATION, AND FINISH GRADING HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
- ALL PLANTS BEDS AND TREE WELLS SHALL HAVE A MINIMUM OF 3" OF UNIFORMLY DISTRIBUTED, DARK, SHREDDED BARK MULCH.
- CONTRACTOR SHALL SUBMIT SOIL SAMPLE AND TEST OF TOPSOIL TO LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. SOIL ADMIXTURE SHALL BE ADDED TO EXISTING SOIL (BY CONTRACTOR) IF DEEMED NECESSARY BY SOIL TEST RESULTS.
- ROUGH GRADING AND BED PREPARATION SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PLANT INSTALLATION. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT 48 HOURS PRIOR TO REQUIRED SITE VISIT.
- ALL PLANTS SHALL BE BALLED AND WRAPPED OR CONTAINERS GROWN AS SPECIFIED. ALL ROOT WRAPPING AND CONTAINER MATERIAL MADE OF SYNTHETICS OR PLASTICS SHALL BE REMOVED AT THE TIME OF PLANTING.
- ALL BROAD LEAF EVERGREEN PLANTS SHALL BE SPRAYED WITH AN ANTI-DESSICANT AT THE BEGINNING OF THEIR FIRST WINTER.
- ALL PLANTS SHALL BE INSTALLED AS PER DETAILS AND THE CONTRACT SPECIFICATIONS. THE LANDSCAPE CONTRACTOR SHALL REFER TO THE CONTRACT SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
- CONTRACTOR SHALL STAKE TREES IF DEEMED NECESSARY BY LANDSCAPE ARCHITECT.
- THE LANDSCAPE CONTRACTOR SHALL PROVIDE LOAM FILL AS PER THE CONTRACT SPECIFICATIONS.
- ALL PLANTS SHALL THEN BE WATERED BY THE CONTRACTOR, AS NECESSARY TO INSURE HEALTH UNTIL FINAL ACCEPTANCE.
- THE LANDSCAPE CONTRACTOR SHALL REFER TO THE PLANT LIST AND PLANTING SPECIFICATIONS FOR SEASONAL REQUIREMENTS AND OTHER RESTRICTIONS RELATED TO THE TIME AND SEASON OF PLANTING.



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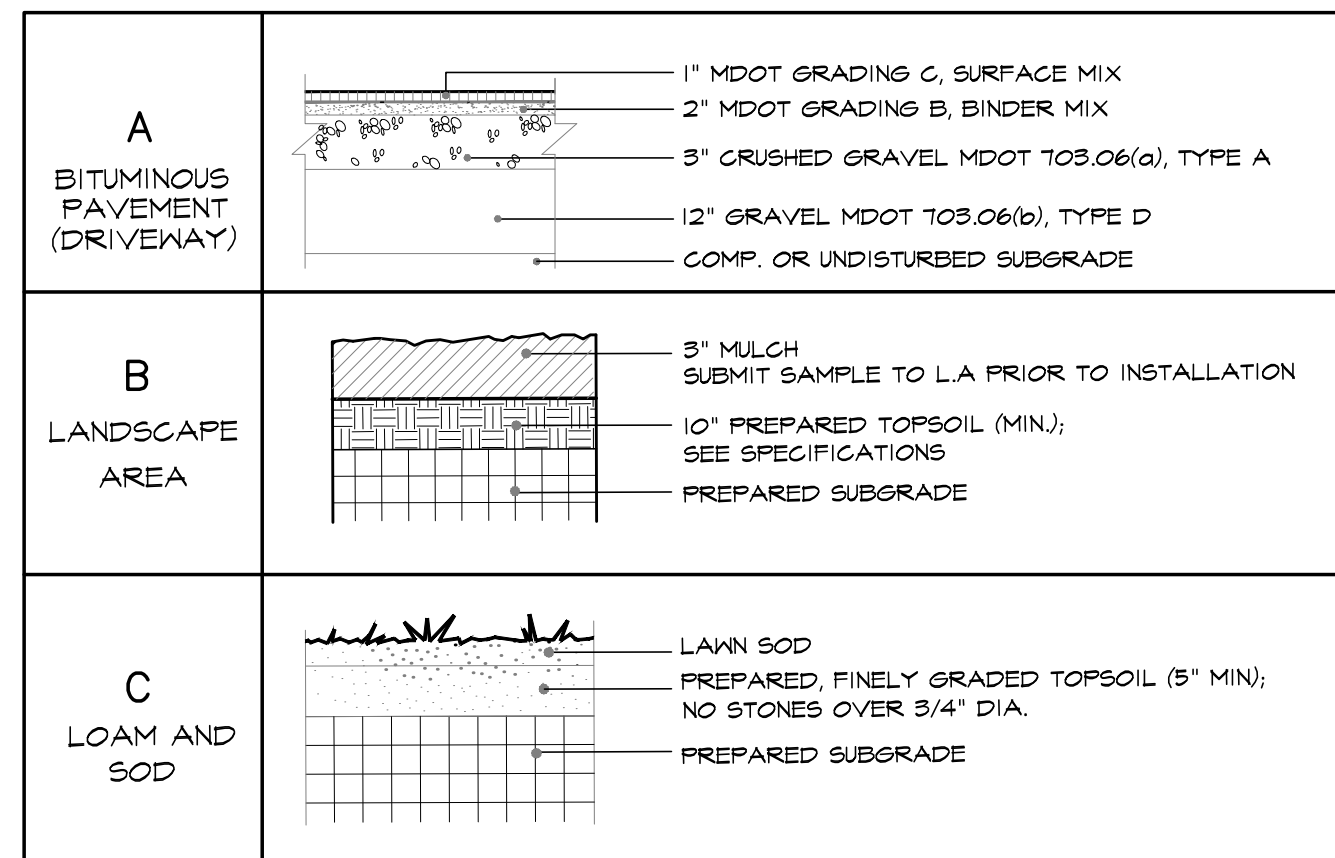
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Drawing Title:
LANDSCAPE PLAN

Job Number:
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Date: 8-12-2011 Scale: 1"= 10'-0"
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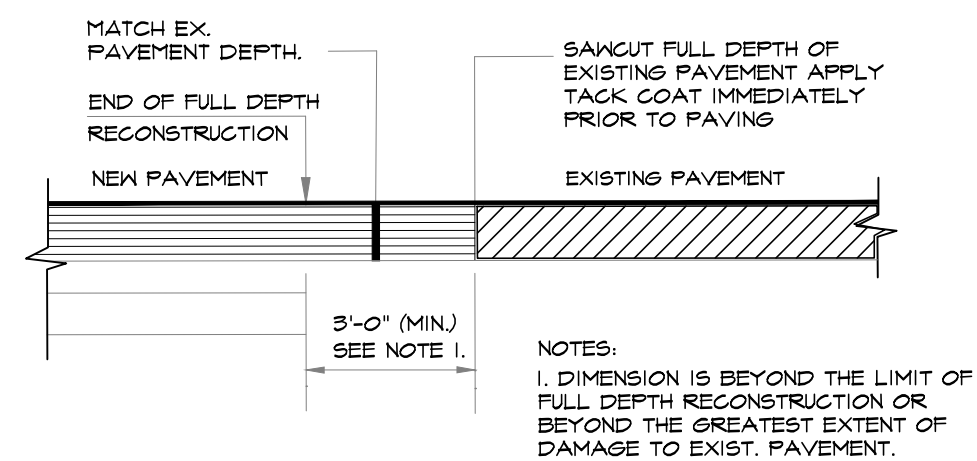
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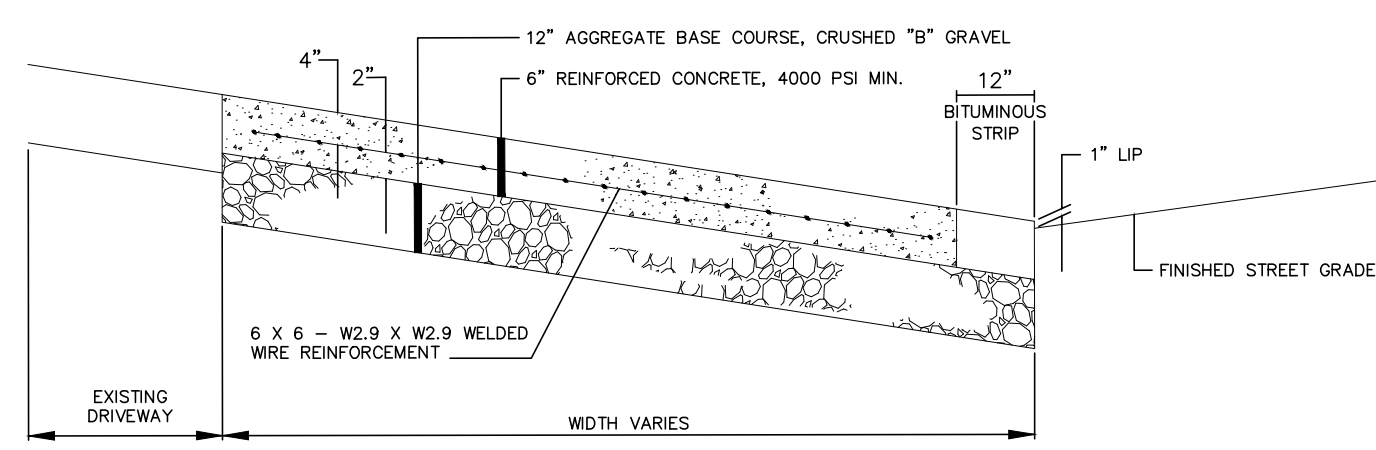


NOTE: ALL COURSE MATERIALS REFLECT THICKNESS AFTER FINAL COMPACTION.

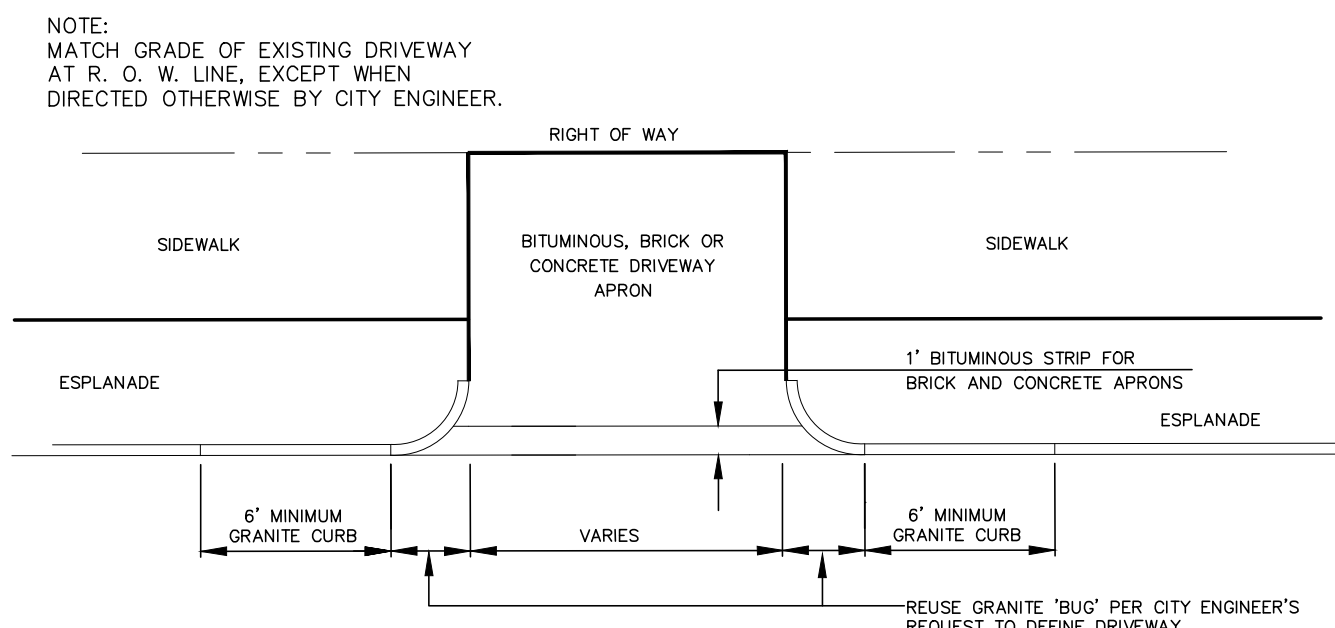
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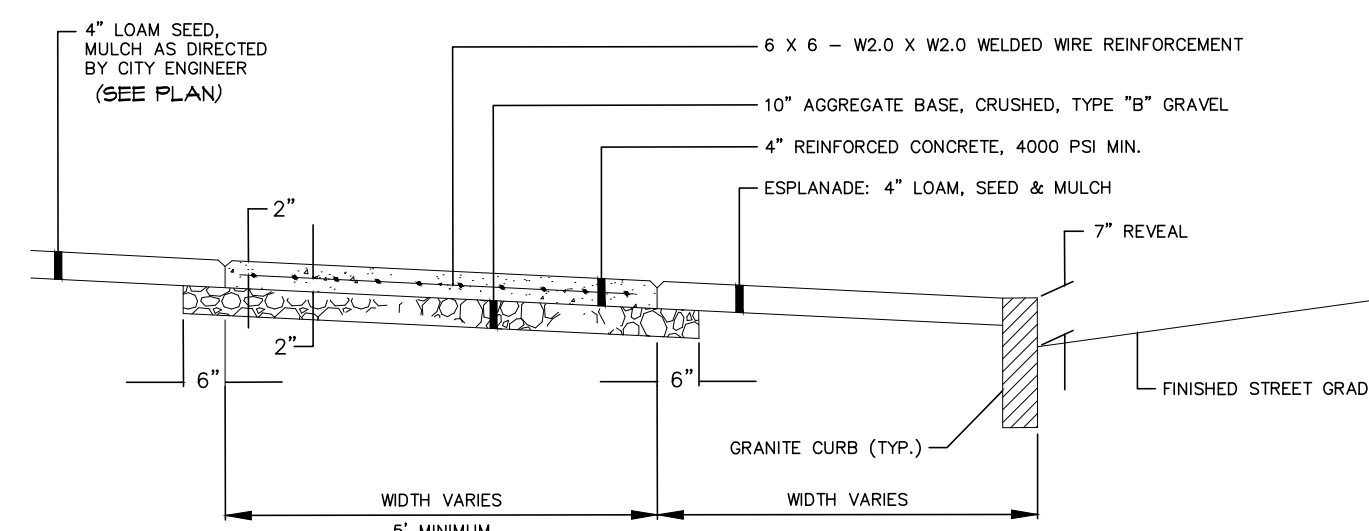
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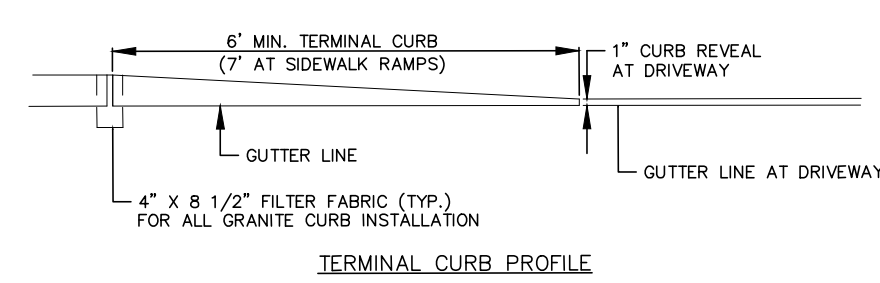
3 REINFORCED CONCRETE DRIVEWAY APRON NOT TO SCALE



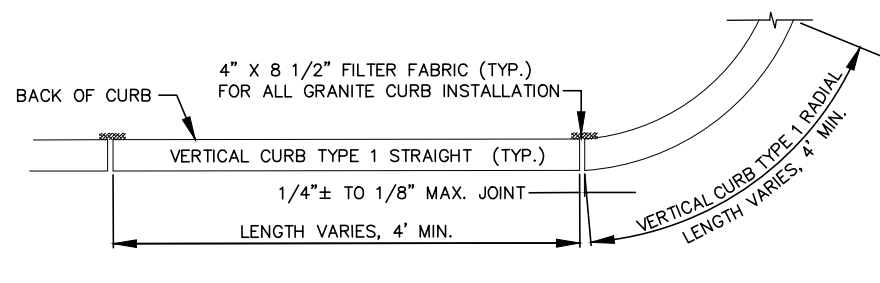
4 DRIVEWAY APRON LAYOUT DETAIL NOT TO SCALE



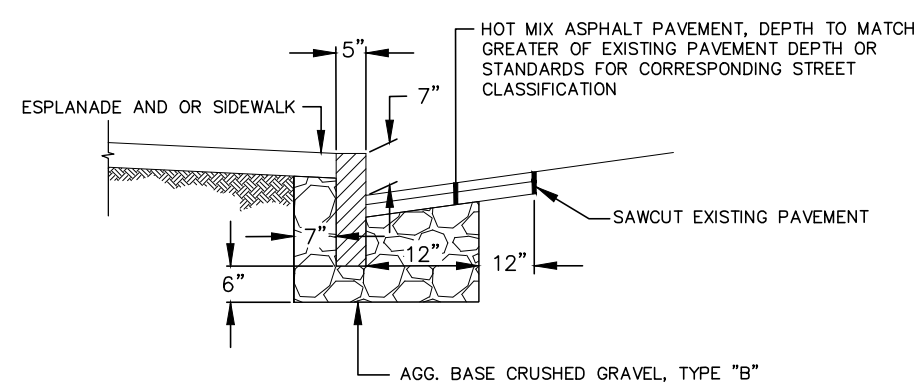
5 REINFORCED CONCRETE SIDEWALK DETAIL NOT TO SCALE



TERMINAL CURB PROFILE

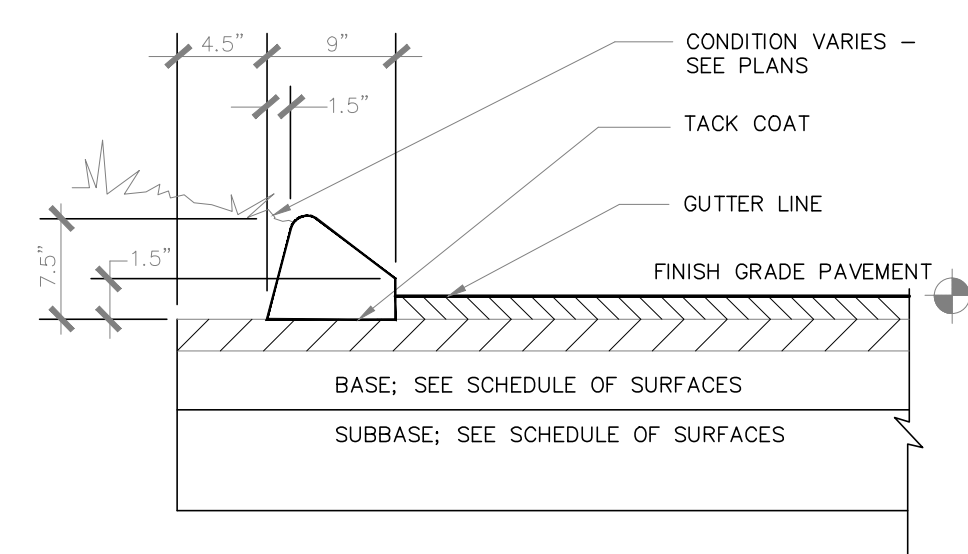


VERTICAL GRANITE CURB PLAN VIEW

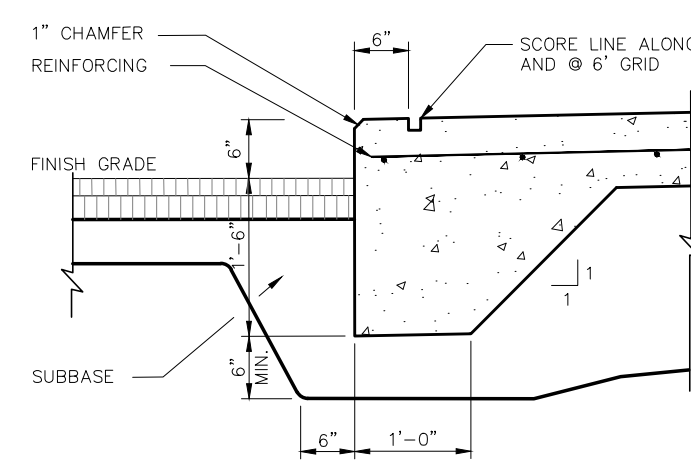


VERTICAL GRANITE CURB CROSS SECTION

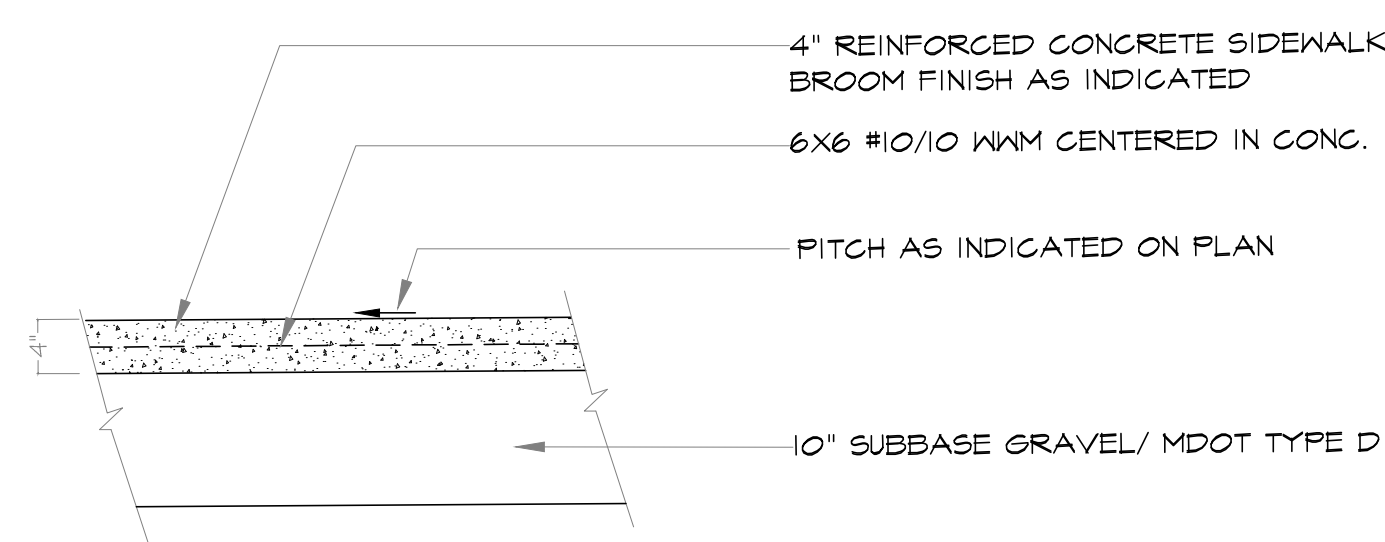
6 VERT. GRANITE CURB INSTALLATION IN EXISTING ST. NOT TO SCALE



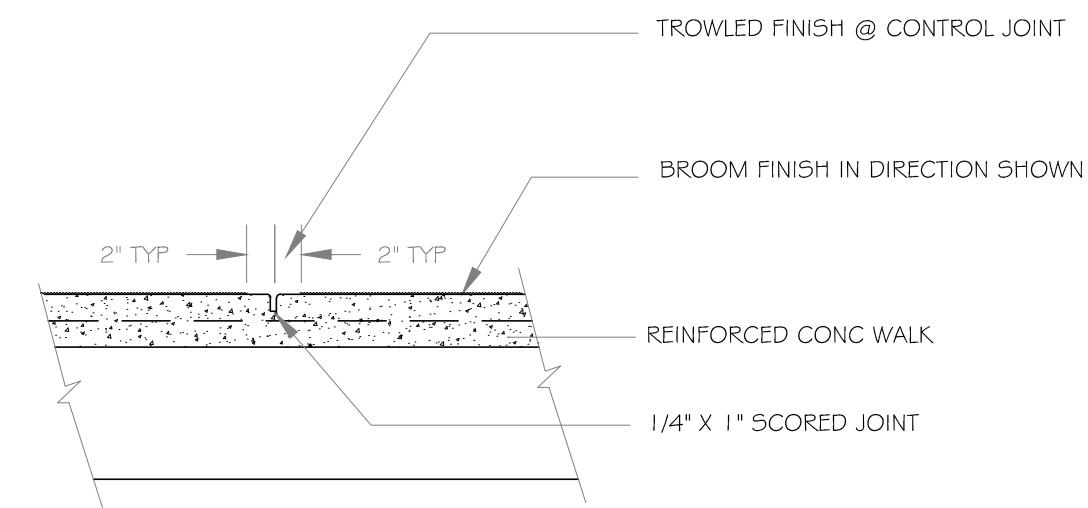
7 BITUMINOUS CURB DETAIL NOT TO SCALE



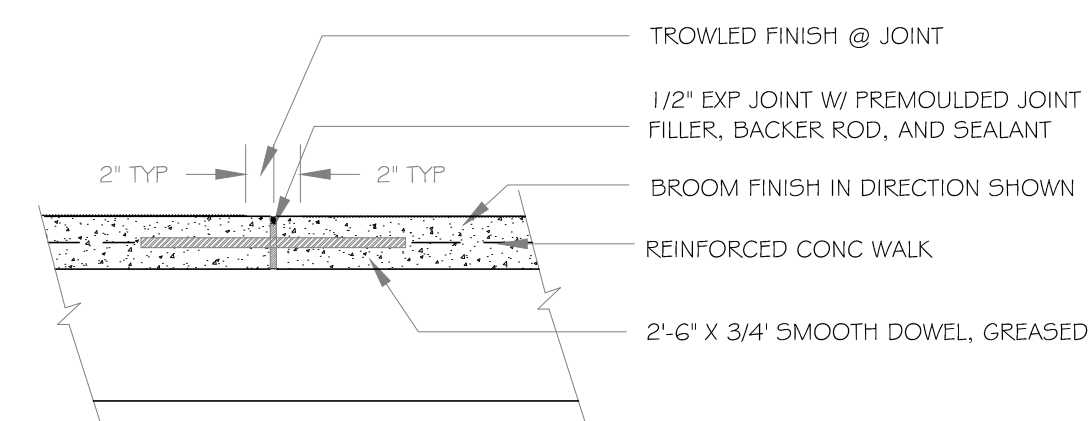
8 INTEGRAL CONCRETE CURB DETAIL NOT TO SCALE



9 CONCRETE SIDEWALK DETAIL (INTERENAL) NOT TO SCALE

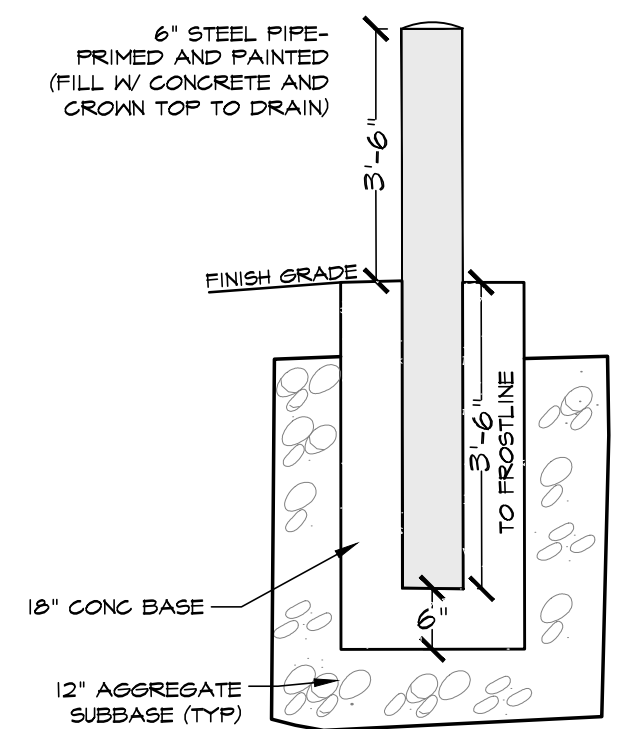


TYPICAL SCORED JOINT

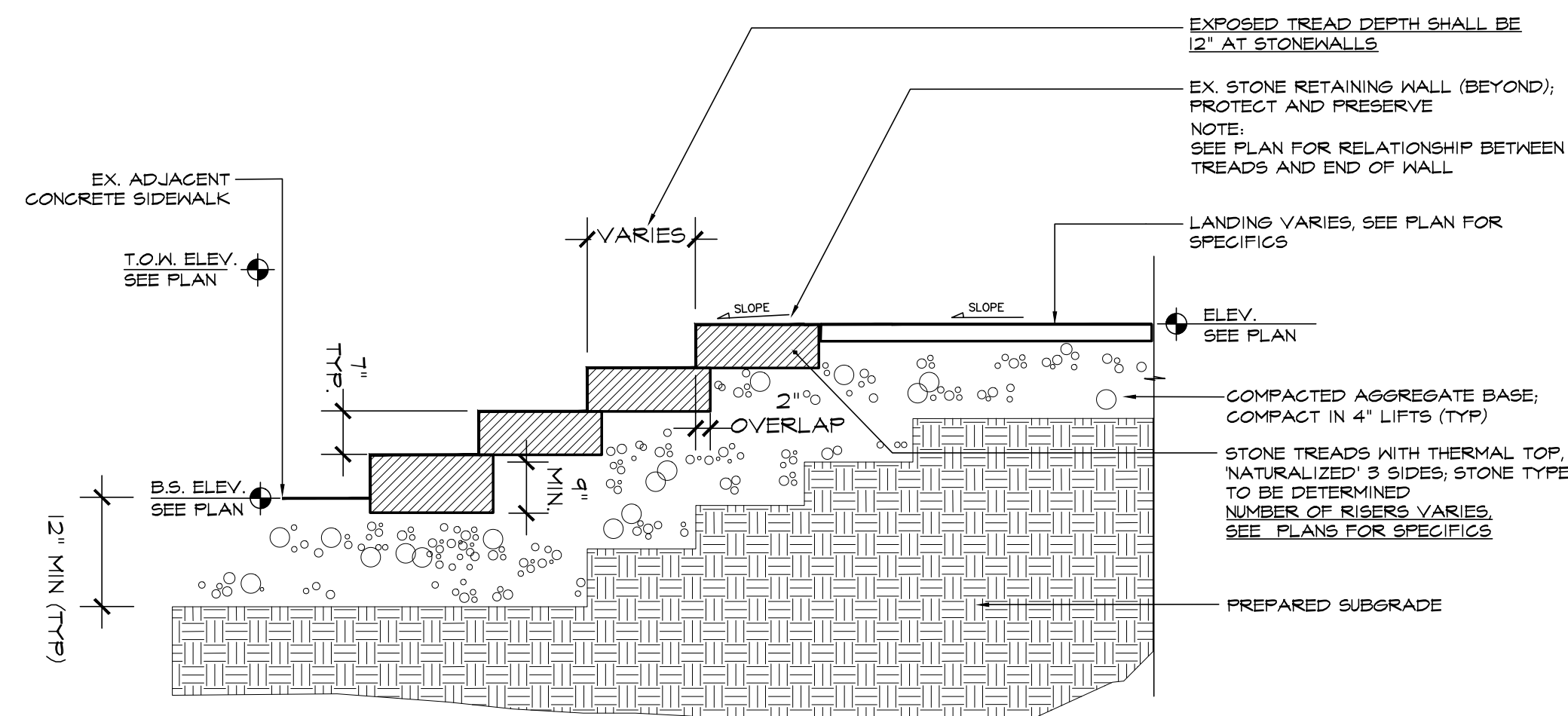


TYPICAL EXPANSION JOINT

10 CONCRETE PAVING JOINT DETAILS NOT TO SCALE



11 STEEL BOLLARD DETAIL NOT TO SCALE



12 STONE STEPS DETAIL NOT TO SCALE

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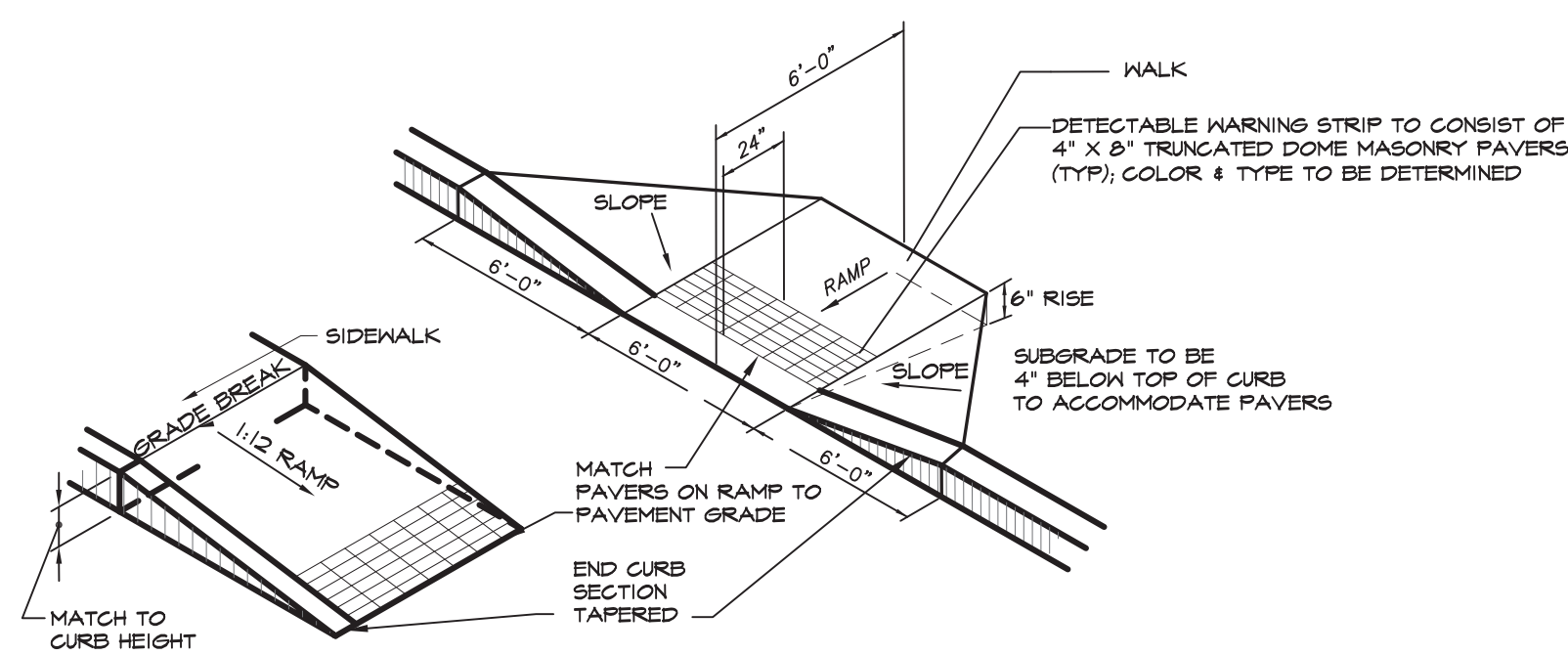
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Drawing Title:
SITE DETAILS

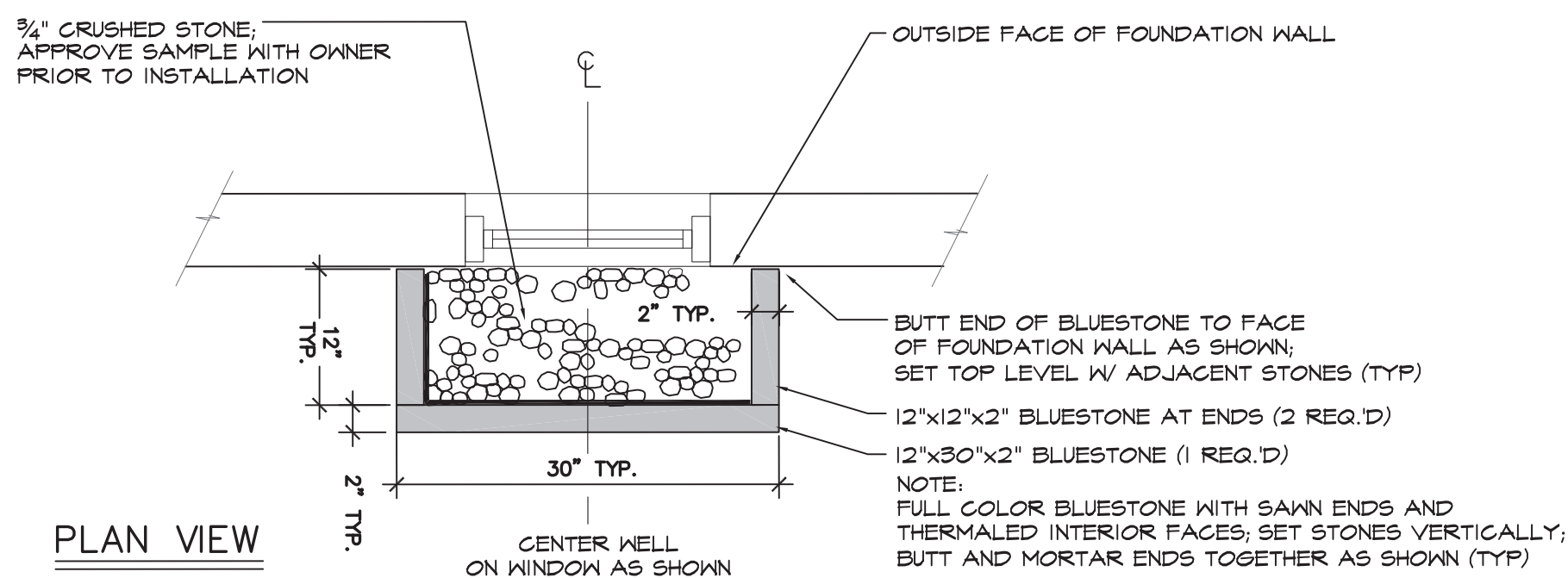
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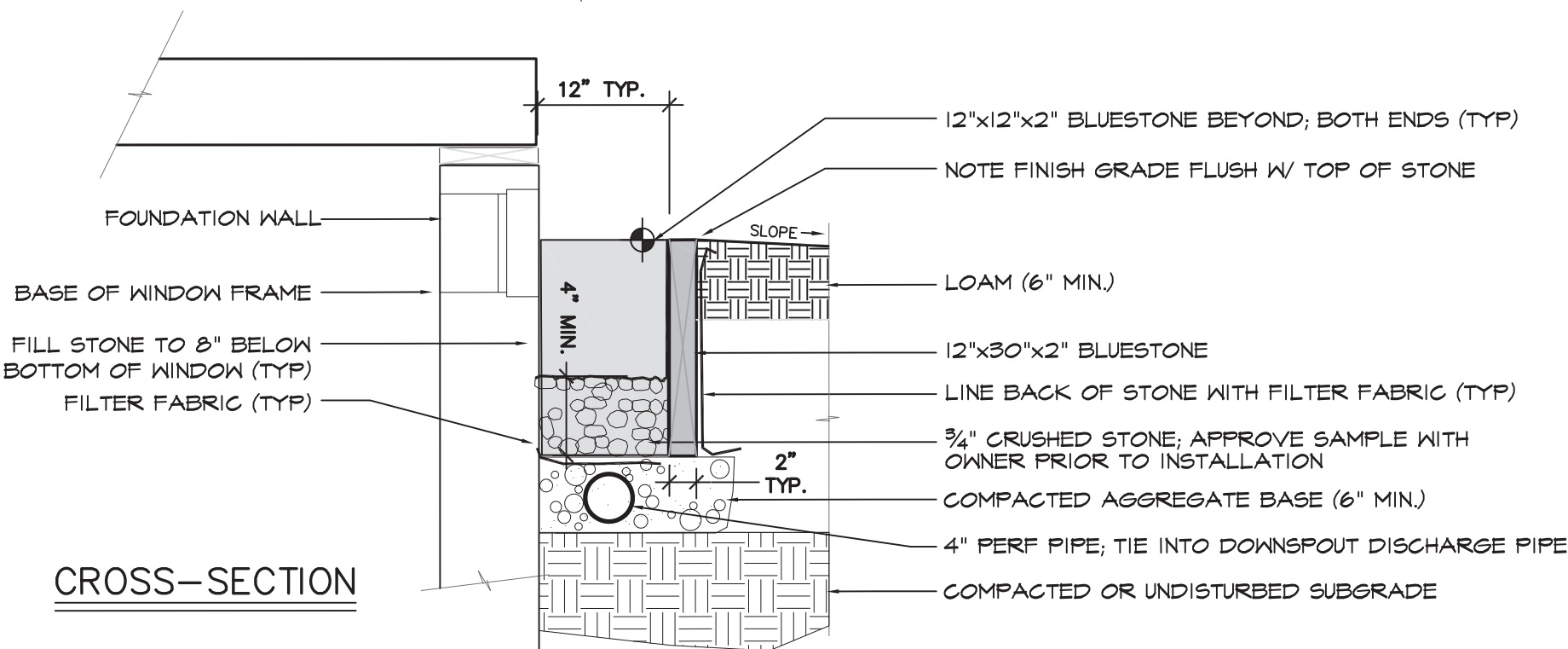
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1 ADA ACCESS RAMP DETAIL
NOT TO SCALE

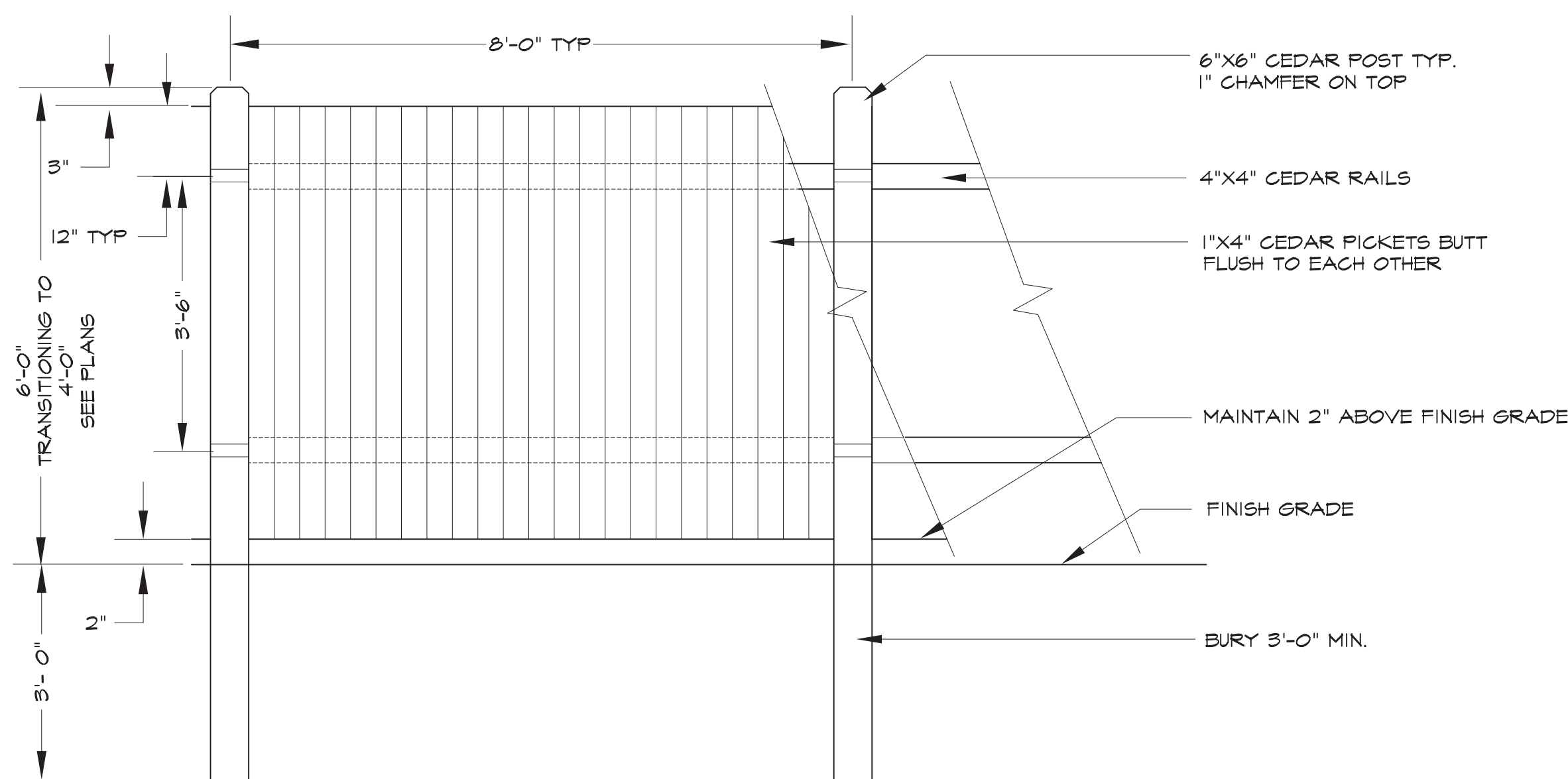


PLAN VIEW

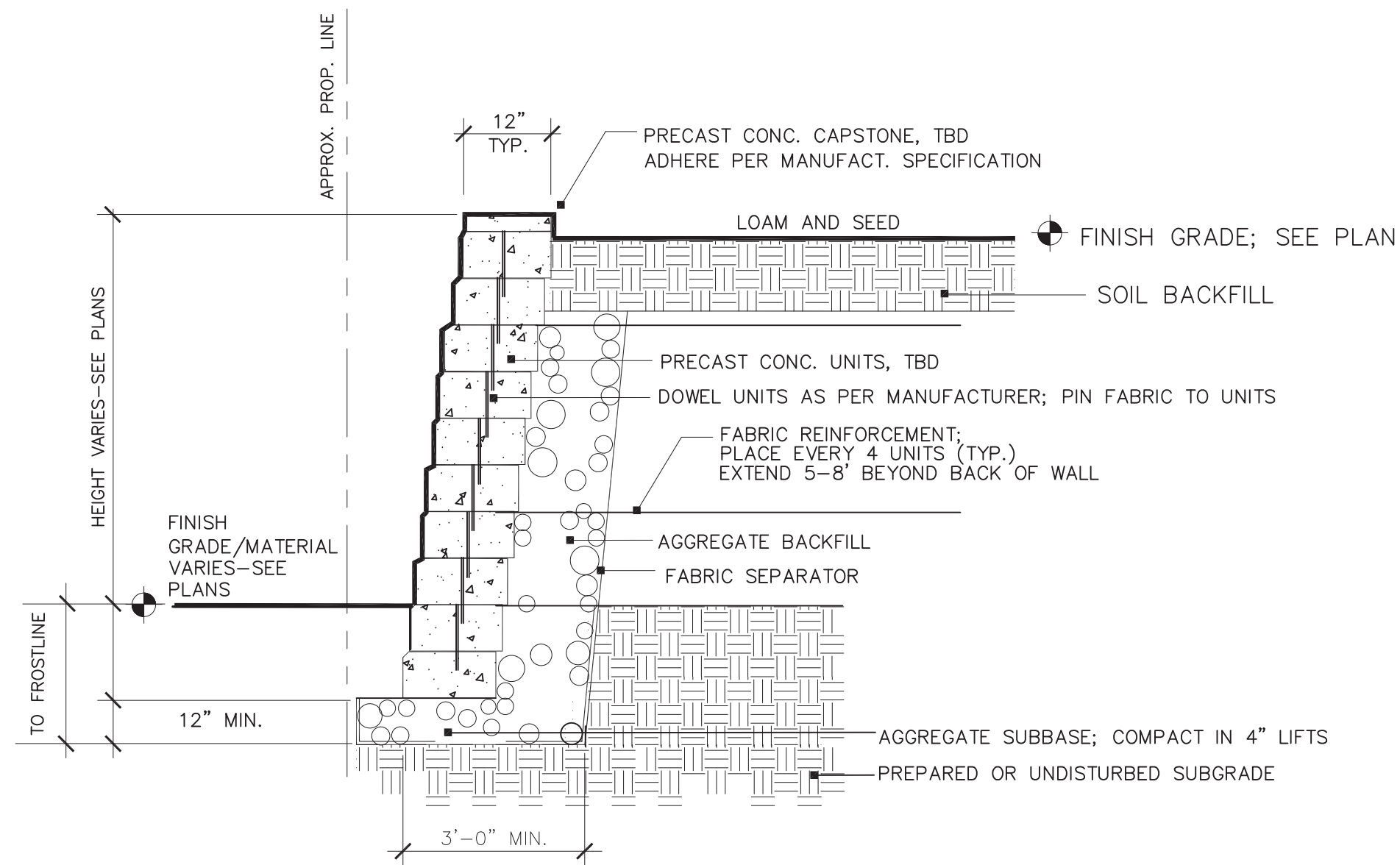


CROSS-SECTION

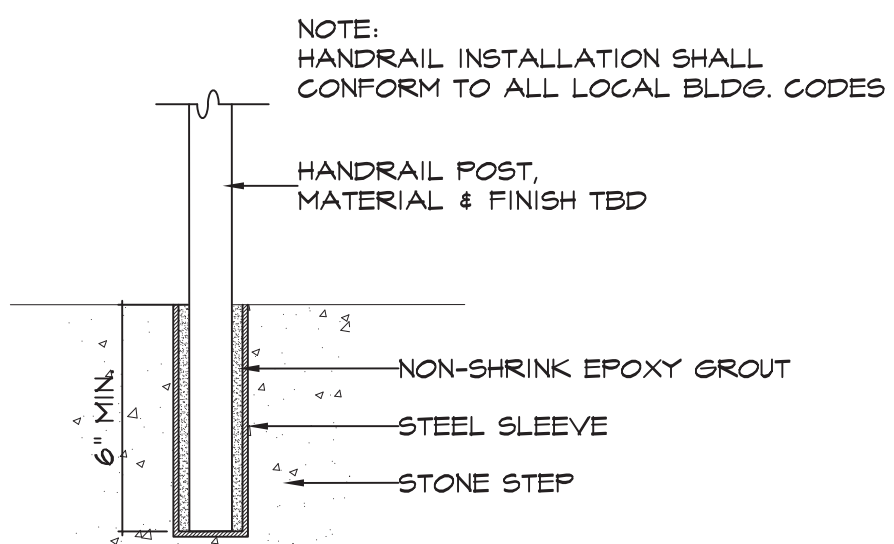
2 WINDOW WELL DETAIL
NOT TO SCALE



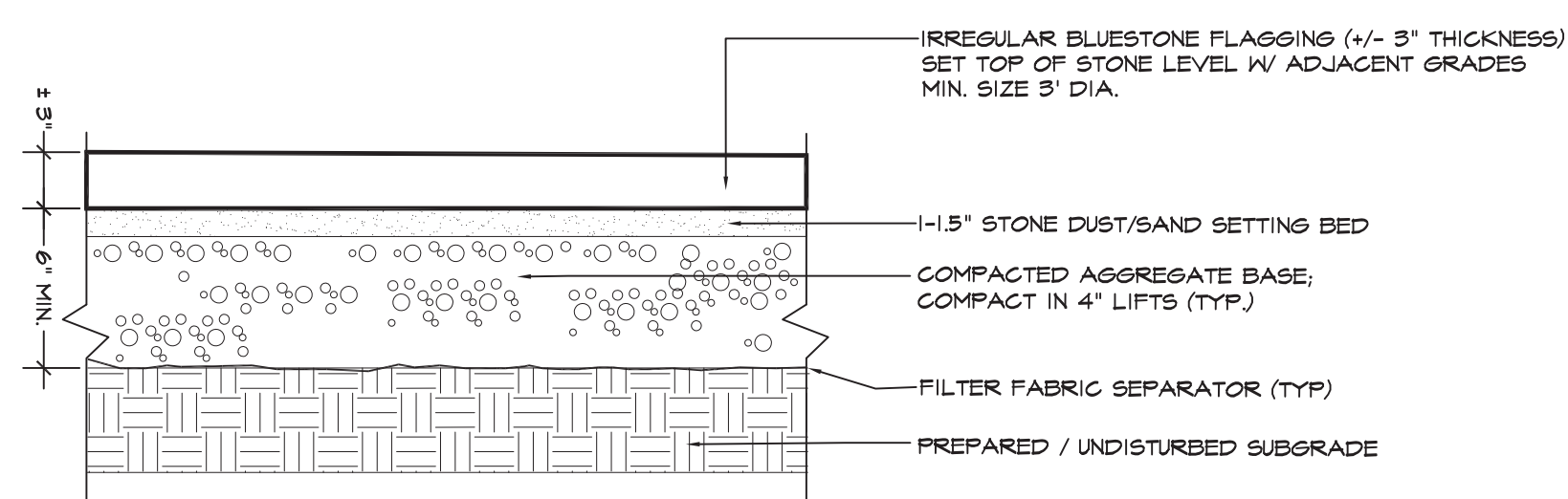
3 STOCKADE FENCE
NOT TO SCALE



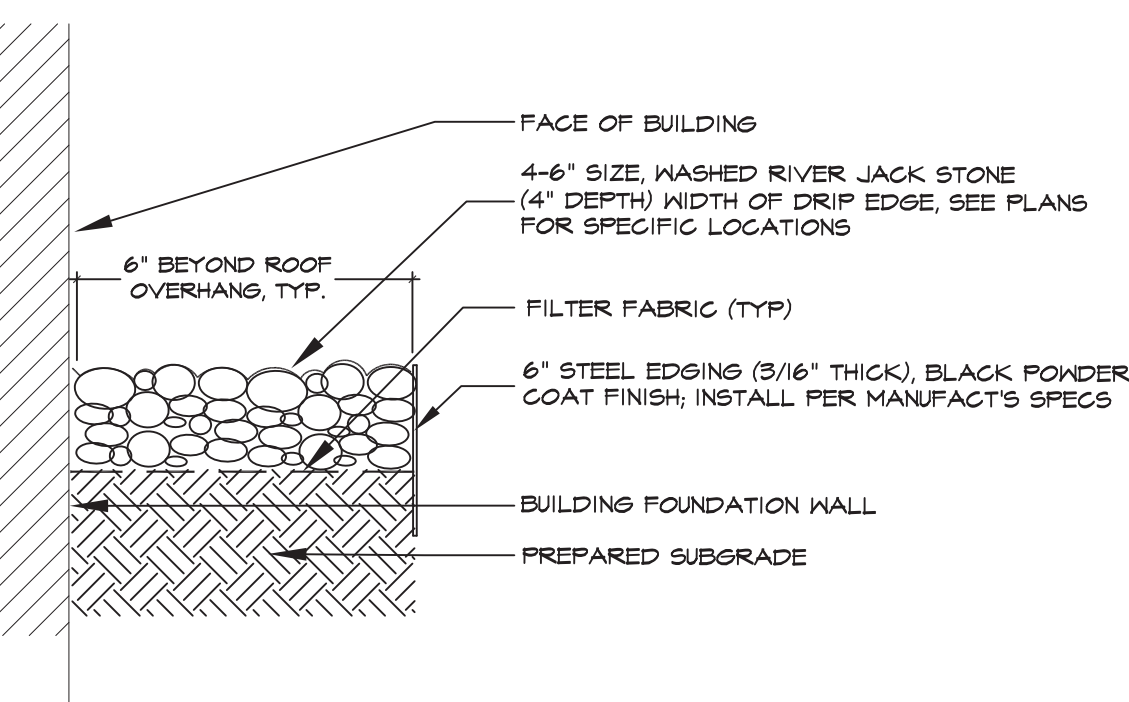
4 CONC. MODULAR BLOCK RETAINING WALL DETAIL
NOT TO SCALE



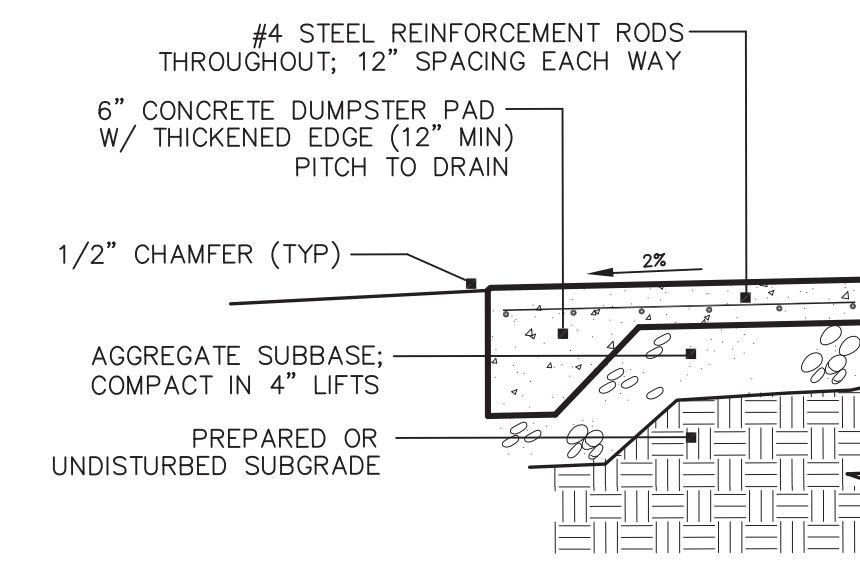
5 HANDRAIL DETAIL
NOT TO SCALE



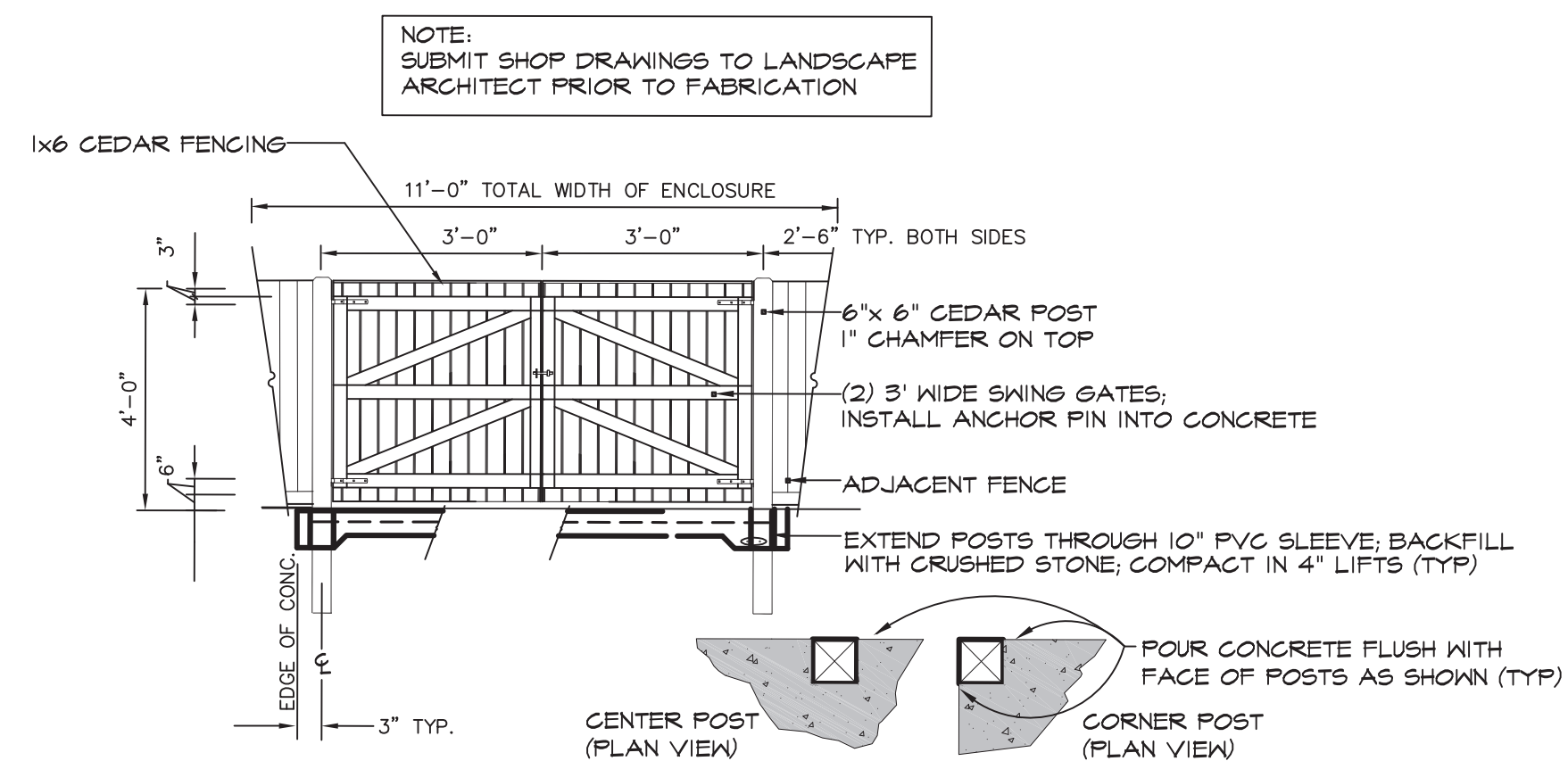
6 STAIR LANDING DETAIL
NOT TO SCALE



7 DRIP EDGE DETAIL
NOT TO SCALE



8 CONCRETE PAD @ TRASH ENCLOSURE
NOT TO SCALE



9 TRASH ENCLOSURE
NOT TO SCALE

NOT FOR CONSTRUCTION

130 EASTERN PROMENADE

PORTLAND, MAINE

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217 Commercial Street
Portland, Maine 04101
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Portland, ME 04101
207-774-9057

ENGINEER:
Blais Civil Engineers
780 Broadway
So. Portland, ME 04106
207-767-7300

No.	Date	Revision
6-21-11	RE-SUBMISSION TO CITY	
7-28-11	FOR CITY REVIEW	
8-12-11	PRICING SET	
10-15-13	AMENDED SITE PLAN	
11-20-13	RE-SUBMISSION TO CITY	

Drawing Set:
AMENDED SITE PLAN

Drawn:	TC
Checked:	PC
Approved:	

Drawing Title:

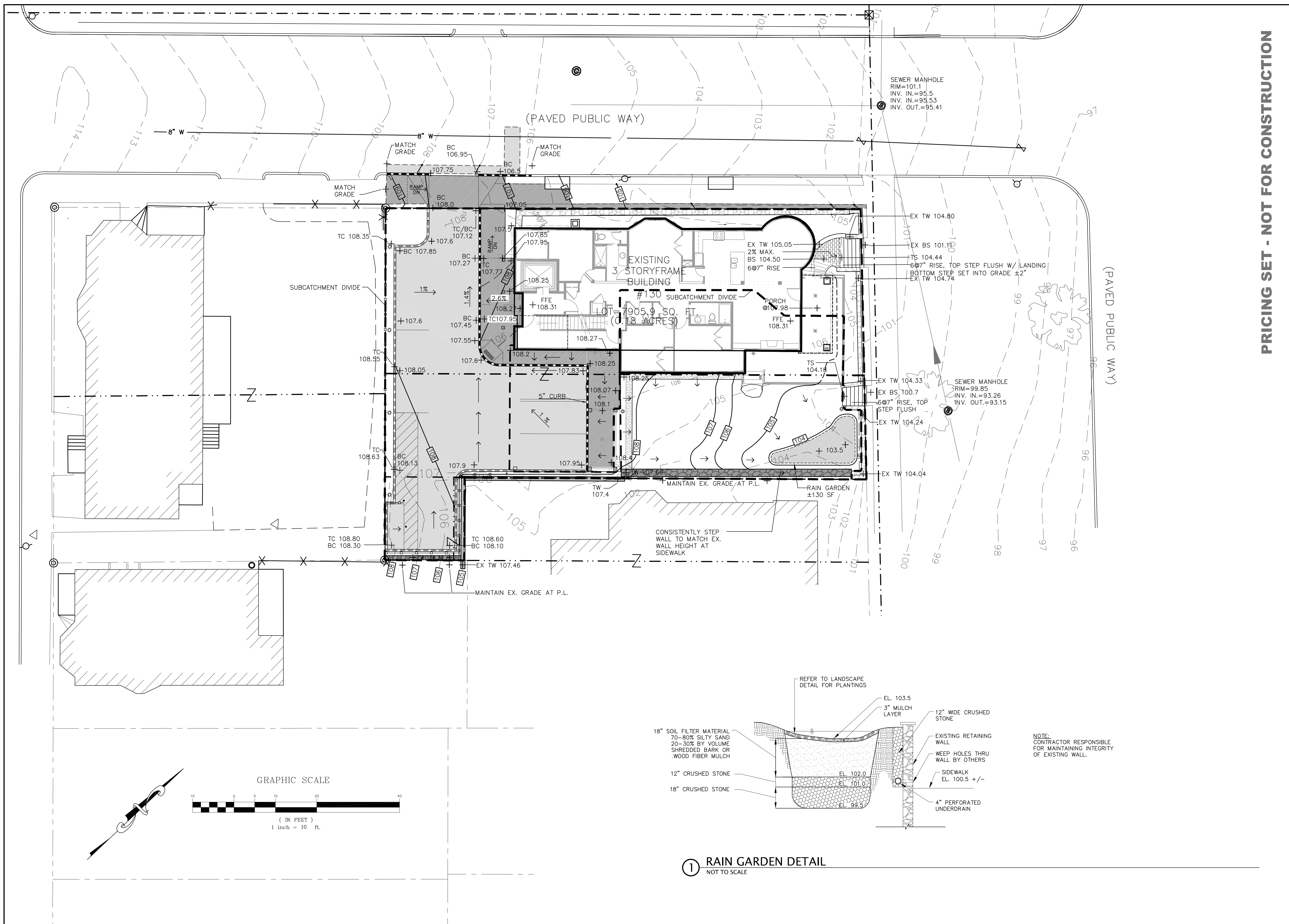
SITE DETAILS

Job Number:
File:
Date: 8-12-2011 Scale: 1" = 10'-0"

Drawing Number:

L-5.1

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PRICING SET - NOT FOR CONSTRUCTION

130 EASTERN PROMENADE

PORTLAND, MAINE

CARROLL ASSOCIATES
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Drawing Set:

No.	Date	Revision
6-21-11		RE-SUBMISSION TO CITY
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8-12-11		PRICING SET
10-11-13		PRICING SET

Drawing Set:

PRICING SET

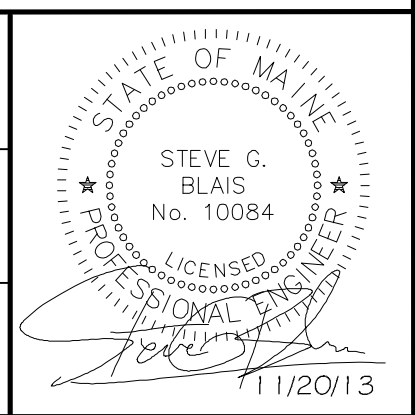
Drawn:

TC/JL

Checked:

PC/SB

Approved:



Drawing Title:

DRAINAGE PLAN

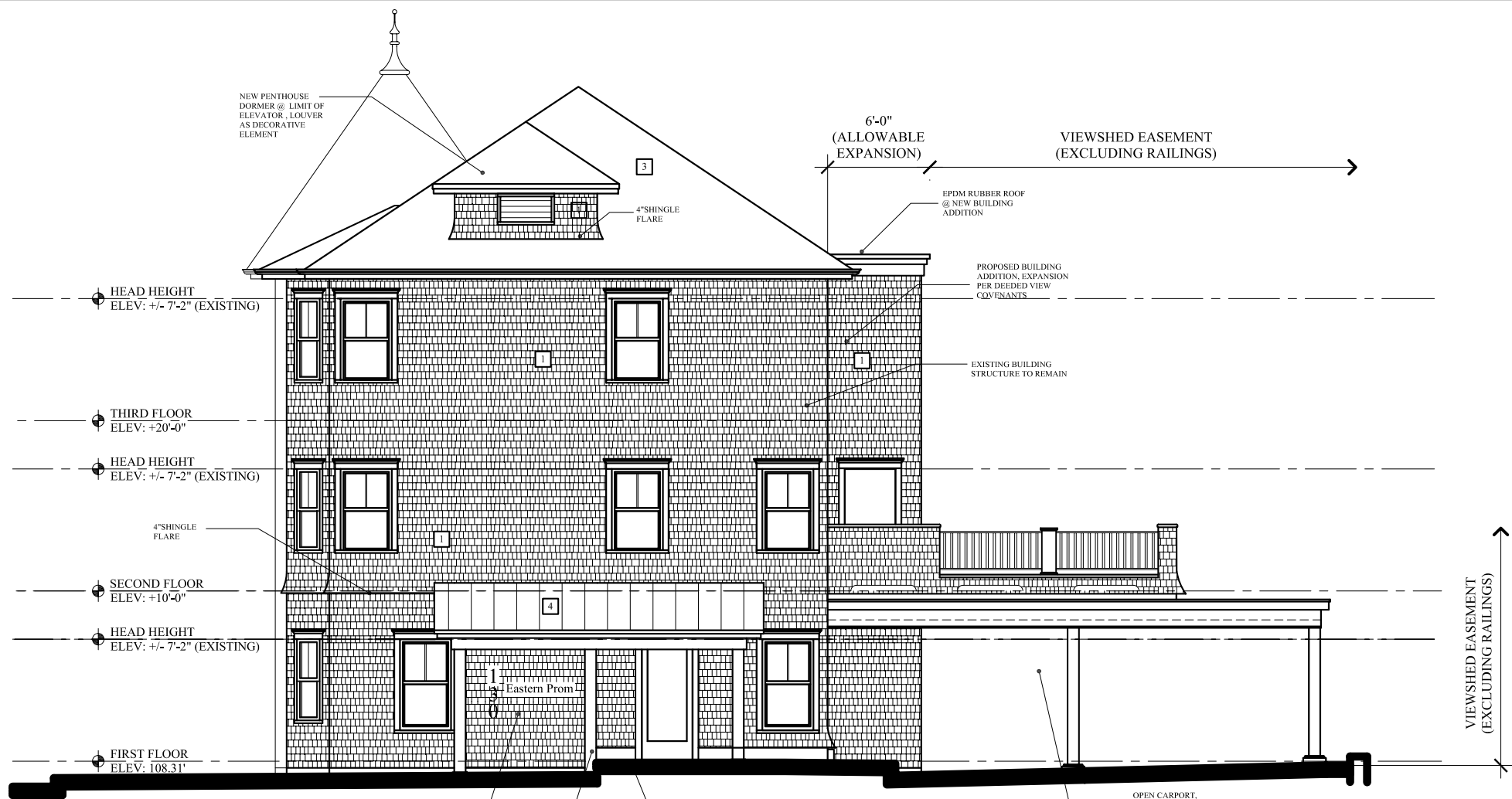
Job Number:

File:

Date: 8-12-2011 Scale: 1" = 10'-0"

Drawing Number:

D-1.0



MATERIAL NOTES:

- 1 WOOD SHINGLES
- 2 WOOD HORIZONTAL BOARD SIDING
- 3 ASPHALT ROOF SHINGLES
- 4 METAL STANDING SEAM ROOF
- 5 EXISTING BRICK BASE TO REMAIN

NOTE: ALL INTERIOR AND EXTERIOR SHINGLES SHALL BE WOVEN

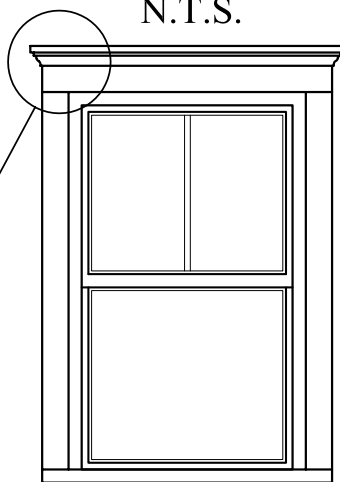
REAR ELEVATION

SCALE: 1/4" = 1'-0"

REVISIONS 12.03.2013

1. Revisions made in accordance with Planning Staff preliminary comments.
2. Revisions were based on 1924 photo of property (copy of photo provided).
2. Note revised window and door head detail.

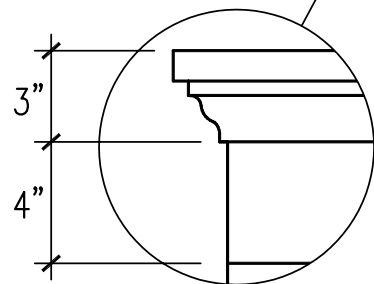
**Typical Window & Door Head Elevation Detail
N.T.S.**



5/4 x 4 head with profile trim as shown,

5/4 x 3 window and door jambs, as shown

8/4 15° tapered window sill
Vycor flashing at all window and door head, jamb and sill



FRONT ELEVATION

SCALE: 1/4" = 1'-0"

**REVISIONS PER PORTLAND PLANNING OFFICE COMMENTS:
DECEMBER 3, 2013**

**MARK
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MARK MUELLER ARCHITECTS

PROPOSED RENOVATIONS @:
130 EASTERN PROMENADE
FOR: 130 EASTERN PROMENADE LLC
110 MARGINAL WAY
PORTLAND, MAINE 04101

ELEVATIONS

REVISION	DATE
	02/24/2011
PROJECT	130 E. PROM
DRAWN BY	MPP
CHECK BY	MLM

A-2.1



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PROPOSED RENOVATIONS @:
130 EASTERN PROMENADE
FOR: 130 EASTERN PROMENADE LLC
110 MARGINAL WAY
PORTLAND, MAINE 04101

ELEVATIONS	
REVISIONS	DATE
	02/24/2011
PROJECT	130 E. PROM
DRAWN BY	MPP
CHECK BY	MLM

A-2.2



LEFT ELEVATION
SCALE: 1/4" = 1'-0"



RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

NEW FIXED BASEMENT
SASH AND GALV.
WINDOW WELLS

EXISTING BRICK TO BE
RE-PAINTED/ SEALED,
TYP. ALL ELEVATIONS

**REVISIONS PER PORTLAND PLANNING OFFICE COMMENTS:
DECEMBER 3, 2013**