

3-C-1

2013-236

130 Eastern Prom.

Plan Amendment - 3 Story Conversion

Fish House Realty

on Spreadsheet

130 EASTERN
PROMENADE

PORTLAND, MAINE

CARROLL ASSOCIATES
Landscape Architects

217 Commercial Street
Portland, Maine 04101
207.772.1552 carroll@carroll-assoc.com

Consultants:

SURVEYOR:
Robert Greenlaw PLS
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207-749-9471

ARCHITECT:
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100 Commercial St.
Portland, ME 04101
207-774-9057

ENGINEER:
Blais Civil Engineers
780 Broadway
So. Portland, ME 04106
207-767-7300

No.	Date	Revision
6-21-11		RE-SUBMISSION TO CITY
7-28-11		FOR CITY REVIEW
8-12-11		PRICING SET
10-15-13		AMENDED SITE PLAN
11-20-13		RE-SUBMISSION TO CITY

Drawing Set:
AMENDED SITE PLAN

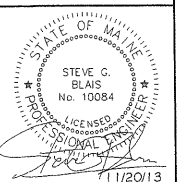
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Checked:

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Approved:



Drawing Title:

**SITE PREPARATION
PLAN**

Job Number:

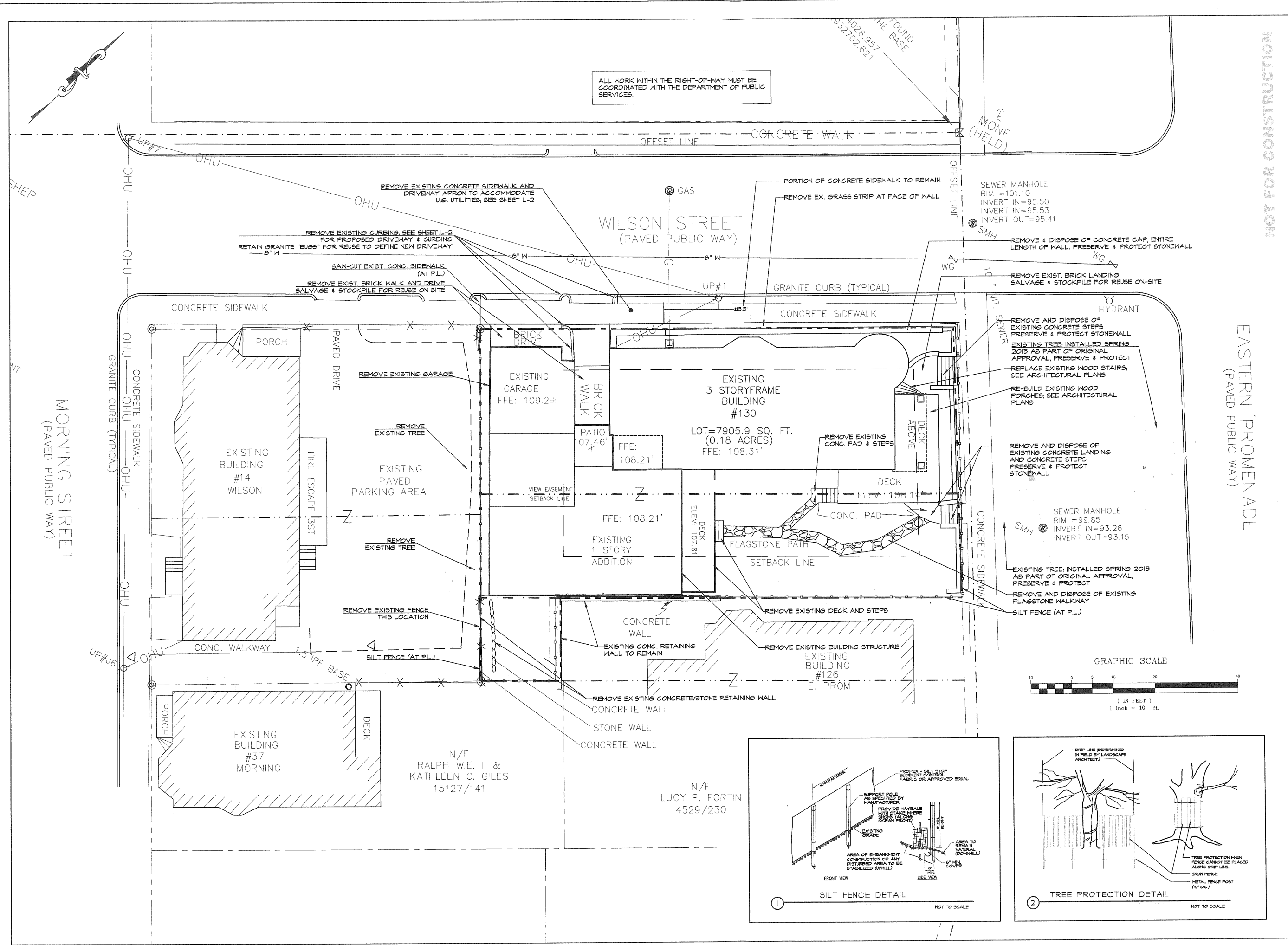
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Drawing Number:

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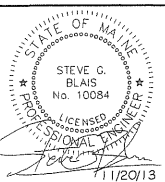
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Checked:

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Approved:



Drawing Title:

SITE LAYOUT & MATERIALS PLAN

Job Number:

File:

Date: 8-12-2011 Scale: 1" = 10'-0"

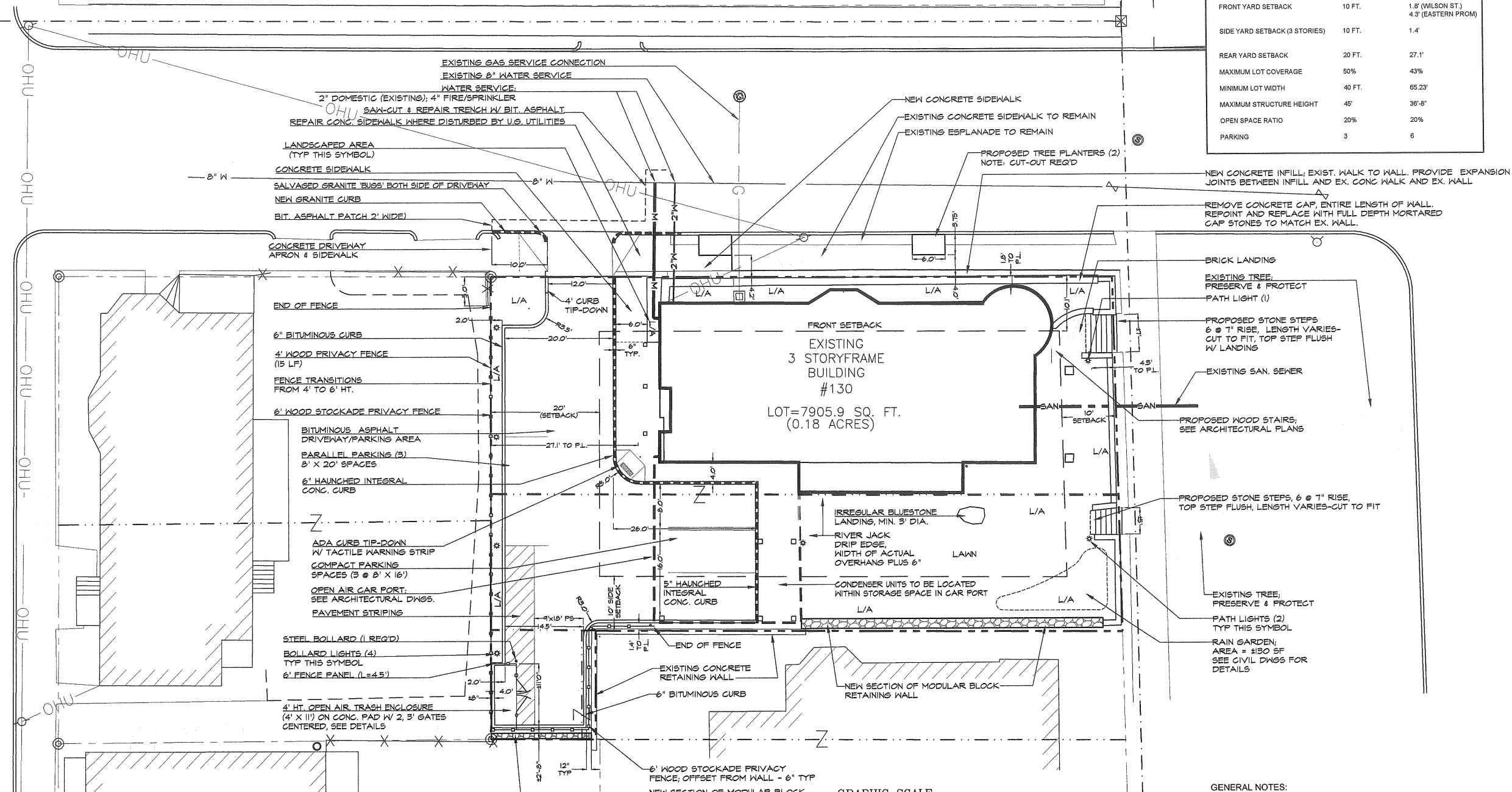
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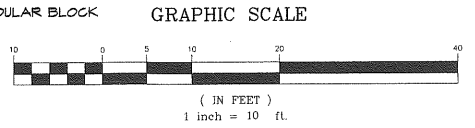
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R-6 / RESIDENTIAL ZONE		
SPATIAL STANDARDS	REQUIRED	PROVIDED
MINIMUM LOT SIZE	4,500 SF	7,906 SF
MINIMUM FRONTAGE	40 FT.	179.93'
FRONT YARD SETBACK	10 FT.	1.8' (MILSON ST.) 4.3' (EASTERN PROM)
SIDE YARD SETBACK (3 STORIES)	10 FT.	1.4'
REAR YARD SETBACK	20 FT.	27.1'
MAXIMUM LOT COVERAGE	50%	43%
MINIMUM LOT WIDTH	40 FT.	65.23'
MAXIMUM STRUCTURE HEIGHT	45'	36'-8"
OPEN SPACE RATIO	20%	20%
PARKING	3	6

NOT FOR CONSTRUCTION



SITE LIGHTING LEGEND	
	PATH LIGHT HUNZA BORDER LITE
	BOLLARD LIGHT HUNZA BOLLARD 700



- GENERAL NOTES:
- EXISTING CONDITIONS BASED ON BOUNDARY AND TOPOGRAPHIC SURVEY BY BACK BAY BOUNDARY, INC. LAND SURVEYING OF PORTLAND, MAINE DATED SEPTEMBER 7, 2006 AND UPDATED APRIL 26, 2011. CONTRACTOR SHALL PERFORM ON-SITE INSPECTION OF CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY ARCHITECT OF ANY DISCREPANCIES WHICH MAY EXIST.
 - CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND GRADES IN THE FIELD AND NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES.
 - ALL DIMENSIONS SHOWN ARE TO FACE OF ALL WALLS, BUILDINGS, CURBS, AND OTHER SITE ELEMENTS UNLESS OTHERWISE NOTED.
 - EXISTING UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE ONLY. CALL DIS-SAFE PRIOR TO BEGINNING WORK (1-800-225-4471).
 - ALL EXISTING VEGETATION TO BE PRESERVED AS SHOWN ON PLANS. PROVIDE A SMOOTH TRANSITION WHERE NEW WORK MEETS EXISTING.
 - AREAS NOT REQUIRING GRADING SHALL BE LEFT UNDISTURBED. NO EQUIPMENT STORAGE OR PARKING WILL BE ALLOWED OVER THE ROOTS OF VEGETATION WHICH ARE TO BE PRESERVED. CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS REQUIRED FOR THE WORK ON THESE PLANS.
 - ALL WORK SHALL COMPLY WITH LOCAL, STATE, AND FEDERAL REGULATIONS.
 - ALL AREAS DISTURBED OR WORK REQUIRED WITHIN TEMPORARY CONSTRUCTION AREAS ON PROPERTY SHALL BE REPAIRED BY REPAVING OR LOAM/SEEDING AS REQUIRED TO RETURN THE SITE TO PRE-CONSTRUCTION CONDITIONS.
 - ALL WORK WITHIN THE RIGHT-OF-WAY MUST BE COORDINATED WITH THE DEPARTMENT OF PUBLIC SERVICES.

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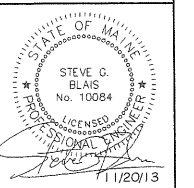
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Approved:



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SITE GRADING PLAN

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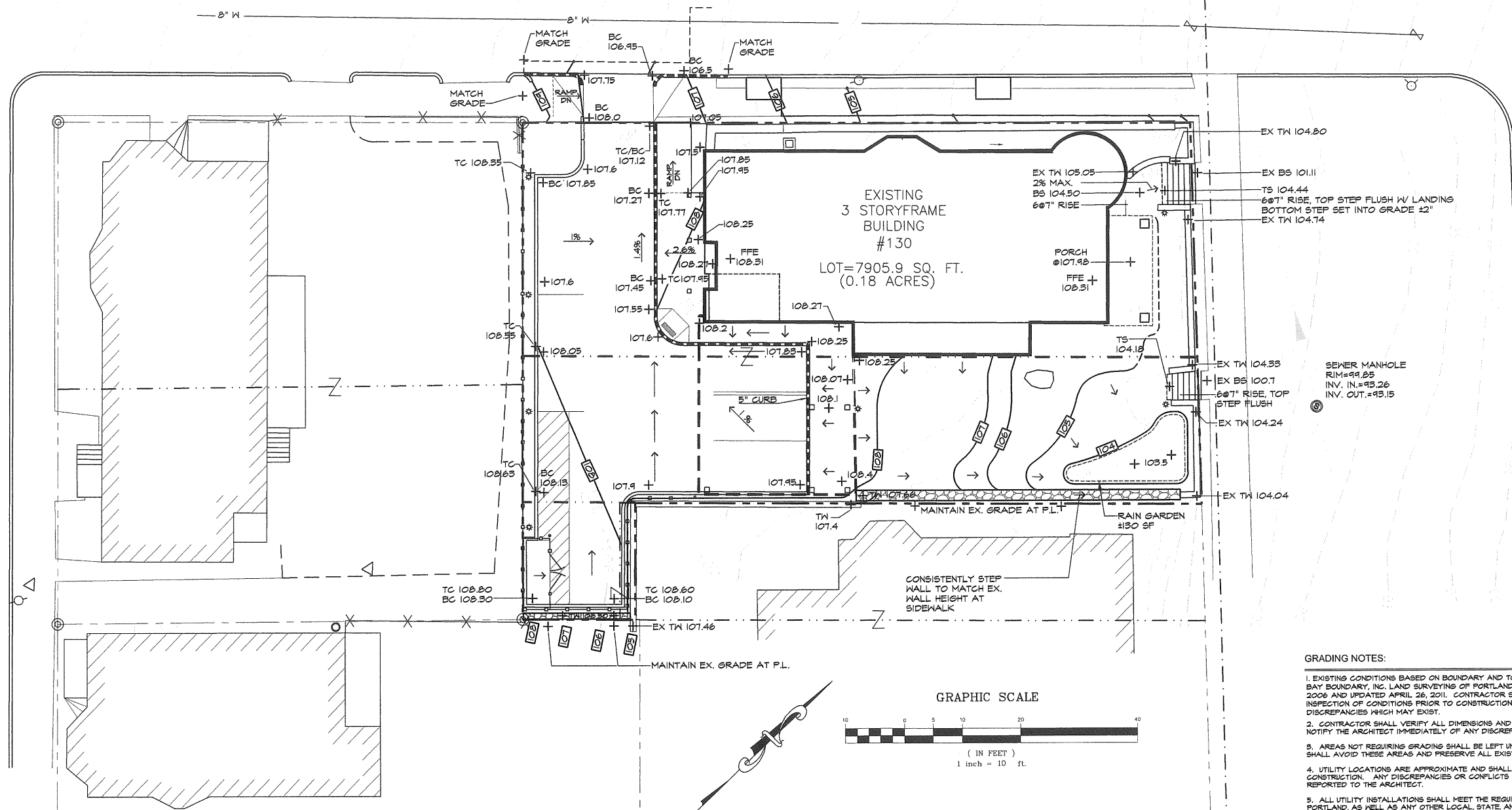
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L-3.0

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SEWER MANHOLE
RIM=101.1
INV. IN.=95.5
INV. OUT.=95.41

SEWER MANHOLE
RIM=99.85
INV. IN.=95.26
INV. OUT.=93.15

GRADING NOTES:

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- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND GRADES IN THE FIELD AND NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES.
- AREAS NOT REQUIRING GRADING SHALL BE LEFT UNDISTURBED. CONTRACTOR SHALL AVOID THESE AREAS AND PRESERVE ALL EXISTING VEGETATION AS NOTED.
- UTILITY LOCATIONS ARE APPROXIMATE AND SHALL BE VERIFIED PRIOR TO CONSTRUCTION. ANY DISCREPANCIES OR CONFLICTS SHALL BE IMMEDIATELY REPORTED TO THE ARCHITECT.
- ALL UTILITY INSTALLATIONS SHALL MEET THE REQUIREMENTS OF THE CITY OF PORTLAND, AS WELL AS ANY OTHER LOCAL, STATE, AND FEDERAL REQUIREMENTS.
- SITE CONTRACTOR SHALL REPAIR ALL DISTURBED AREAS IN ACCORDANCE WITH THE EROSION CONTROL PLAN AND DETAILS.
- ALL PROPOSED SLOPES GREATER THAN 5:1 SHALL HAVE AN EROSION MAT INSTALLED OVER FINISH GRADES TO PROTECT SEEDS FROM EROSION. AT CONTRACTOR'S OPTION, SLOPES MAY BE SODDED AS AN APPROPRIATE SUBSTITUTION TO SEED, AND MAT.
- ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE GUIDELINES ESTABLISHED IN THE BEST MANAGEMENT PRACTICES, AND MAINTAINED THROUGHOUT CONSTRUCTION OF THIS PROJECT.
- ALL AREAS DISTURBED BY CONSTRUCTION NOT TO BE PAVED OR OTHERWISE TREATED SHALL BE LOAMED AND SEEDS ACCORDING TO THE PROJECT SPECIFICATIONS. EXISTING LAWN AREAS WHICH ARE DISTURBED SHALL BE RESTORED TO THEIR ORIGINAL CONDITION.

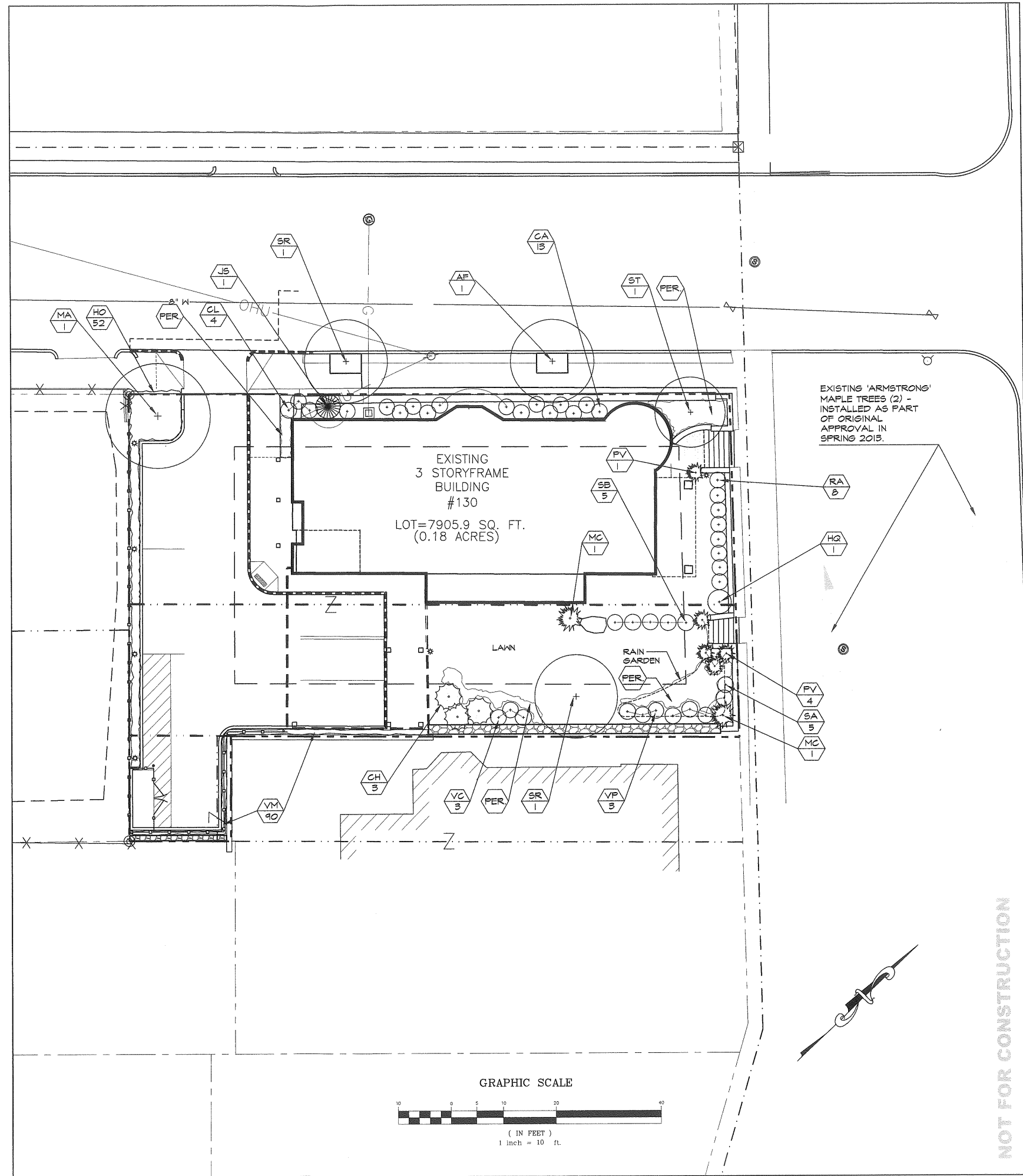
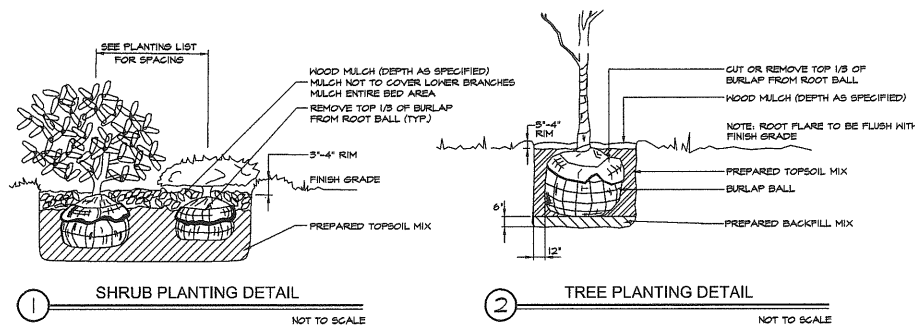
PLANT SCHEDULE

QTY.	SYM.	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
TREES					
1	AF	ACER X FREEMANII 'ARMSTRONG'	ARMSTRONG MAPLE	2.5' CAL.	B&B
1	MA	MALUS 'ADIRONDACK'	ADIRONDACK FLOWERING CRAB	2.5' CAL.	B&B/HEAVY GROWTH
2	SR	SYRINGA RETICULATA 'IVORY SILK'	IVORY SILK TREE LILAC	2.5' CAL.	B&B / SINGLE STEM
1	ST	STEHARTIA PSEUDOCAMELLIA	JAPANESE STEHARTIA	6-7'	B&B
SHRUBS / ORNAMENTAL GRASSES / GROUNDCOVERS/BULBS					
15	CA	COTONEASTER APICULATUS	GRANBERRY COTONEASTER	3 GAL.	CONT.
3	CH	CHAMAECYPARIS OBUSA 'COMPACTA'	COMPACT HINGKI FALSEGYFPRESS	5-6'	B&B
4	CL	CLETHRA ALNIFOLIA 'SIXTEEN CANDLES'	DWARF SUMMERSWEET	15-18"	
1	JS	JUNIPERUS SCOPULORUM 'NICHITA BLUE'	NICHITA BLUE JUNIFER	4-5'	B&B
1	HQ	HYDRANGEA QUERCIFOLIA 'SIKES DWARF'	DWARF OAKLEAF HYDRANGEA	5 GAL.	CONT.
52	HO	HOSTA SP. (ASSORTED)	HOSTA (ASSORTED)	2 GAL.	CONT. / 24" O.C.
2	MC	MISCANTHUS SINENSIS 'STRICTUS'	FORCUPINE GRASS	3 GAL.	CONT.
5	PV	PANICUM VIRSATUM 'SHENANDOAH'	SWITCH GRASS	3 GAL.	CONT.
6	RA	RHUS AROMATICA 'ORO-LOW'	DWARF FRAGRANT SUMAC	3 GAL.	CONT.
5	SA	SALIX PURPUREA 'NANA'	DWARF ARCTIC WILLOW	3 GAL.	CONT.
5	SB	SPIRAEA X BUMALDA 'NEON FLASH'	NEON FLASH SPIREA	18-24"	CONT.
40	VM	VINCA MINOR	PERIWINKLE	BARE ROOT	PLANT 10" O.C.
3	VC	VIBURNUM CARLESII	KOREANSPICE VIBURNUM	30-36"	B&B
3	VP	VIB. PLICATUM TOMENT. 'SNOWFLAKE'	SUMMER SNOWFLAKE VIBURNUM	30-36"	B&B
	PER	ASSORTED PERENNIALS	(TO BE DETERMINED)	1 GAL.	ZONE HARDY

NOTE: ALL SUBSTITUTIONS SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO ORDERING OF PLANTS

PLANTING NOTES

- CONTRACTOR SHALL BEGIN MAINTENANCE IMMEDIATELY AFTER PLANTING AND SHALL CONTINUE UNTIL FINAL ACCEPTANCE. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MEANS AND METHODS OF WATERING AND MAINTENANCE.
- CONTRACTOR SHALL SUBMIT PLANTS IN QUANTITIES SUFFICIENT TO COMPLETE WORK SHOWN ON THE PLAN. ANY DISCREPANCY BETWEEN THE QUANTITIES SHOWN IN THE PLANT SCHEDULE AND THOSE REQUIRED ON THE PLAN SHALL NOT ENTITLE THE CONTRACTOR TO ADDITIONAL REMUNERATION. ANY DISCREPANCIES SHALL BE CLARIFIED WITH THE LANDSCAPE ARCHITECT PRIOR TO ORDERING PLANT MATERIAL.
- ALL MATERIALS SHALL CONFORM TO SPECIFICATIONS OF THE AMERICAN STANDARDS FOR NURSERY STOCK (LATEST EDITION) AS SET FORTH BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- ALL PLANTS SHALL BEAR THE SAME RELATIONSHIP TO FINISH GRADE AS THE ORIGINAL GRADES BEFORE DIGGING.
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR ONE (1) FULL YEAR FROM DATE OF SUBSTANTIAL COMPLETION.
- ALL PLANT MATERIALS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT AT THE NURSERY AND AT THE SITE.
- ALL PLANT BEDS SHALL MEET MINIMUM TOPSOIL REQUIREMENTS (SEE SPECIFICATIONS).
- NO PLANT MATERIAL SHALL BE INSTALLED UNTIL GRUBBING, BED PREPARATION, AND FINISH GRADING HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
- ALL PLANTS BEDS AND TREE WELLS SHALL HAVE A MINIMUM OF 5" OF UNIFORMLY DISTRIBUTED, DARK, SHREDDED BARK MULCH.
- CONTRACTOR SHALL SUBMIT SOIL SAMPLE AND TEST OF TOPSOIL TO LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. SOIL ADJUSTURE SHALL BE ADDED TO EXISTING SOIL (BY CONTRACTOR) IF DETERMINED NECESSARY BY SOIL TEST RESULTS.
- ROUGH GRADING AND BED PREPARATION SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PLANT INSTALLATION. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT 48 HOURS PRIOR TO REQUIRED SITE VISIT.
- ALL PLANTS SHALL BE BALLED AND WRAPPED OR CONTAINER GROWN AS SPECIFIED. ALL ROOT WRAPPING AND CONTAINER MATERIAL MADE OF SYNTHETICS OR PLASTICS SHALL BE REMOVED AT THE TIME OF PLANTING.
- ALL BROAD LEAF EVERGREEN PLANTS SHALL BE SPRAYED WITH AN ANTI-DESSICANT AT THE BEGINNING OF THEIR FIRST WINTER.
- ALL PLANTS SHALL BE INSTALLED AS PER DETAILS AND THE CONTRACT SPECIFICATIONS. THE LANDSCAPE CONTRACTOR SHALL REFER TO THE CONTRACT SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
- CONTRACTOR SHALL STAKE TREES IF DEEMED NECESSARY BY LANDSCAPE ARCHITECT.
- THE LANDSCAPE CONTRACTOR SHALL PROVIDE LOAM FILL AS PER THE CONTRACT SPECIFICATIONS.
- ALL PLANTS SHALL THEN BE WATERED BY THE CONTRACTOR, AS NECESSARY TO INSURE HEALTH UNTIL FINAL ACCEPTANCE.
- THE LANDSCAPE CONTRACTOR SHALL REFER TO THE PLANT LIST AND PLANTING SPECIFICATIONS FOR SEASONAL REQUIREMENTS AND OTHER RESTRICTIONS RELATED TO THE TIME AND SEASON OF PLANTING.



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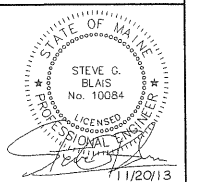
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LANDSCAPE PLAN

Job Number:

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Date: 8-12-2011 | Scale: 1" = 10'-0"

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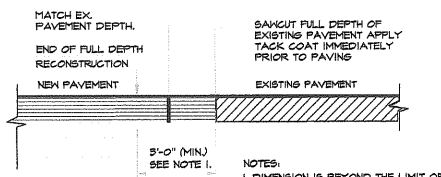
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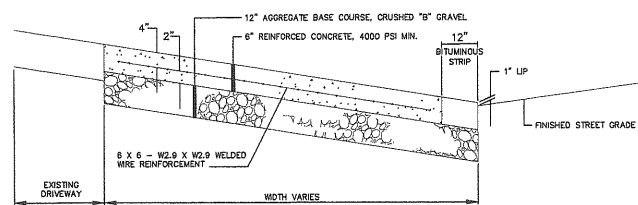
A BITUMINOUS PAVEMENT (DRIVEWAY)	
B LANDSCAPE AREA	
C LOAM AND SOD	

NOTE: ALL COURSE MATERIALS REFLECT THICKNESS AFTER FINAL COMPACTION.

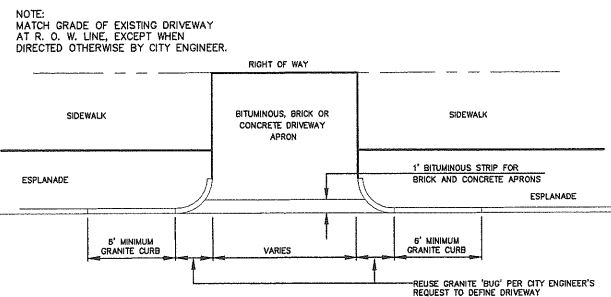
1 SCHEDULE OF SURFACES / DETAIL NOT TO SCALE



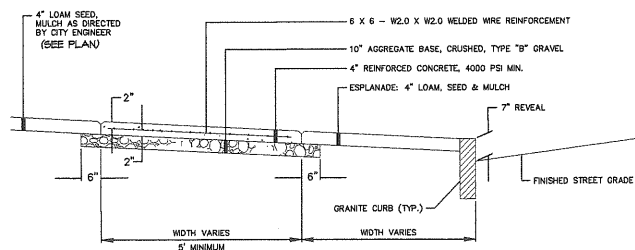
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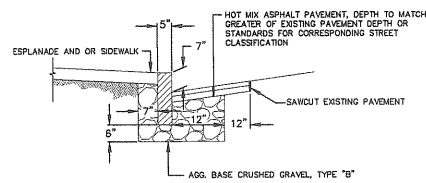
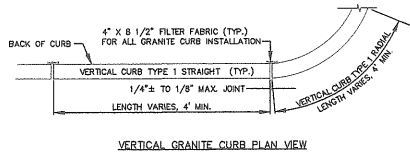
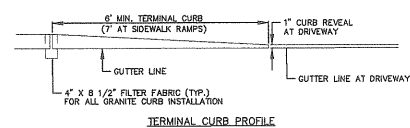
3 REINFORCED CONCRETE DRIVEWAY APRON NOT TO SCALE



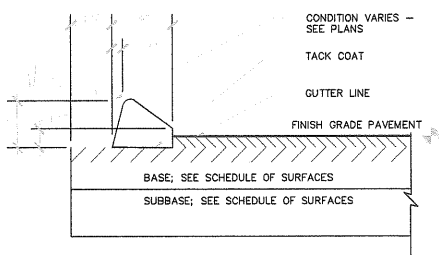
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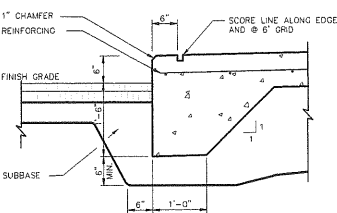
5 REINFORCED CONCRETE SIDEWALK DETAIL NOT TO SCALE



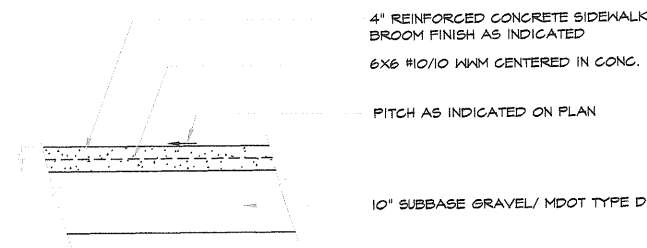
6 VERT. GRANITE CURB INSTALLATION IN EXISTING ST. NOT TO SCALE



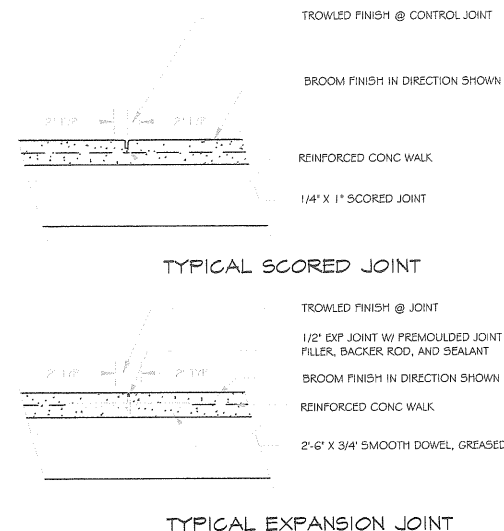
7 BITUMINOUS CURB DETAIL NOT TO SCALE



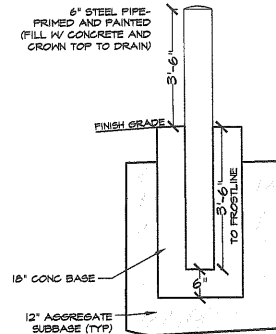
8 INTEGRAL CONCRETE CURB DETAIL NOT TO SCALE



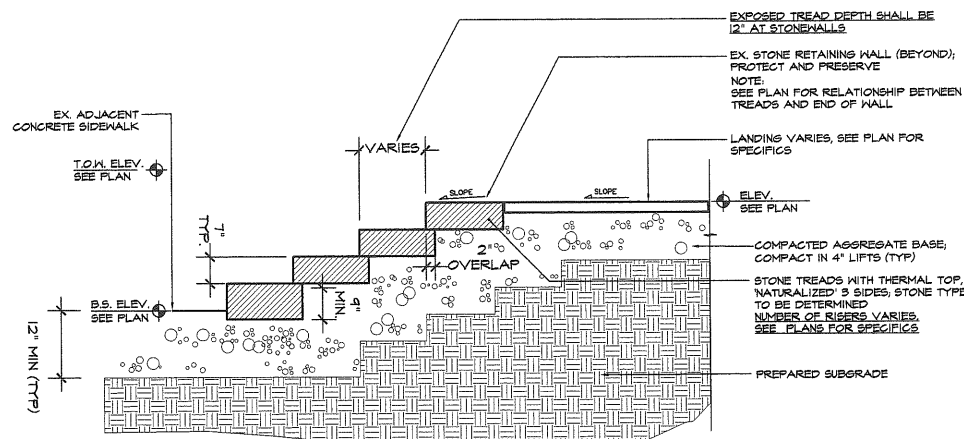
9 CONCRETE SIDEWALK DETAIL (INTERENAL) NOT TO SCALE



10 CONCRETE PAVING JOINT DETAILS NOT TO SCALE



11 STEEL BOLLARD DETAIL NOT TO SCALE



12 STONE STEPS DETAIL NOT TO SCALE

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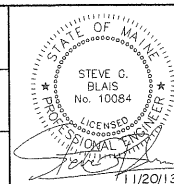
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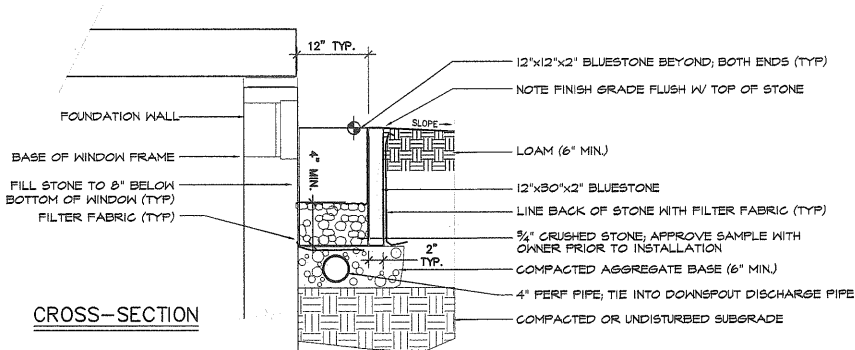
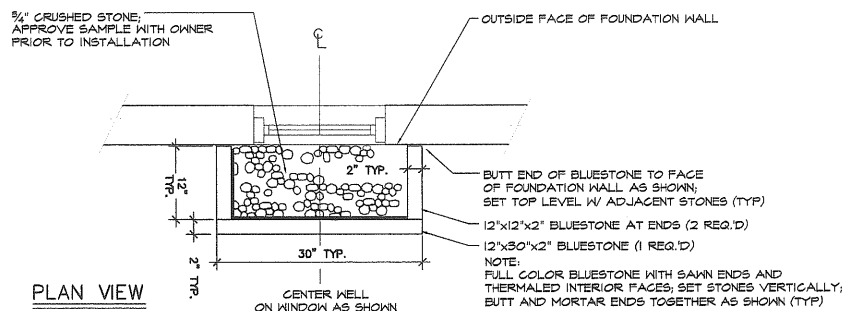
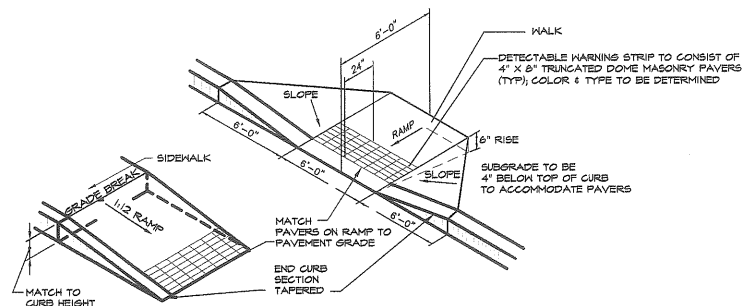


Drawing Title:
SITE DETAILS

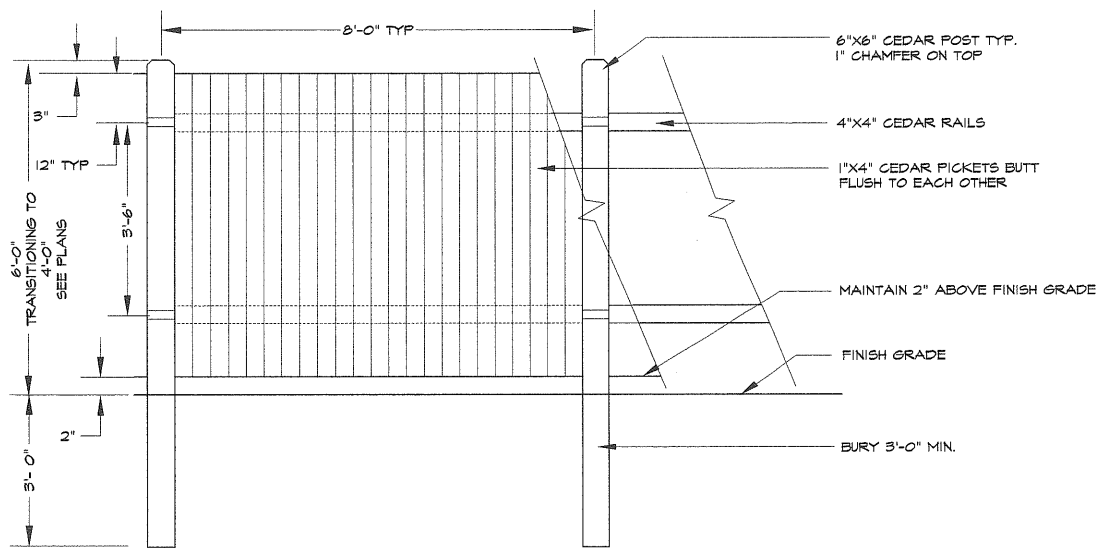
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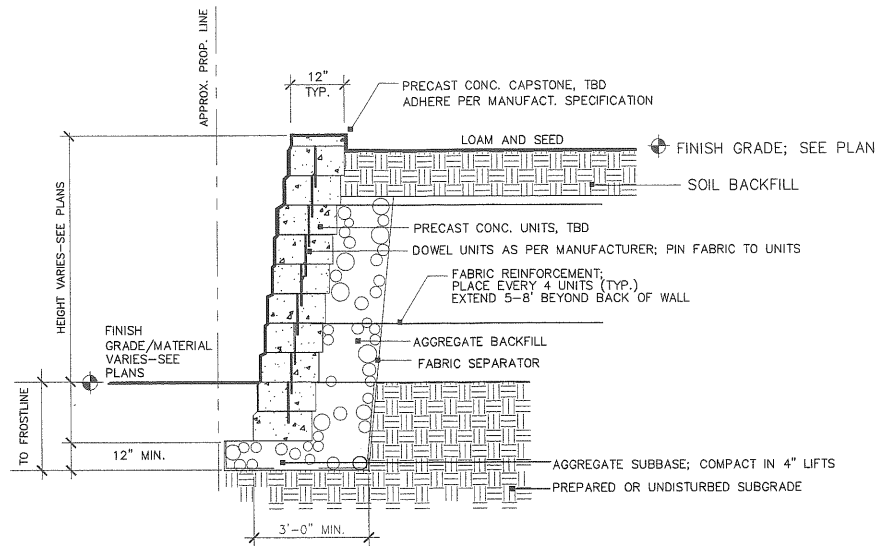
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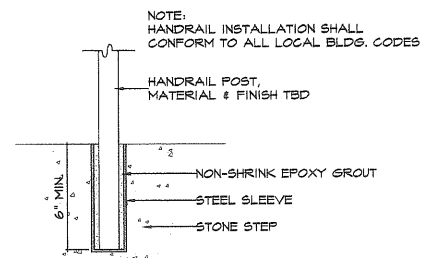
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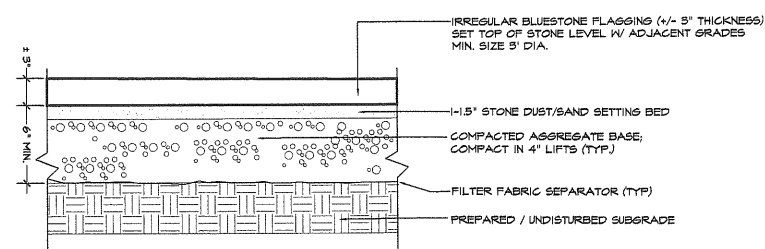
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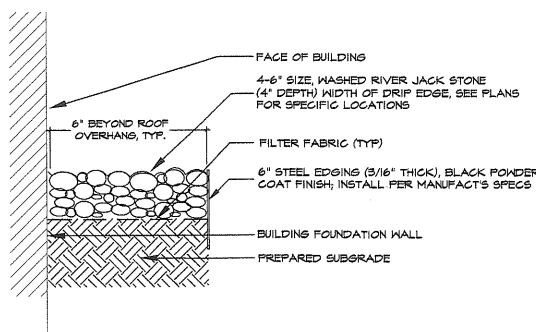
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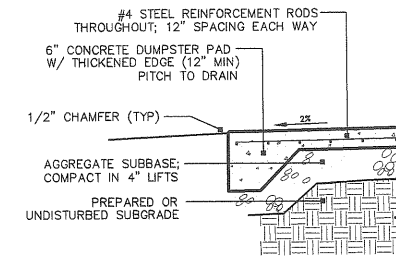
5 HANDRAIL DETAIL
NOT TO SCALE



6 STAIR LANDING DETAIL
NOT TO SCALE

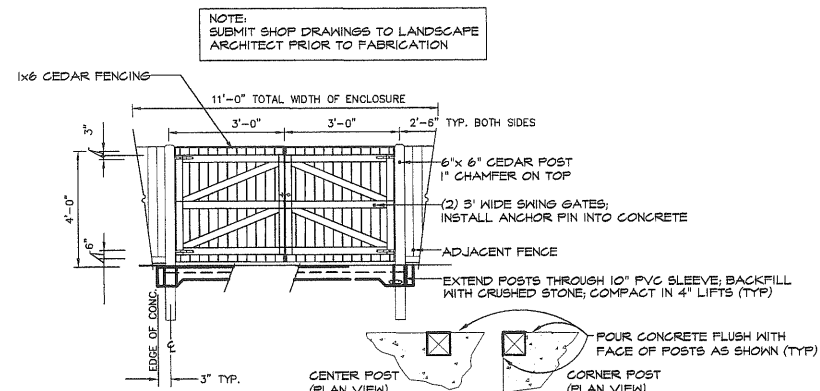


7 DRIP EDGE DETAIL
NOT TO SCALE



8 CONCRETE PAD @ TRASH ENCLOSURE
NOT TO SCALE

- NOTES:
- ALL BURIED WOOD TO BE PRESSURE TREATED TO A MIN. NET OF .40 LBS. CCA PER CUBIC FOOT OF WOOD AND EACH PIECE SHALL BEAR THE AMERICAN WOOD PRESERVERS BUREAU QUALITY MARK LP-22 "GROUND CONTACT USE."
 - ALL NAILS, SCREWS AND BRACKETS TO BE GALVANIZED.
 - CONC PAD TO BE MIN 6" THICK REINFORCED W/ 6X6 #9% W/M OR APPROVED EQ.



9 TRASH ENCLOSURE
NOT TO SCALE

NOT FOR CONSTRUCTION

130 EASTERN PROMENADE

PORTLAND, MAINE

CARROLL ASSOCIATES
Landscape Architects

217 Commercial Street
Portland, Maine 04101
207.772.1552
pcarroll@carroll-assoc.com

Consultants:

SURVEYOR:
Robert Greenlaw PLS
174 Portland Ave.
Old Orchard Beach, ME 04064
207-749-9471

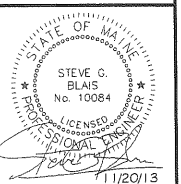
ARCHITECT:
Mark Mueller Architects
100 Commercial St.
Portland, ME 04101
207-774-9057

ENGINEER:
Blais Civil Engineers
780 Broadway
So. Portland, ME 04106
207-767-7300

No.	Date	Revision
6-21-11		RE-SUBMISSION TO CITY
7-28-11		FOR CITY REVIEW
8-12-11		PRICING SET
10-15-13		AMENDED SITE PLAN
11-20-13		RE-SUBMISSION TO CITY

Drawing Set:
AMENDED SITE PLAN

Drawn:
TC
Checked:
PC
Approved:



Drawing Title:

SITE DETAILS

Job Number:

File:

Date: 8-12-2011 Scale: 1" = 10'-0"

Drawing Number:

L-5.1

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130 EASTERN
PROMENADE

PORTLAND, MAINE

CARROLL ASSOCIATES
Landscape Architects

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10-11-13		PRICING SET

Drawing Set:

PRICING SET

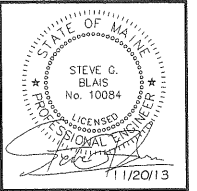
Drawn:

TC/JL

Checked:

PC/SB

Approved:



Drawing Title:

DRAINAGE PLAN

Job Number:

File:

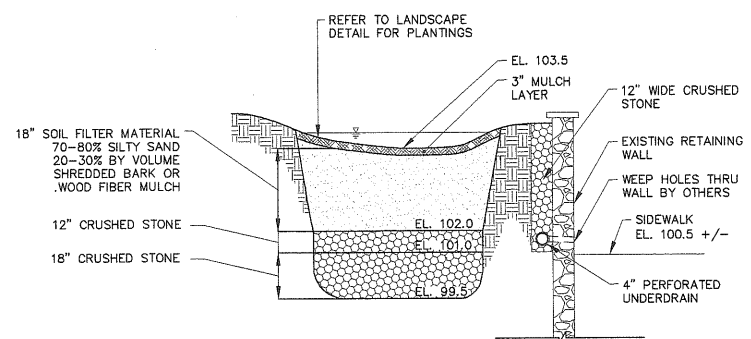
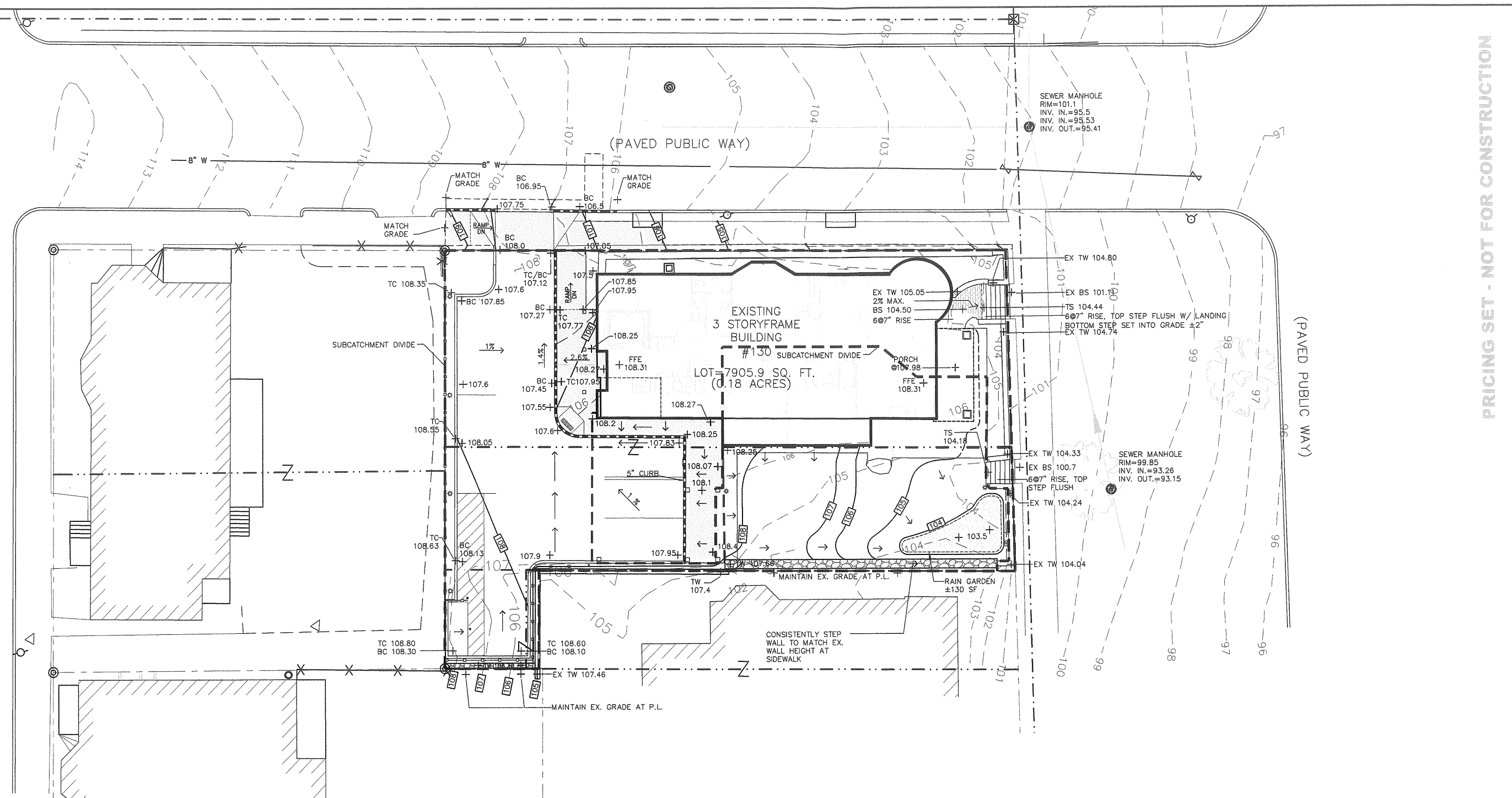
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Drawing Number:

D-1.0

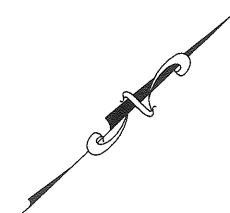
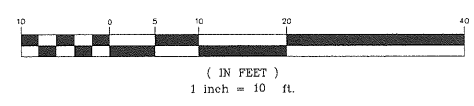
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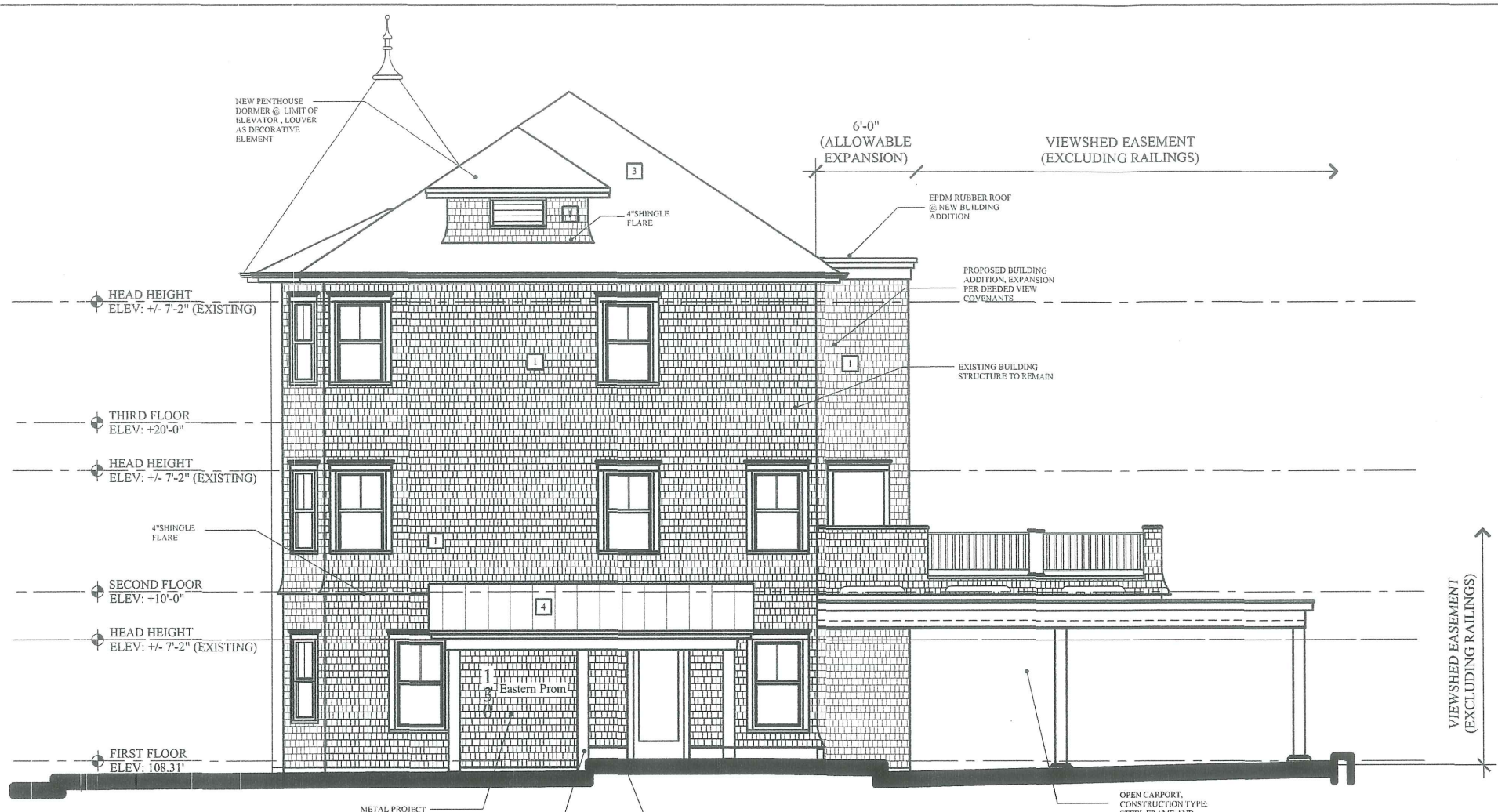
PRICING SET - NOT FOR CONSTRUCTION



① RAIN GARDEN DETAIL
NOT TO SCALE

GRAPHIC SCALE





- MATERIAL NOTES:
- 1 WOOD SHINGLES
 - 2 WOOD HORIZONTAL BOARD SIDING
 - 3 ASPHALT ROOF SHINGLES
 - 4 METAL STANDING SEAM ROOF
 - 5 EXISTING BRICK BASE TO REMAIN

NOTE: ALL INTERIOR AND EXTERIOR SHINGLES SHALL BE WOVEN.

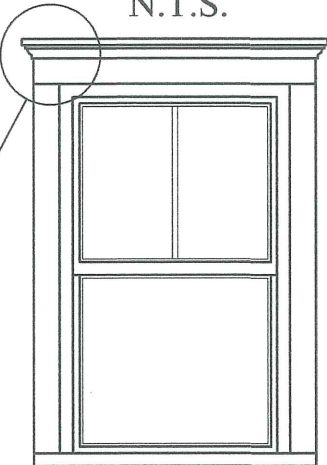
REAR ELEVATION

SCALE: 1/4" = 1'-0"

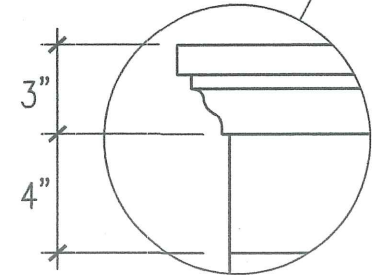
REVISIONS 12.03.2013

1. Revisions made in accordance with Planning Staff preliminary comments.
2. Revisions were based on 1924 photo of property (copy of photo provided).
2. Note revised window and door head detail.

**Typical Window & Door Head Elevation Detail
N.T.S.**



5/4 x 4 head with profile trim as shown,
5/4 x 3 window and door jambs, as shown
8/4 15° tapered window sill
Vycor flashing at all window and door head, jamb and sill



FRONT ELEVATION

SCALE: 1/4" = 1'-0"

**REVISIONS PER PORTLAND PLANNING OFFICE COMMENTS:
DECEMBER 3, 2013**

**MARK
MUELLER
ARCHITECTS**
A.I.A.
100 Commercial Street
Suite 205
Portland, Maine 04101
Phone: 207.774.9057
Email: rfm@muellerarchitects.com

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MARK MUELLER ARCHITECTS

130 EASTERN PROMENADE
FOR: 130 EASTERN PROMENADE LLC
110 MARGINAL WAY
PORTLAND, MAINE 04101

PROPOSED RENOVATIONS @:

ELEVATIONS

DATE	02/24/2011
PROJECT	130 E. PROM.
DRAWN BY	MPP
CHECK BY	MAM



**MARK
MUELLER
ARCHITECTS**
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Portland, Maine 04101
Phone: 207.774.9057
Email: rfm@muellerarchitects.com

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BY: MARK MUELLER ARCHITECTS

PROPOSED RENOVATIONS @
130 EASTERN PROMENADE
FOR: 130 EASTERN PROMENADE LLC
110 MARGINAL WAY
PORTLAND, MAINE 04101

ELEVATIONS

REVISED
DATE 02/24/2011
PROJECT 130 E. PROM
DRAWN BY MRP
CHECK BY MM

A-2.2

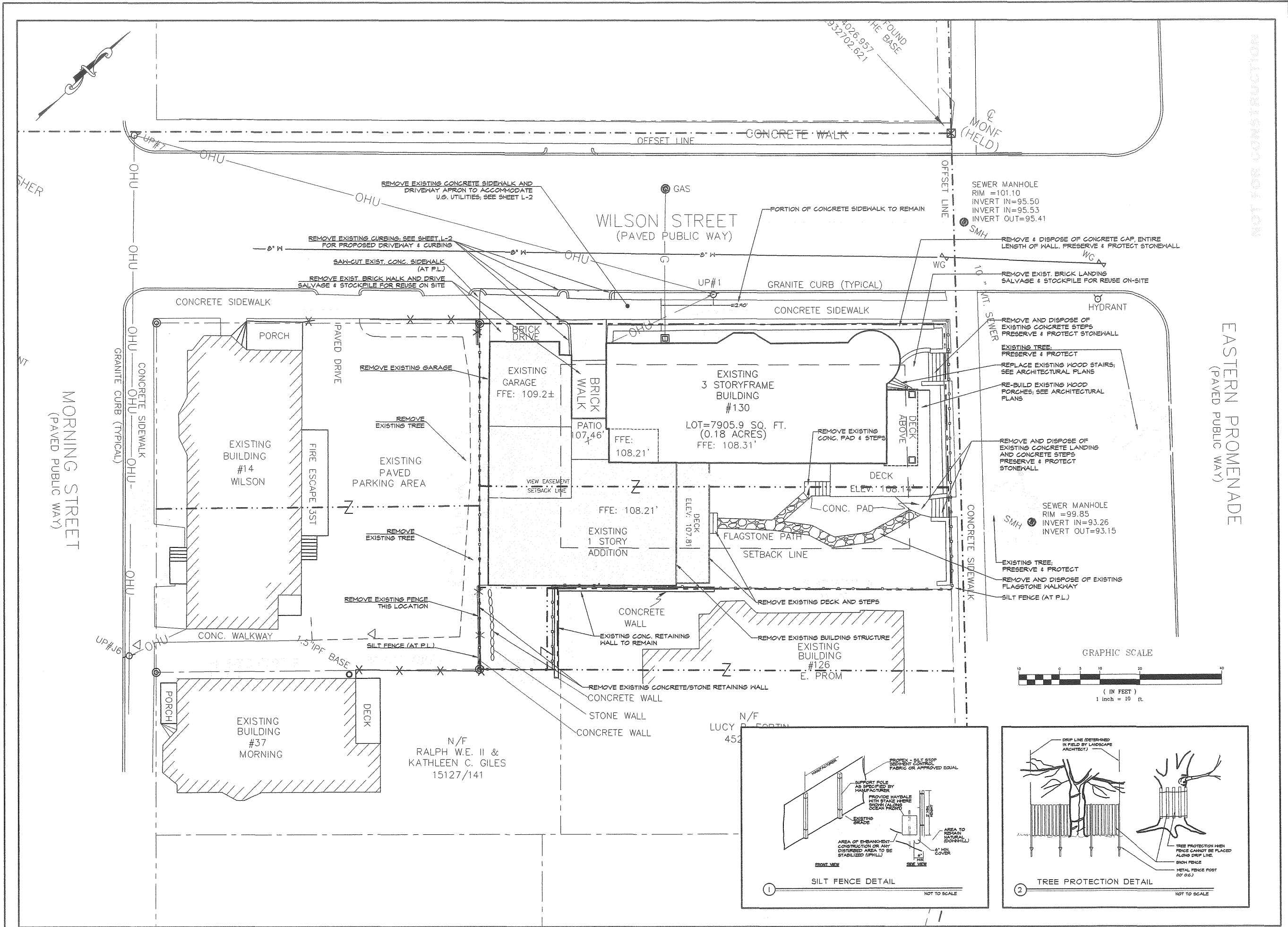


LEFT ELEVATION
SCALE: 1/4" = 1'-0"



RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

**REVISIONS PER PORTLAND PLANNING OFFICE COMMENTS:
DECEMBER 3, 2013**



NOT FOR CONSTRUCTION

EASTERN PROMENADE
(PAVED PUBLIC WAY)

130 EASTERN
PROMENADE

PORTLAND, MAINE

CARROLL ASSOCIATES
Landscape Architects

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Drawing Set:

AMENDED SITE PLAN

Drawn:

TC

Checked:

PC

Approved:

Drawing Title:

SITE PREPARATION
PLAN

Job Number:

File:

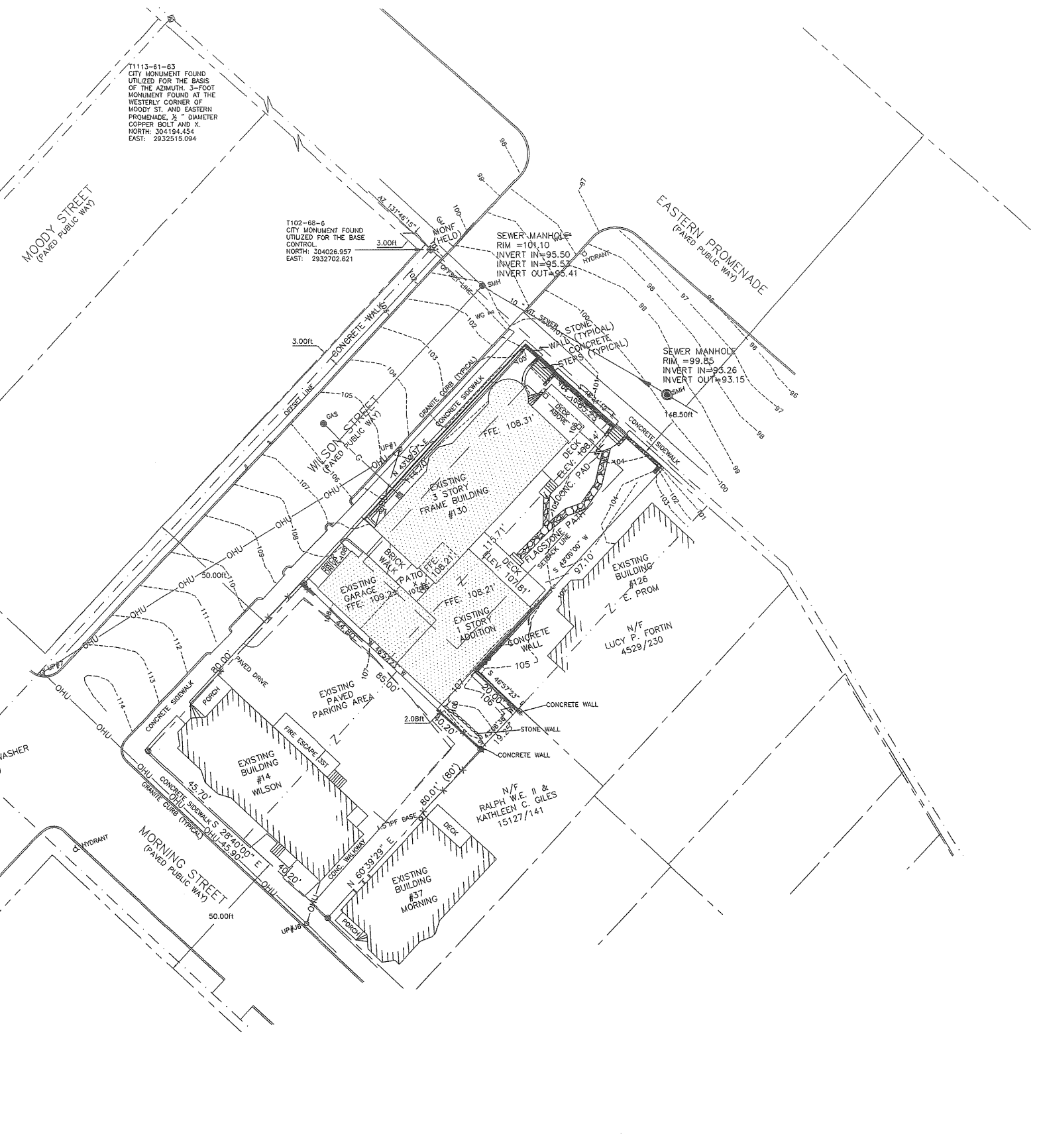
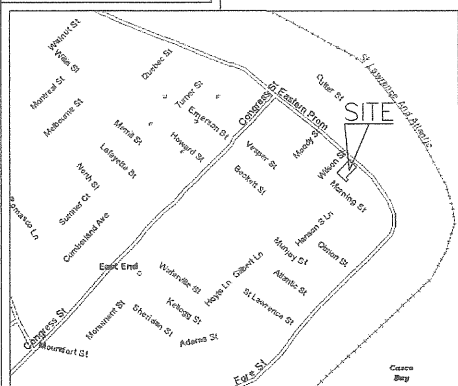
Date: 10-15-2013 Scale: 1" = 10'-0"

Drawing Number:

L-1.0

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SITE LOCATION MAP:



GENERAL NOTES:

1. RECORD OWNER OF PARCEL: 130 EASTERN PROM, LLC, BOOK 14078 PAGE 001 AS RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS (C.C.R.D.).
2. BEARINGS ARE BASED UPON TWO CITY OF PORTLAND 3-FOOT OFFSET MONUMENTS SHOWN ON THIS PLAN. HORIZONTAL DATUM IS BASED UPON THE NORTH AMERICAN DATUM 1983(HARN) WEST ZONE. SEE PLAN FOR DESCRIPTIONS AND COORDINATES OF EACH MONUMENT.
THIS SURVEY WAS PERFORMED UTILIZING THE FOLLOWING EQUIPMENT:
LIETZ SOKKISHA SET 4 TOTAL STATION, LIETZ SDR 33 DATA COLLECTOR, HAND-HELD MAGNETIC COMPASS.
3. AREA OF SUBJECT PARCEL: 7,905.9 SQ. FT., 0.18 ACRES
4. REFERENCE IS MADE TO THE FOLLOWING PLANS:
a.) CITY OF PORTLAND TAX ASSESSOR PLAN NO. 3, BLOCK C, LOTS 1&2, PORTLAND, MAINE, DATED RETRACED 09/30/1965.
b.) EXISTING CONDITIONS PLAN AT 172 EASTERN PROMENADE, PORTLAND, MAINE, FOR CASCO BAY VENTURES, DATED , BY BACK BAY BOUNDARY, INC., NO. 2005111, NOT RECORDED.
c.) CONDOMINIUM PLAN, PROMENADE ESTATES CONDOMINIUMS, AT 108 EASTERN PROMENADE, PORTLAND, MAINE, FOR WALLY GEYER, DATED 10/11/2005, BY BACK BAY BOUNDARY, INC., NO. 2005122, NOT RECORDED.
d.) PROMENADE ESTATES CONDOMINIUM, AT 108 EASTERN PROMENADE, PORTLAND, MAINE, FOR ANTHONY W. SALEM, JOB NUMBER: 2005122 REVISION 1, BY BACK BAY BOUNDARY, INC., DATED NOVEMBER 29, 2005, NOT RECORDED.
5. THERE WERE NO APPARENT EASEMENTS OR RESTRICTIONS BURDENING OR BENEFITING SUBJECT PROPERTY AT THE TIME OF THIS SURVEY.
6. BENCHMARK = HIGHEST POINT ON 'M' MONUMENT @ NORTHWEST CORNER OF ST. LAWRENCE AND FORE STREETS (ELEVATION = 69.35') BASED ON N.G.V.D. 1929 CITY OF PORTLAND DATUM.

ZONING:

ZONE: R-6 RESIDENTIAL ZONE
 SETBACKS: FRONT - 10 FT (< AVERAGE OF ABUTTER LOTS)
 REAR - 20 FT
 SIDE - 1-3 STORIES - 10 FT; 4 STORIES - 12 FT
 MINIMUM LOT SIZE: 4500 SQ FT
 MINIMUM LOT WIDTH: 50 FT
 MAXIMUM BUILDING HEIGHT: 45 FT
 MAXIMUM LOT COVERAGE: 40%

FLOOD NOTE:

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE C OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 230051145, WHICH BEARS AN EFFECTIVE DATE OF JULY 07, 1986, AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.

LEGEND:

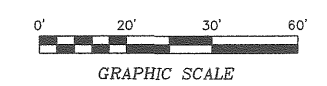
CRF	⊗	Granite Monument Found 6"x6" (50.00') Distance from reference Plan or deed.
CRF	⊙	Capped 5/8" Rebar Found Name # 2303. N/F Now Or Formerly
IPF	⊙	Iron Pipe Found 12345/99 Deed Book/Page of Local Registry
SMH	⊙	Sewer Manhole
WG	⊗	Water Gate
GAS	⊙	Gas Valve
---	---	Edge of traveled way
---	OHU	Overhead Utility
---	---	Property Line
---	⊙	Utility Pole
---	---	Street Line
---	101	Contour Line
---	---	Setback Line
---	Z	Indicates Ownership in Common
---	---	Old Lot Line

BOUNDARY SURVEY/SITE PLAN
 AT 130 EASTERN PROMENADE, PORTLAND, MAINE
 FOR: 130 EASTERN PROM, LLC

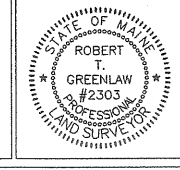
REVISIONS:

REVISED 04-26-2011: ADDED SPOT SHOTS, TOP OF WALLS AND REVISED CONTOURS
REVISED 01-10-2008: ROTATED DRAWING TO STATE PLANE COORDINATES AND RELABELED BEARINGS
LOCATION: 130 EASTERN PROMENADE, PORTLAND, MAINE

STATE OF MAINE, CUMBERLAND SS
 REGISTRY OF DEEDS
 RECEIVED 2011
 AT : H .M. AND RECORDED IN
 PLAN BOOK PAGE



FIELD BOOK: 20 PAGE: 72



CERTIFICATE:

I HEREBY CERTIFY THAT THIS SURVEY CONFORMS TO THE MAINE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS' STANDARDS OF PRACTICE AS ADOPTED APRIL 01, 2001 WITH THE FOLLOWING EXCEPTIONS:
 a) NO WRITTEN REPORT
 b) NO NEW DESCRIPTION
 b) NO NEW CORNERS WERE SET
 ROBERT T. GREENLAW P.L.S., #2303
 V. PRESIDENT BACK BAY BOUNDARY, INC. DATE: APRIL 26, 2011

PREPARED BY:
BACK BAY BOUNDARY, INC.
 LAND SURVEYING
 643 FOREST AVENUE
 PORTLAND, MAINE 04101
 207-774-2855 FAX 207-347-4346

DRAWN BY: PJM
 CHECKED BY: RTG
 SCALE: 1" = 20'
 DATE OF SURVEY: 09/07/2006
 JOB NUMBER: 2006082
 SHEET: 1 OF 1
 DRAWER: 2006 NO: 082

130 EASTERN
PROMENADE

PORTLAND, MAINE

CARROLL ASSOCIATES
Landscape Architects

217 Commercial Street
Portland, Maine 04101
207.772.1552
petroll@carroll-assoc.com

Consultants:

SURVEYOR:
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Old Orchard Beach, ME 04064
207-749-9471

ARCHITECT:
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207-774-9057

ENGINEER:
Blais Civil Engineers
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So. Portland, ME 04106
207-767-7300

Drawing Set:

No.	Date	Revision
6-21-11		RE-SUBMISSION TO CITY
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8-12-11		PRICING SET
10-15-13		AMENDED SITE PLAN

Drawing Set:

AMENDED SITE PLAN

Drawn:

TC

Checked:

PC

Approved:

Drawing Title:

SITE LAYOUT &
MATERIALS PLAN

Job Number:

File:

Date: 8-12-2011 | Scale: 1" = 10'-0"

Drawing Number:

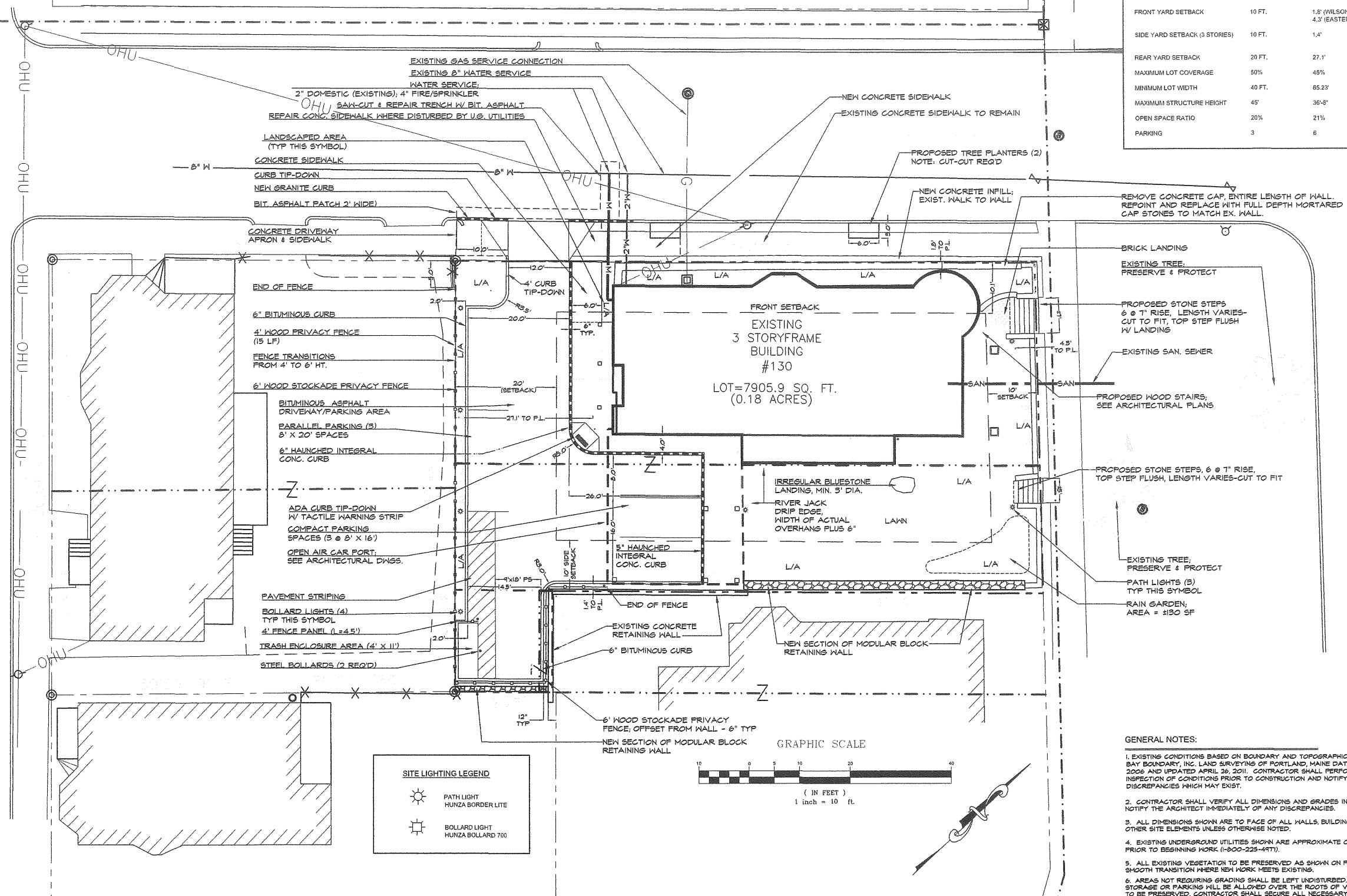
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R-6 / RESIDENTIAL ZONE

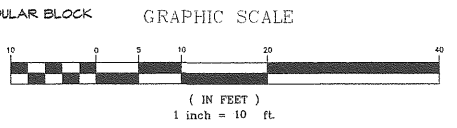
SPATIAL STANDARDS	REQUIRED	PROVIDED
MINIMUM LOT SIZE	4,500 SF	7,906 SF
MINIMUM FRONTAGE	40 FT.	179.93'
FRONT YARD SETBACK	10 FT.	1.8' (WILSON ST.) 4.3' (EASTERN PROM)
SIDE YARD SETBACK (3 STORIES)	10 FT.	1.4'
REAR YARD SETBACK	20 FT.	27.1'
MAXIMUM LOT COVERAGE	50%	45%
MINIMUM LOT WIDTH	40 FT.	65.23'
MAXIMUM STRUCTURE HEIGHT	45'	36'-8"
OPEN SPACE RATIO	20%	21%
PARKING	3	6

NOT FOR CONSTRUCTION



SITE LIGHTING LEGEND

	PATH LIGHT HUNZA BORDER LITE
	BOLLARD LIGHT HUNZA BOLLARD 700



- GENERAL NOTES:**
- EXISTING CONDITIONS BASED ON BOUNDARY AND TOPOGRAPHIC SURVEY BY BACK BAY BOUNDARY, INC. LAND SURVEYING OF PORTLAND, MAINE DATED SEPTEMBER 1, 2006 AND UPDATED APRIL 26, 2011. CONTRACTOR SHALL PERFORM ON-SITE INSPECTION OF CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY ARCHITECT OF ANY DISCREPANCIES WHICH MAY EXIST.
 - CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND GRADES IN THE FIELD AND NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES.
 - ALL DIMENSIONS SHOWN ARE TO FACE OF ALL WALLS, BUILDINGS, CURBS, AND OTHER SITE ELEMENTS UNLESS OTHERWISE NOTED.
 - EXISTING UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE ONLY. CALL DIG-SAFE PRIOR TO BEGINNING WORK (1-800-225-4477).
 - ALL EXISTING VEGETATION TO BE PRESERVED AS SHOWN ON PLANS. PROVIDE A SMOOTH TRANSITION WHERE NEW WORK MEETS EXISTING.
 - AREAS NOT REQUIRING GRADING SHALL BE LEFT UNDISTURBED. NO EQUIPMENT STORAGE OR PARKING WILL BE ALLOWED OVER THE ROOTS OF VEGETATION WHICH ARE TO BE PRESERVED. CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS REQUIRED FOR THE WORK ON THESE PLANS.
 - ALL WORK SHALL COMPLY WITH LOCAL, STATE, AND FEDERAL REGULATIONS.
 - ALL AREAS DISTURBED OR WORK REQUIRED WITHIN TEMPORARY CONSTRUCTION AREAS ON PROPERTY SHALL BE REPAIRED BY REPAVING OR LOAM/SEEDING AS REQUIRED TO RETURN THE SITE TO PRE-CONSTRUCTION CONDITIONS.

130 EASTERN
PROMENADE

PORTLAND, MAINE

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10-15-13		AMENDED SITE PLAN

Drawing Set:

AMENDED SITE PLAN

Drawn:

TC

Checked:

PC

Approved:

Drawing Title:

SITE GRADING
PLAN

Job Number:

File:

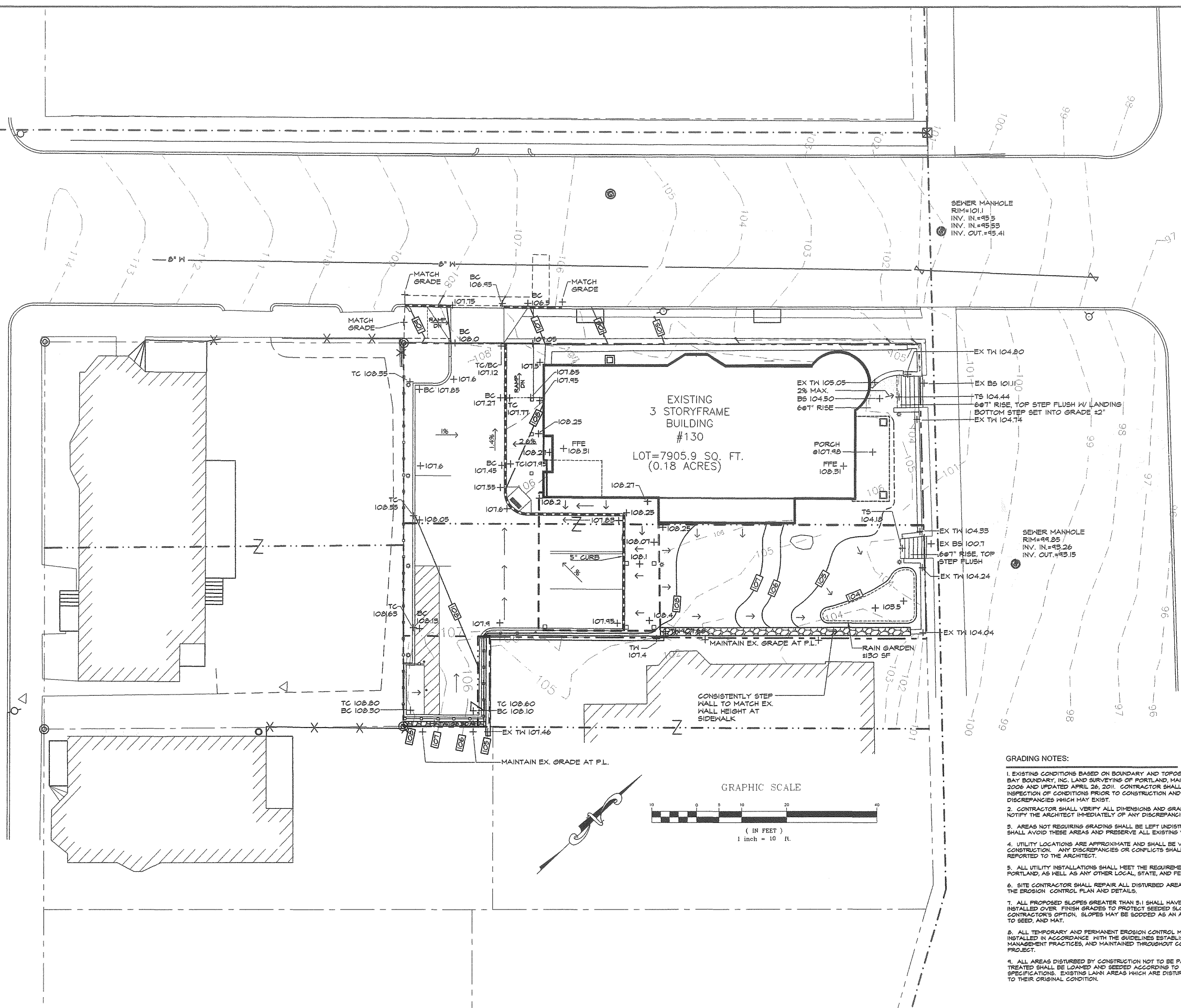
Date: 8-12-2011 Scale: 1" = 10'-0"

Drawing Number:

L-3.0

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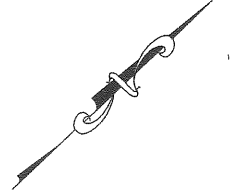
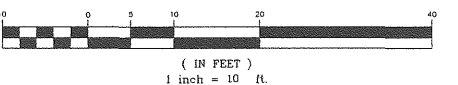
NOT FOR CONSTRUCTION



GRADING NOTES:

- EXISTING CONDITIONS BASED ON BOUNDARY AND TOPOGRAPHIC SURVEY BY BACK BAY BOUNDARY, INC. LAND SURVEYS OF PORTLAND, MAINE DATED SEPTEMBER 7, 2006 AND UPDATED APRIL 26, 2011. CONTRACTOR SHALL PERFORM ON-SITE INSPECTION OF CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY ARCHITECT OF ANY DISCREPANCIES WHICH MAY EXIST.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND GRADES IN THE FIELD AND NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES.
- AREAS NOT REQUIRING GRADING SHALL BE LEFT UNDISTURBED. CONTRACTOR SHALL AVOID THESE AREAS AND PRESERVE ALL EXISTING VEGETATION AS NOTED.
- UTILITY LOCATIONS ARE APPROXIMATE AND SHALL BE VERIFIED PRIOR TO CONSTRUCTION. ANY DISCREPANCIES OR CONFLICTS SHALL BE IMMEDIATELY REPORTED TO THE ARCHITECT.
- ALL UTILITY INSTALLATIONS SHALL MEET THE REQUIREMENTS OF THE CITY OF PORTLAND, AS WELL AS ANY OTHER LOCAL, STATE, AND FEDERAL REQUIREMENTS.
- SITE CONTRACTOR SHALL REPAIR ALL DISTURBED AREAS IN ACCORDANCE WITH THE EROSION CONTROL PLAN AND DETAILS.
- ALL PROPOSED SLOPES GREATER THAN 5:1 SHALL HAVE AN EROSION MAT INSTALLED OVER FINISH GRADES TO PROTECT SEEDED SLOPES FROM EROSION. AT CONTRACTOR'S OPTION, SLOPES MAY BE SODDED AS AN APPROPRIATE SUBSTITUTION TO SEED, AND MAT.
- ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE GUIDELINES ESTABLISHED IN THE BEST MANAGEMENT PRACTICES, AND MAINTAINED THROUGHOUT CONSTRUCTION OF THIS PROJECT.
- ALL AREAS DISTURBED BY CONSTRUCTION NOT TO BE PAVED OR OTHERWISE TREATED SHALL BE LOAMED AND SEEDDED ACCORDING TO THE PROJECT SPECIFICATIONS. EXISTING LAWN AREAS WHICH ARE DISTURBED SHALL BE RESTORED TO THEIR ORIGINAL CONDITION.

GRAPHIC SCALE



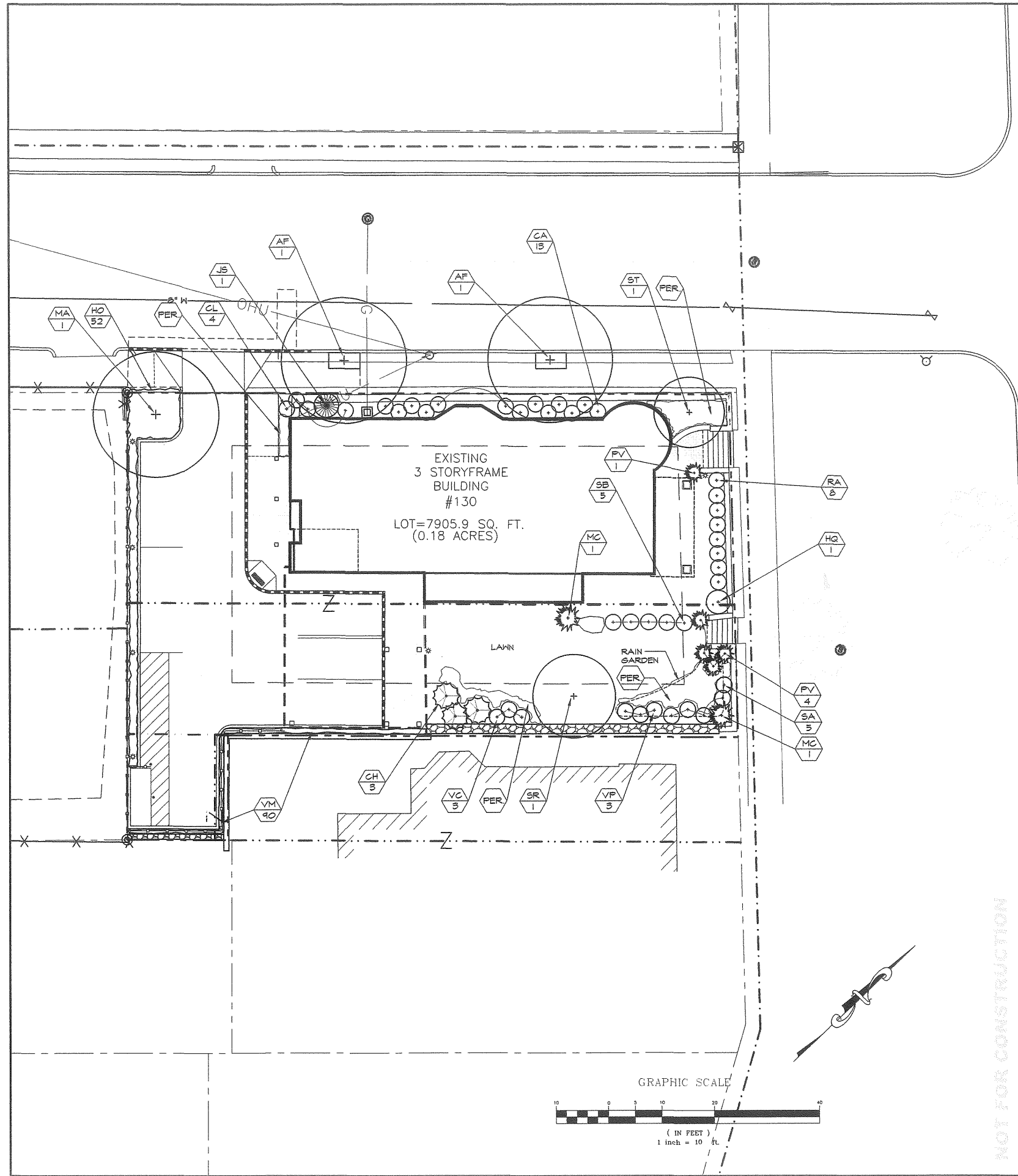
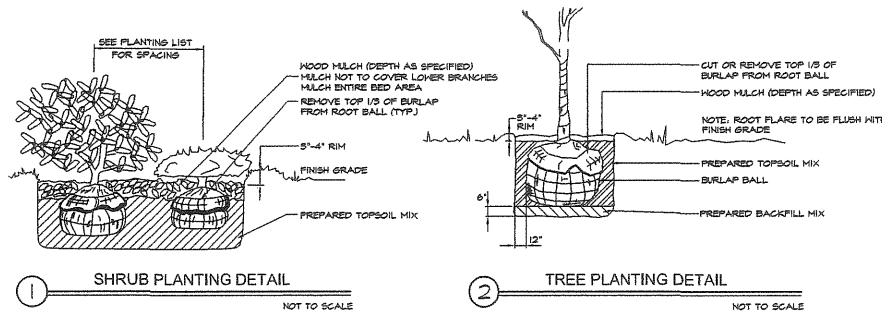
PLANT SCHEDULE

QTY.	SYM.	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
TREES					
2	AF	ACER X FREEMANII 'ARMSTRONG'	ARMSTRONG MAPLE	3" CAL.	B&B
1	MA	MAULUS SP.	FLOWERING CRAB	2" CAL.	B&B/HEAVY GROWTH
1	SR	SYRINSA RETICULATA 'IVORY SILK'	IVORY SILK TREE LILAC	2" CAL.	B&B / SINGLE STEM
1	ST	STEHARTIA PSEUDOCAMELLIA	JAPANESE STEHARTIA	6-T	B&B
SHRUBS / ORNAMENTAL GRASSES / GROUNDCOVERS/BULBS					
15	CA	COTONEASTER APICULATUS	CRANBERRY COTONEASTER	3 GAL.	CONT.
3	CH	CHAMAECYPARIS OBUSA 'COMPACTA'	COMPACT HINKI FALSECYPRESS	5-6'	B&B
4	CL	CLETHRA ALNIFOLIA 'SIXTEEN CANDLES'	DWARF SUMMERSWEET	15-18"	
1	JS	JUNIPERUS SCOPULORUM 'HICHTA BLUE'	HICHTA BLUE JUNIPER	4-5'	B&B
1	HQ	HYDRANGEA QUERCIFOLIA 'SIKES DWARF'	DWARF OAKLEAF HYDRANGEA	3 GAL.	CONT.
52	HO	HOSTA SP. (ASSORTED)	HOSTA (ASSORTED)	2 GAL.	CONT. / 24" O.C.
2	MC	MISCANTHUS SINENSIS 'STRICTUS'	FORCUPINE GRASS	3 GAL.	CONT.
5	PV	PANICUM VIRGATUM 'SHEANDOAN'	SWITCH GRASS	3 GAL.	CONT.
5	RA	RAUS AROMATICA 'BRO-LON'	DWARF FRAGRANT SUMAC	1 GAL.	CONT.
5	SA	SALIX PURPUREA 'NANA'	DWARF ARCTIC WILLOW	3 GAL.	CONT.
5	SB	SPIRAEA X BUXALDA 'NEON FLASH'	NEON FLASH SPIREA	10-24"	CONT.
40	VM	VINCA MINOR	PERIWINKLE	BARE ROOT	PLANT 10' O.C.
5	VC	VIBURNUM CARLESII	KOREANSPICE VIBURNUM	30-36"	B&B
5	VP	VIB. FLICATUM 'TOMENT. SNOWFLAKE'	SUMMER SNOWFLAKE VIBURNUM	30-36"	B&B
	PER	ASSORTED PERENNIALS	(TO BE DETERMINED)	1 GAL.	ZONE HARDY

NOTE: ALL SUBSTITUTIONS SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO ORDERING OF PLANTS

PLANTING NOTES

- CONTRACTOR SHALL BEGIN MAINTENANCE IMMEDIATELY AFTER PLANTING AND SHALL CONTINUE UNTIL FINAL ACCEPTANCE. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MEANS AND METHODS OF WATERING AND MAINTENANCE.
- CONTRACTOR SHALL SUPPLY PLANTS IN QUANTITIES SUFFICIENT TO COMPLETE WORK SHOWN ON THE PLAN. ANY DISCREPANCY BETWEEN THE QUANTITIES SHOWN IN THE PLANT SCHEDULE AND THOSE REQUIRED ON THE PLAN SHALL NOT ENTITLE THE CONTRACTOR TO ADDITIONAL REMUNERATION. ANY DISCREPANCIES SHALL BE CLARIFIED WITH THE LANDSCAPE ARCHITECT PRIOR TO ORDERING PLANT MATERIAL.
- ALL MATERIALS SHALL CONFORM TO SPECIFICATIONS OF THE AMERICAN STANDARDS FOR NURSERY STOCK (LATEST EDITION) AS SET FORTH BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- ALL PLANTS SHALL BEAR THE SAME RELATIONSHIP TO FINISH GRADE AS THE ORIGINAL GRADES BEFORE DIGGING.
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR ONE (1) FULL YEAR FROM DATE OF SUBSTANTIAL COMPLETION.
- ALL PLANT MATERIALS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT AT THE NURSERY AND AT THE SITE.
- ALL PLANT BEDS SHALL MEET MINIMUM TOPSOIL REQUIREMENTS (SEE SPECIFICATIONS).
- NO PLANT MATERIAL SHALL BE INSTALLED UNTIL GRUBBING, BED PREPARATION, AND FINISH GRADING HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
- ALL PLANTS BEDS AND TREE WELLS SHALL HAVE A MINIMUM OF 3" OF UNIFORMLY DISTRIBUTED DARK SHREDDED BARK MULCH.
- CONTRACTOR SHALL SUBMIT SOIL SAMPLE AND TEST OF TOPSOIL TO LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. SOIL ADMIXTURE SHALL BE ADDED TO EXISTING SOIL (BY CONTRACTOR) IF DEEMED NECESSARY BY SOIL TEST RESULTS.
- ROUGH GRADING AND BED PREPARATION SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PLANT INSTALLATION. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT 48 HOURS PRIOR TO REQUIRED SITE VISIT.
- ALL PLANTS SHALL BE BALLED AND WRAPPED OR CONTAINER GROWN AS SPECIFIED. ALL ROOT WRAPPING AND CONTAINER MATERIAL MADE OF SYNTHETICS OR PLASTICS SHALL BE REMOVED AT THE TIME OF PLANTING.
- ALL BROAD LEAF EVERGREEN PLANTS SHALL BE SPRAYED WITH AN ANTI-DESICCANT AT THE BEGINNING OF THEIR FIRST WINTER.
- ALL PLANTS SHALL BE INSTALLED AS PER DETAILS AND THE CONTRACT SPECIFICATIONS. THE LANDSCAPE CONTRACTOR SHALL REFER TO THE CONTRACT SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
- CONTRACTOR SHALL STAKE TREES IF DEEMED NECESSARY BY LANDSCAPE ARCHITECT.
- THE LANDSCAPE CONTRACTOR SHALL PROVIDE LOAM FILL AS PER THE CONTRACT SPECIFICATIONS.
- ALL PLANTS SHALL THEN BE WATERED BY THE CONTRACTOR, AS NECESSARY TO INSURE HEALTH UNTIL FINAL ACCEPTANCE.
- THE LANDSCAPE CONTRACTOR SHALL REFER TO THE PLANT LIST AND PLANTING SPECIFICATIONS FOR SEASONAL REQUIREMENTS AND OTHER RESTRICTIONS RELATED TO THE TIME AND SEASON OF PLANTING.



130 EASTERN PROMENADE

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TC

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PC

Approved:

Drawing Title:

LANDSCAPE PLAN

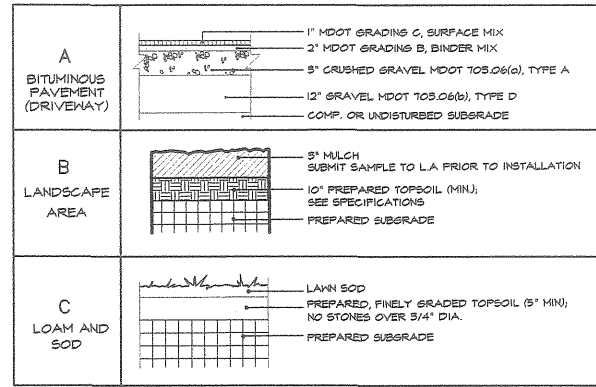
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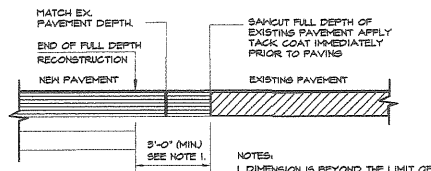
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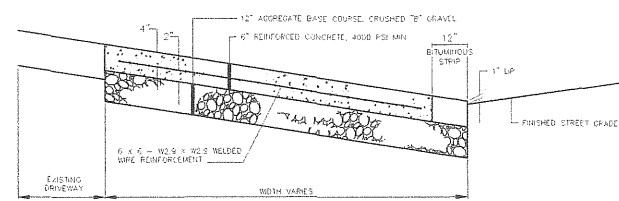
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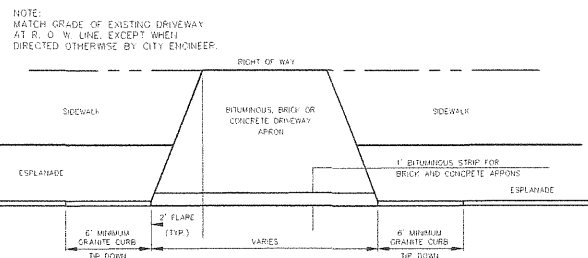
NOTE: ALL COURSE MATERIALS REFLECT THICKNESS AFTER FINAL COMPACTION.
1 SCHEDULE OF SURFACES / DETAIL
 NOT TO SCALE



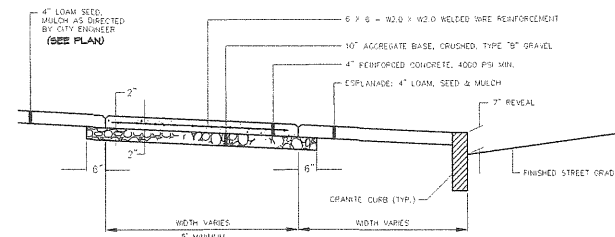
2 PAVEMENT CUTTING/MATCHING DETAIL
 NOT TO SCALE



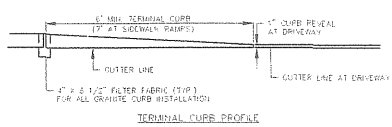
3 REINFORCED CONCRETE DRIVEWAY APRON
 NOT TO SCALE



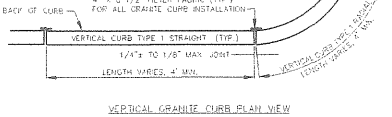
4 DRIVEWAY APRON LAYOUT DETAIL
 NOT TO SCALE



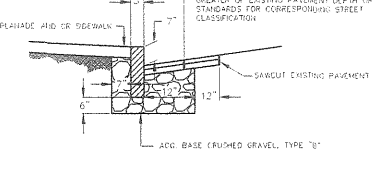
5 REINFORCED CONCRETE SIDEWALK DETAIL
 NOT TO SCALE



TERMINAL CURB PROFILE

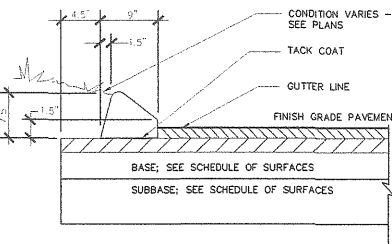


VERTICAL GRANITE CURB PLAN VIEW

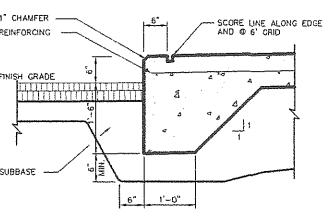


VERTICAL GRANITE CURB CROSS SECTION

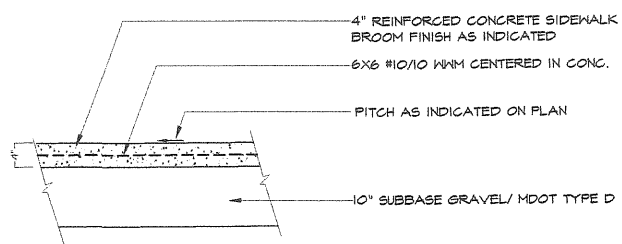
6 VERT. GRANITE CURB INSTALLATION IN EXISTING ST.
 NOT TO SCALE



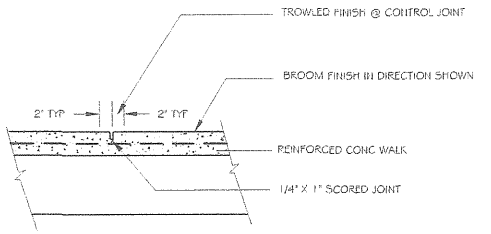
7 BITUMINOUS CURB DETAIL
 NOT TO SCALE



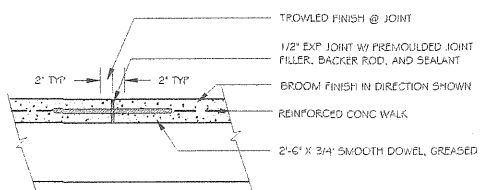
8 INTEGRAL CONCRETE CURB DETAIL
 NOT TO SCALE



9 CONCRETE SIDEWALK DETAIL (INTERNAL)
 NOT TO SCALE

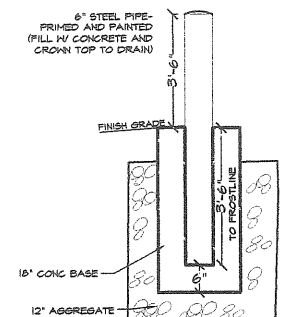


TYPICAL SCORED JOINT

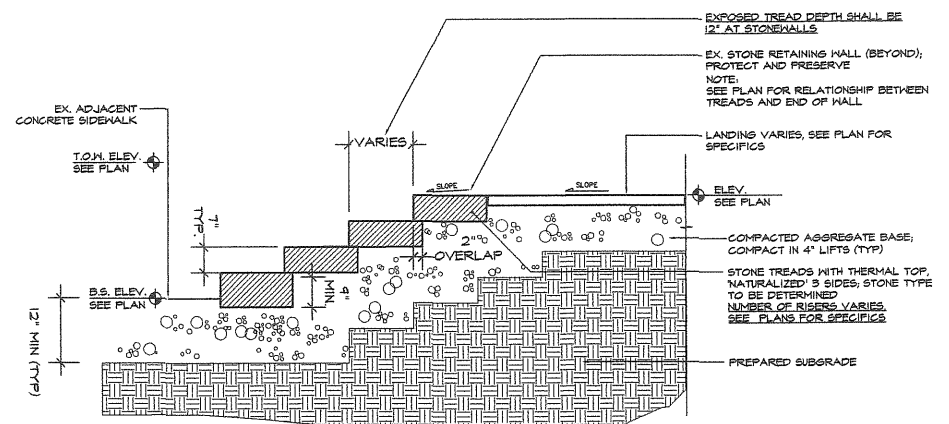


TYPICAL EXPANSION JOINT

10 CONCRETE PAVING JOINT DETAILS
 NOT TO SCALE



11 STEEL BOLLARD DETAIL
 NOT TO SCALE



12 STONE STEPS DETAIL
 NOT TO SCALE

NOT FOR CONSTRUCTION

130 EASTERN PROMENADE

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SITE DETAILS

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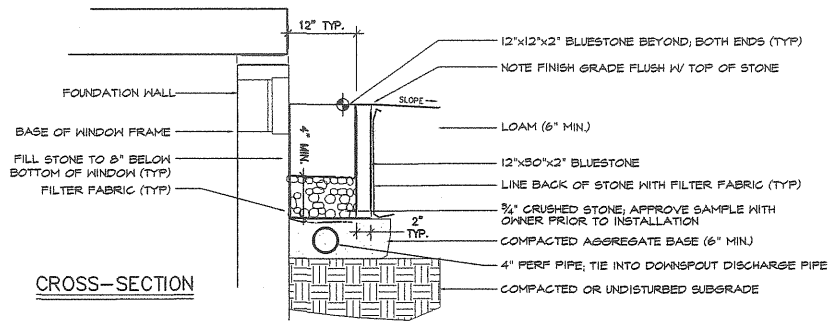
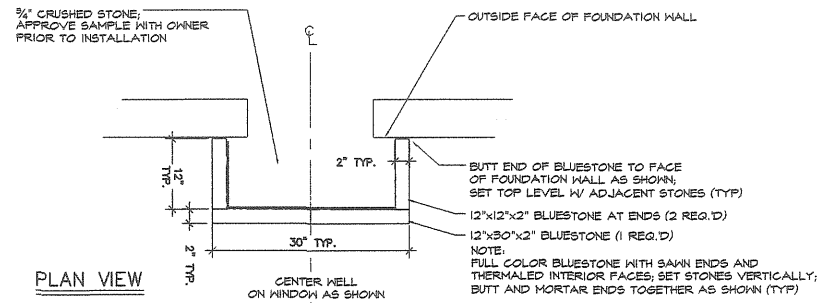
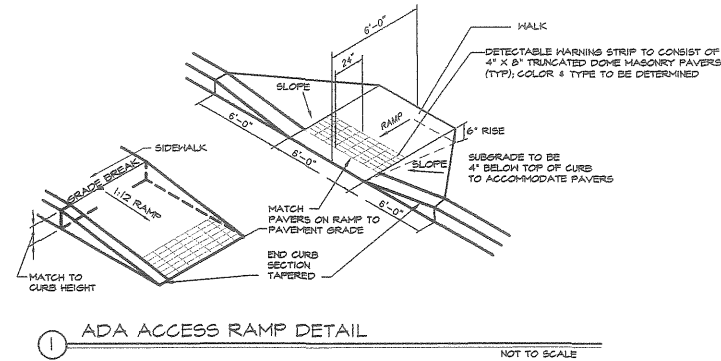
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Date: 8-12-2011 | Scale: 1" = 10'-0"

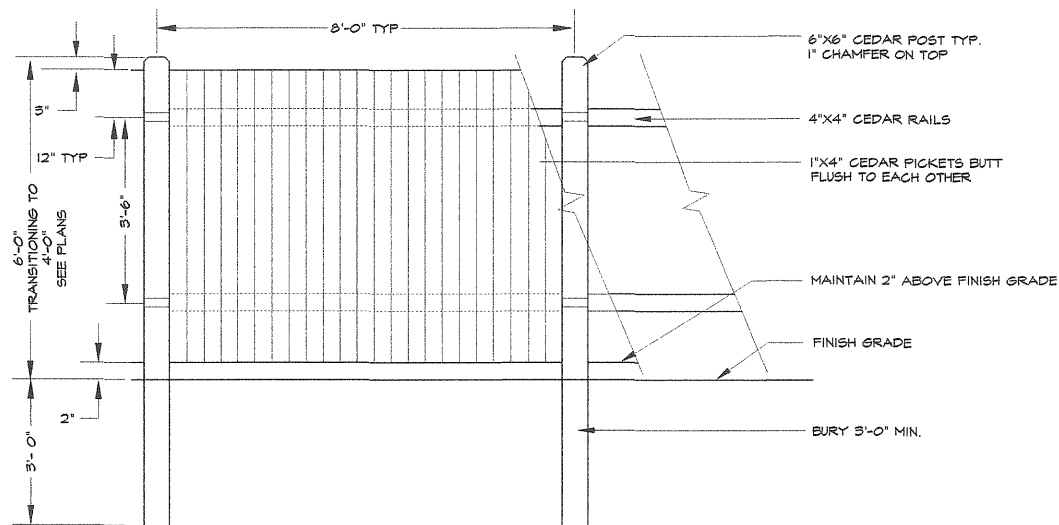
Drawing Number:

L-5.0

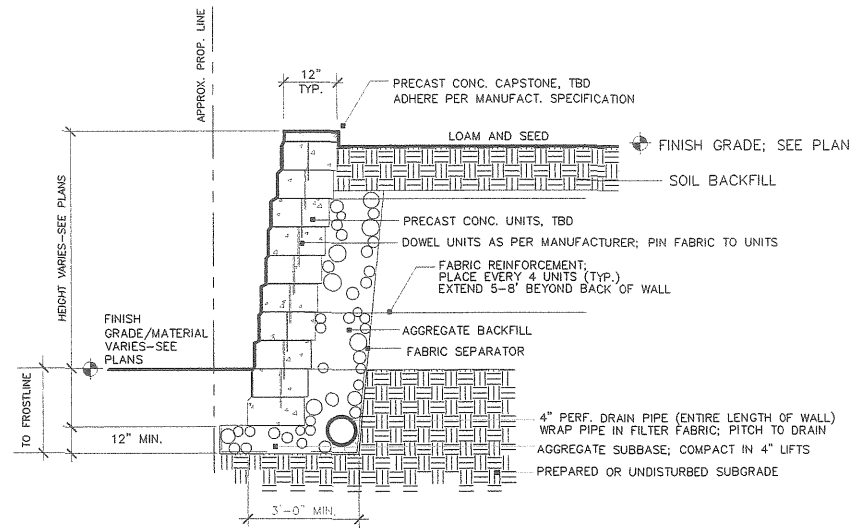
© 2011 CARROLL ASSOCIATES



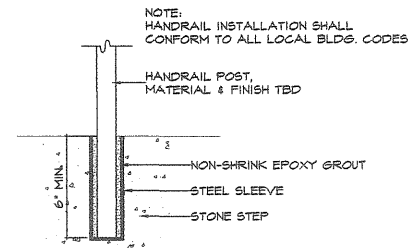
2 WINDOW WELL DETAIL
NOT TO SCALE



3 STOCKADE FENCE
NOT TO SCALE

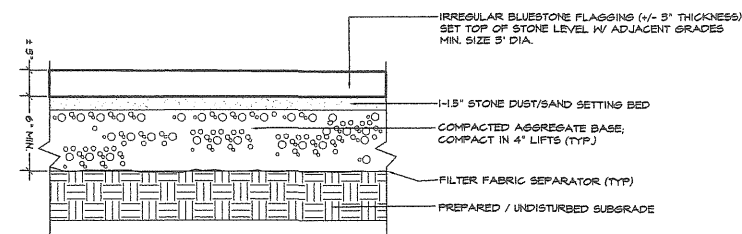


4 CONC. MODULAR BLOCK RETAINING WALL DETAIL
NOT TO SCALE

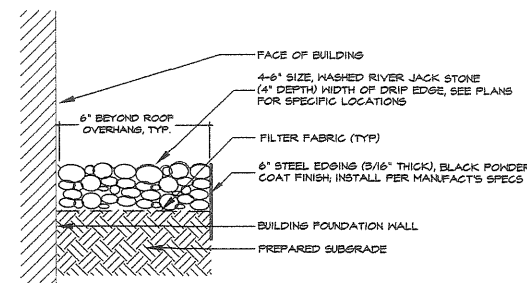


NOTES:
1. SLEEVE TO BE STEEL W/ WELDED END, OPENING TO BE 1" TO 1 1/2" LARGER THAN POST DIAMETER OR WIDTH.
2. TOP OF POST SLEEVE TO BE FLUSH OR SLIGHTLY BELOW CONCRETE SURFACE.
3. USE NON-SHRINK EPOXY GROUT, COLOR SHALL MATCH COLOR OF STEP AND TO BE APPROVED BY LANDSCAPE ARCHITECT/OWNER'S REPRESENTATIVE.

5 HANDRAIL DETAIL
NOT TO SCALE



6 STAIR LANDING DETAIL
NOT TO SCALE



7 DRIP EDGE DETAIL
NOT TO SCALE

NOT FOR CONSTRUCTION

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Approved:

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SITE DETAILS

Job Number:

File:

Date: 8-12-2011 Scale: 1" = 10'-0"

Drawing Number:

L-5.1

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PRICING SET

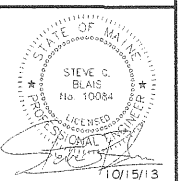
Drawn:

TC/JL

Checked:

PC/SB

Approved:



Drawing Title:

DRAINAGE PLAN

Job Number:

File:

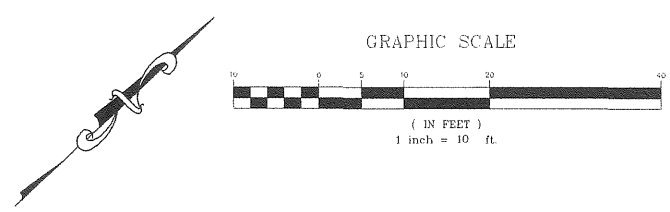
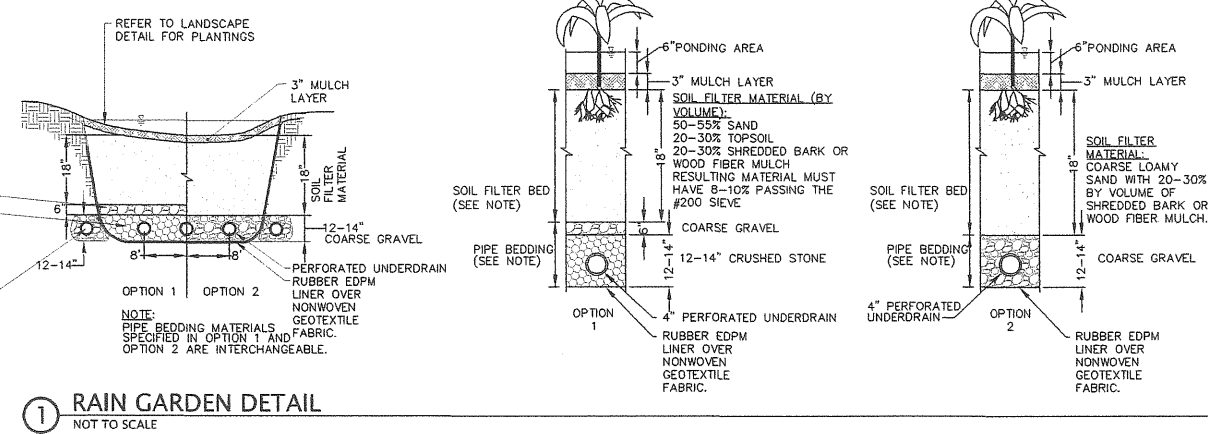
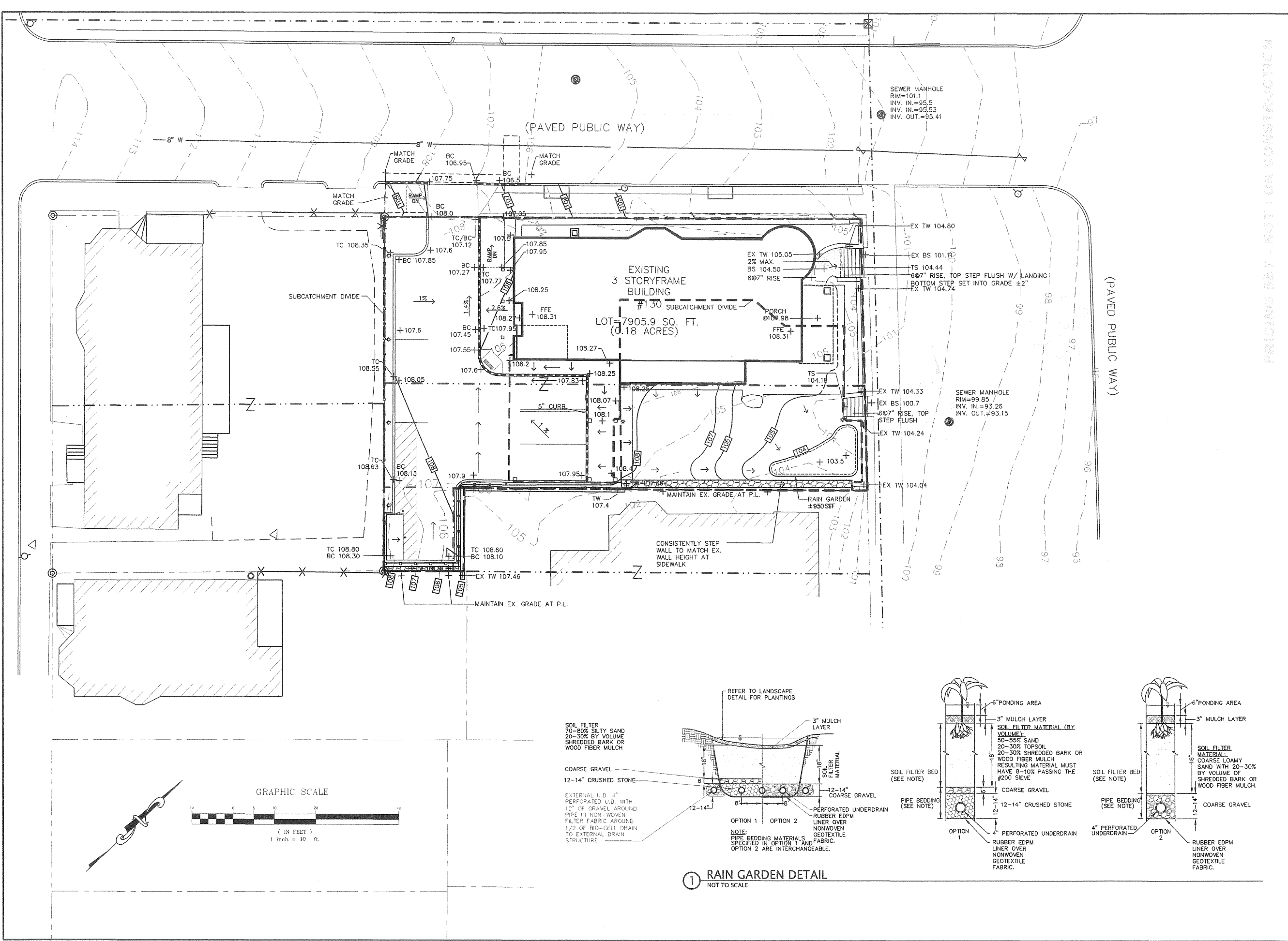
Date: 8-12-2011 Scale: 1" = 10'-0"

Drawing Number:

D-1.0

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PRICING SET - NOT FOR CONSTRUCTION



SOIL FILTER
70-80% SILTY SAND
20-30% BY VOLUME
SHREDDED BARK OR
WOOD FIBER MULCH

COARSE GRAVEL
12-14" CRUSHED STONE

EXTERNAL U.D. 4" PERFORATED U.D. WITH 12" OF GRAVEL AROUND PIPE IN NON-WOVEN FILTER FABRIC AROUND 1/2 OF BIO-CELL DRAIN TO EXTERNAL DRAIN STRUCTURE

3" MULCH LAYER

SOIL FILTER MATERIAL

12-14" COARSE GRAVEL

PERFORATED UNDERDRAIN

RUBBER EDPM LINER OVER NONWOVEN GEOTEXTILE FABRIC.

6" PONDING AREA

3" MULCH LAYER

SOIL FILTER MATERIAL (BY VOLUME):
50-55% SAND
20-30% TOPSOIL
20-30% SHREDDED BARK OR WOOD FIBER MULCH
RESULTING MATERIAL MUST HAVE 8-10% PASSING THE #200 SIEVE

COARSE GRAVEL

12-14" CRUSHED STONE

4" PERFORATED UNDERDRAIN

RUBBER EDPM LINER OVER NONWOVEN GEOTEXTILE FABRIC.

SOIL FILTER BED (SEE NOTE)

PIPE BEDDING (SEE NOTE)

OPTION 1

OPTION 2

NOTE: PIPE BEDDING MATERIALS SPECIFIED IN OPTION 1 AND OPTION 2 ARE INTERCHANGEABLE.

SOIL FILTER BED (SEE NOTE)

PIPE BEDDING (SEE NOTE)

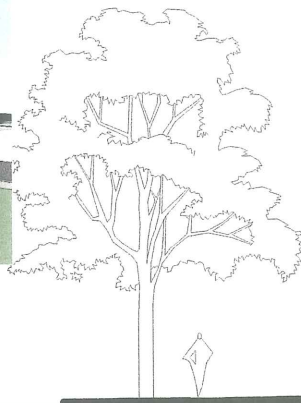
OPTION 1

OPTION 2

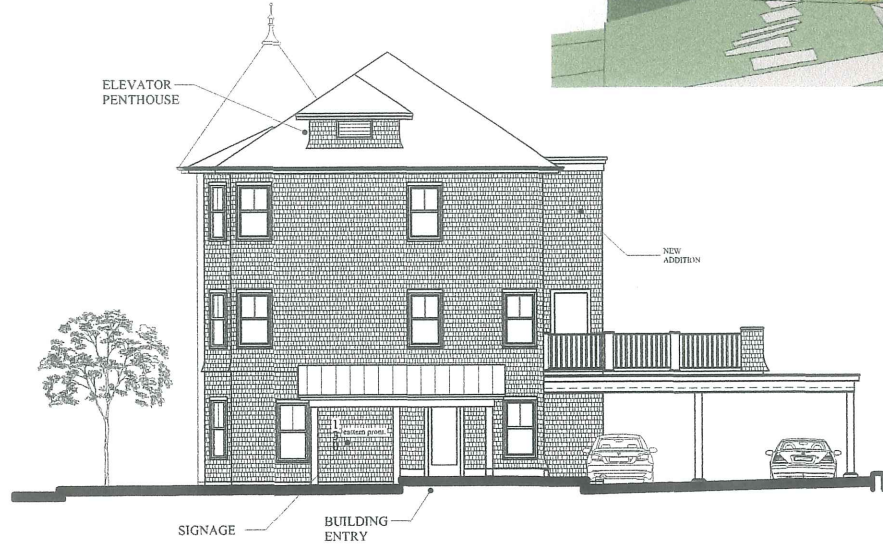
NOTE: PIPE BEDDING MATERIALS SPECIFIED IN OPTION 1 AND OPTION 2 ARE INTERCHANGEABLE.



ARTISTIC RENDERING



WILSON STREET ELEVATION
SCALE: 1/8" = 1'-0"



REAR ELEVATION
SCALE: 1/8" = 1'-0"



LEFT ELEVATION
SCALE: 1/8" = 1'-0"



PROMENADE ELEVATION
SCALE: 1/4" = 1'-0"



MARK
MUELLER
ARCHITECTS

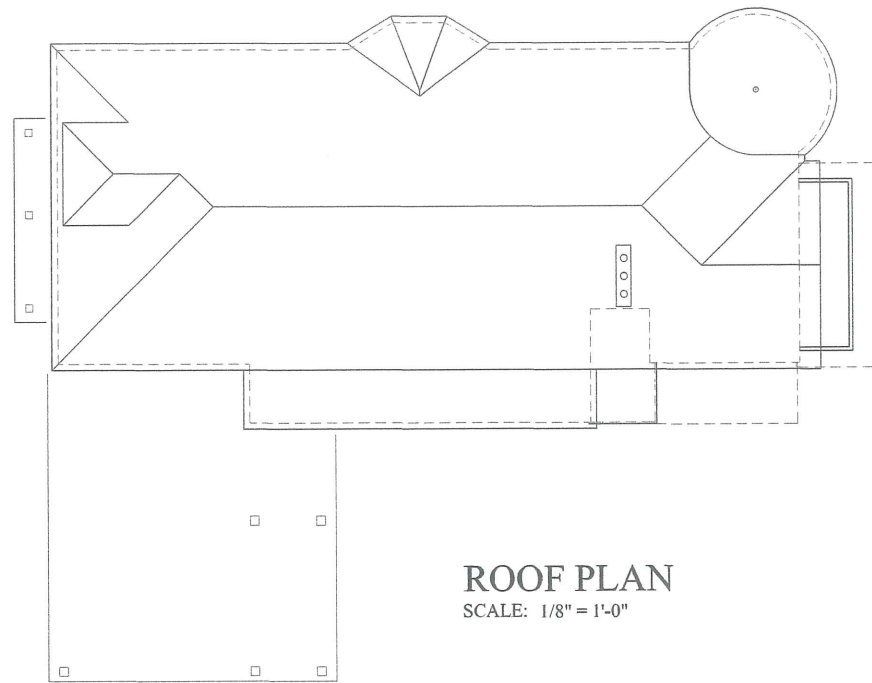
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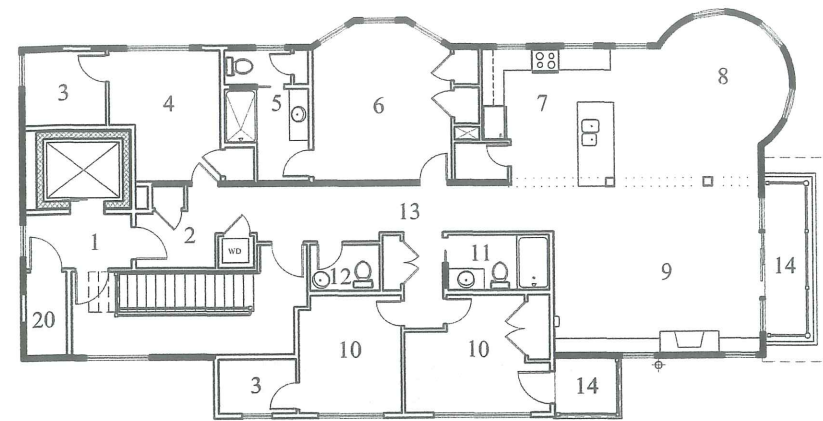
130 EASTERN PROMENADE

OCTOBER 15, 2013

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ROOF PLAN
SCALE: 1/8" = 1'-0"

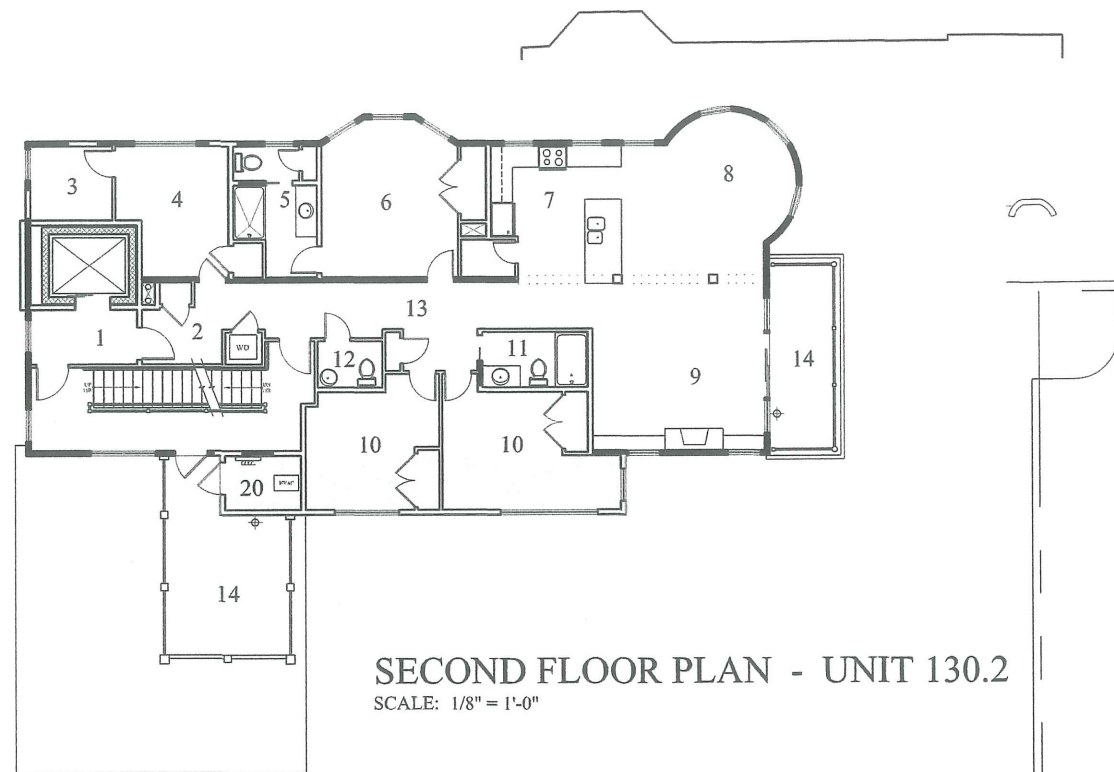


THIRD FLOOR PLAN - UNIT 130.3
SCALE: 1/8" = 1'-0"

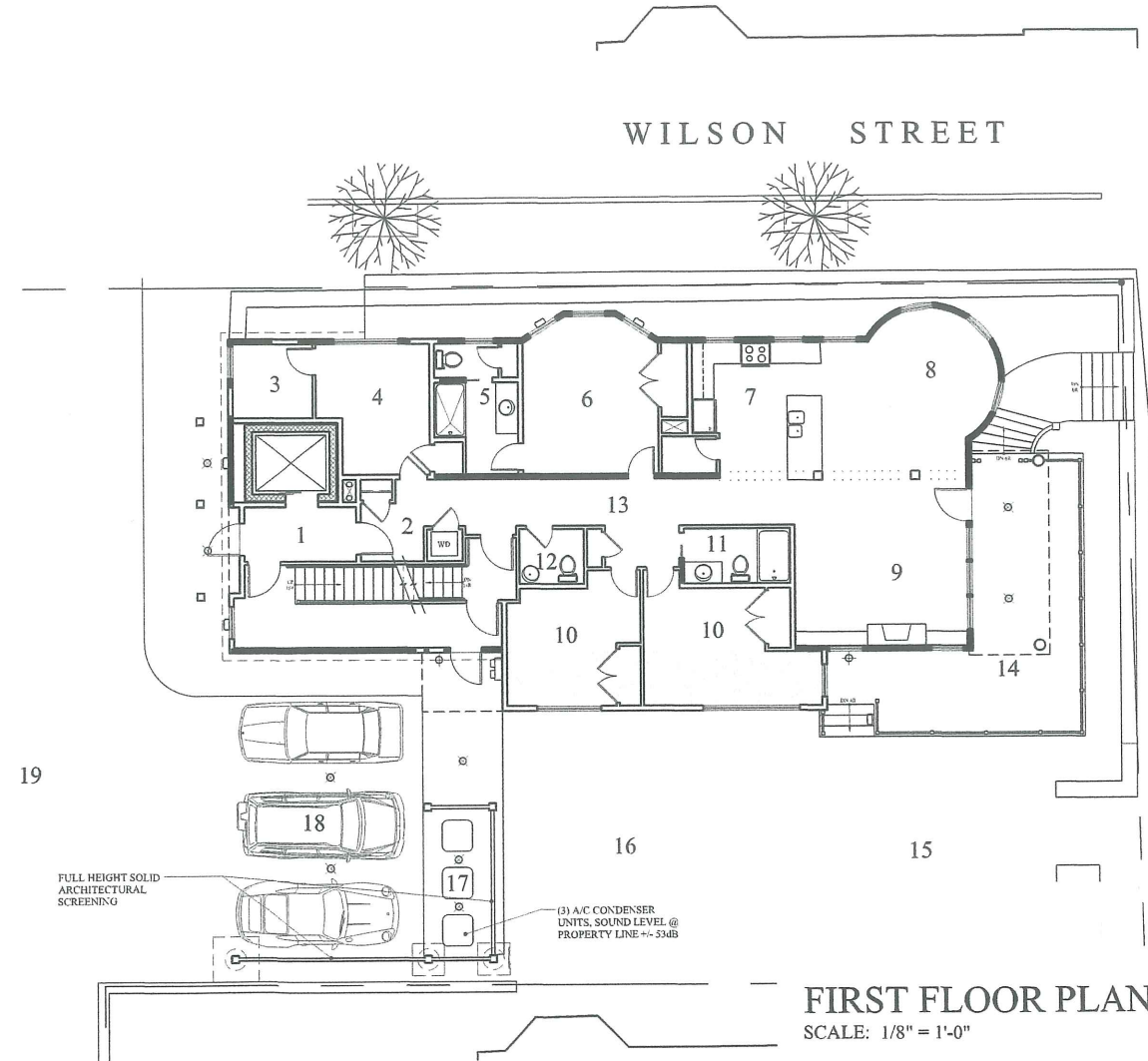
- 1 ELEVATOR LOBBY
- 2 ENTRY
- 3 CLOSET
- 4 MEDIA ROOM
- 5 MASTER BATH
- 6 MASTER BEDROOM
- 7 KITCHEN
- 8 DINING ROOM
- 9 LIVING ROOM
- 10 BEDROOM
- 11 BATH
- 12 POWDER ROOM
- 13 GALLERY
- 14 EXTERIOR DECK
- 15 LANDSCAPE AREA
- 16 LANDSCAPE / TERRACE
- 17 EXTERIOR MECH. UNITS
- 18 OPEN AIR CARPORT
- 19 DRIVEWAY/ PARKING
- 20 MECHANICAL ROOM

PROPOSED ADDITION
 FIRST FLOOR - 166 SF
 SECOND FLOOR - 208 SF
 THIRD FLOOR - 175 SF
 TOTAL - 549 SF

- EXTERIOR WALL LIGHT FIXTURE
- EXTERIOR RECESSED LIGHT FIXTURES
- EXTERIOR STEP LIGHT FIXTURES



SECOND FLOOR PLAN - UNIT 130.2
SCALE: 1/8" = 1'-0"



FIRST FLOOR PLAN - UNIT 130.1
SCALE: 1/8" = 1'-0"

UNIT FLOOR AREAS:
 FIRST FLOOR: 1,890 SF
 - DECK 387 SF
 SECOND FLOOR: 1,899 SF
 - DECK 135 SF
 THIRD FLOOR: 1,883 SF
 - DECK 138 SF
 TOTAL UNITS 5,672 SF
 TOTAL DECKS 660 SF
 * INCLUDES ADDITION

- PROJECT NOTES**
1. THE ORIGINAL BUILDING BUILT AS A HOTEL WAS CONSTRUCTED 1 BUILDING BUILT AS A HOTEL WAS CONSTRUCTED IN 1903 AND WAS KNOWN AS THE LONG FELLOW INN. RECENTLY, THE BUILDING HAS BEEN OCCUPIED AS APARTMENTS.
 2. OUR PROPOSAL INCLUDES RENOVATING THE EXISTING MAIN BUILDING INTO THREE RESIDENTIAL CONDOMINIUM LIVING UNITS.
 3. THE SPACE AND BULK OF THE EXISTING BUILDING WILL REMAIN. THERE IS NOT AN INCREASE OF BUILDING HEIGHT.
 4. BASEMENT LEVEL TO INCLUDE MECHANICAL AND STORAGE AREAS, NON-HABITABLE SPACE.
 5. FINAL PLANS SUBJECT TO MINOR REVISION DURING CONSTRUCTION.



MARK
MUELLER
ARCHITECTS

PORTLAND PLANNING BOARD



130 EASTERN PROMENADE

OCTOBER 15, 2013

A-1