

3-C-1

2011-258

130 Eastern Prom.

3 story Conversion

Fish House Realty

on Spreadsheet

City of Portland
 Development Review Application
 Planning Division Transmittal form

check w/ Council date

Application Number: 2011-258
CBL: 3-C-1
Project Name: 130 E. Promenade
Address: 130 E. Promenade

Application Date: 5/18/2011 12:00:00 AM

Project Description: Conversion of 3 story res. into 3 residential condos.
Zoning: R6

Other Reviews Required:

Review Type: Level II

Distribution List:

<input type="checkbox"/> Planner	Shukria Wiar	<input type="checkbox"/> Parking	John Peverada
<input type="checkbox"/> Zoning Administrator	Marge Schmuckal	<input type="checkbox"/> Design Review	Alex Jaegerman
<input type="checkbox"/> Traffic	Tom Errico	<input type="checkbox"/> Corporation Counsel	Danielle West-Chuhta
<input type="checkbox"/> Stormwater	Dan Goyette	<input type="checkbox"/> Sanitary Sewer	John Emerson
<input type="checkbox"/> Fire Department	Keith Gautreau	<input type="checkbox"/> Inspections	Tammy Munson
<input type="checkbox"/> City Arborist	Jeff Tarling	<input type="checkbox"/> Historic Preservation	Deb Andrews
<input type="checkbox"/> Engineering	David Margolis-Pineo	<input type="checkbox"/> Outside Agency	
		<input type="checkbox"/> DRC Coordinator	Phil DiPierro

Preliminary Comments needed by: May 25, 2011

JUNE 30, 2011

PETER WELLIN
FISH HOUSE REALTY, LLC
PO BOX 15400
PORTLAND, ME 04112

PATRICK CARROLL
CARROLL ASSOCIATES
217 COMMERCIAL STREET #200
PORTLAND, ME 04101

Project Name: CONDOMINIUM CONVERSION
Address: 130 EASTERN PROMENADE
Applicant: FISH HOUSE REALTY, LLC
Planner: SHUKRIA WIAR

Project ID: 2011-258
CBL: 003-C-001

Dear Mr. Wellin:

On June 30, 2011, the Portland Planning Authority approved a Level II Site Plan Application for renovation and conversion of the existing three story residential structure from eleven (11) apartments into a three (3) unit condominium located at 130 Eastern Promenade. The project will include demolition of an existing one story structure on the rear and side of the main building, and the construction of an addition to the south side of the building and of an open-air attached carport for three compact cars. Additional site improvements include relocating the existing driveway, additional surface parking behind the building, and landscaping improvements. The approval was based upon the applicant's submittal, including but not limited to the site survey by Robert Greenlaw of Ocean Park Land Surveying, LLC, and the approved site plan prepared by Carroll Associates and dated 06.21.2011, with the following waivers and conditions as presented below:

WAIVERS

The Planning Authority waives the Water Quality, Stormwater Management and Erosion Control Standard, Section 14-526 (b)(3)(a) of the Zoning Ordinance. The total runoff from the site in the 2, 10, and 25 year storm events is small, and the increase in runoff due to this project will be minor. The Applicant's request meets the waiver criteria outlined in the Land Use Ordinances referenced above and under the stormwater standards contained in the City's Technical Manual, specifically Chapter 500, Section 4, E. Flooding Standard, (2) Waiver of the flooding standard, (b) Insignificant increases in peak flow rates from a project site.

The Planning Authority waives the Technical Standard, Section 1.14 for the following modifications:

- a. To allow the two parallel parking spaces to be 8' x 20' along the driveway instead of standard parking size of 9' x 18'.
- b. To allow compact parking spaces under the canopy.
- c. To allow a reduced aisle widths of 12' and 23' instead of the required width of 24' for two-way traffic.

SITE PLAN REVIEW

1. That the applicant must comply with the conditions of Chapter 32 Stormwater including Article, III, Post-Construction Stormwater Management, which specifies the annual inspections and reporting requirements. The developer/contractor/subcontractor must comply with conditions of the construction stormwater management plan and sediment & erosion control plan based on our standards and state guidelines. A maintenance agreement for the rain gardens acceptable to Corporation Counsel must be submitted and signed prior to the issuance of a certificate of occupancy.
- ✓ 2. That all comments submitted by David Senus in his memorandum dated 06.27.2011 must be addressed and approved prior to the issuance of a building permit.
- N/A 3. That the parking space near the trash enclosure shall be eliminated for improved on-site circulation and egress movements.
4. The proposed condensing units and any roof top mechanicals shall be screened by an architectural structure wall and shall have noise suppression mechanism. The applicant shall provide documentation of the projected noise levels at the property line and any mitigation measures prior to building permit issuance.
- ✓ 5. That the applicant shall coordinate their work in the right-of-way with the City's Department of Public Services.
- ✓ 6. The applicant shall submit an approved capacity letter from Portland Water District before the issuance of the building permit.
7. That all property corner pins shall be set prior to the issuance of building permit.
8. That all final plan sheets must stamped and signed by a professional engineer.

The approval is based on the submitted site plan. If you need to make any modifications to the approved site plan, you must submit a revised site plan for staff review and approval.

STANDARD CONDITIONS OF APPROVAL

Please note the following standard conditions of approval and requirements for all approved site plans:

1. The site shall be developed and maintained as depicted in the site plan and the written submission of the applicant. Modification of any approved site plan or alteration of a parcel which was the subject of site plan approval after May 20, 1974, shall require the prior approval of a revised site plan by the Planning Board or the Planning Authority pursuant to the terms of Chapter 14 of the Portland City Code.
2. This approval does not constitute approval of building plans, which must be reviewed and approved by the City of Portland's Inspection Division.

3. Final sets of plans shall be submitted digitally to the Planning Division, on a CD or DVD, in AutoCAD format (*.dwg), release AutoCAD 2005 or greater.
4. A performance guarantee covering the site improvements as well as an inspection fee payment of 2.0% of the guarantee amount and **seven (7) final paper sets of plans** must be submitted to and approved by the Planning Division and Public Services Dept. prior to the release of the subdivision plat for recording at the Registry of Deeds or prior to the release of a building permit, street opening permit or certificate of occupancy for site plans. If you need to make any modifications to the approved plans, you must submit a revised subdivision or site plan application for staff review and approval.
5. The site plan approval will be deemed to have expired unless work has commenced within one (1) year of the approval or within a time period agreed upon in writing by the City and the applicant. Requests to extend approvals must be received before the expiration date.
6. A defect guarantee, consisting of 10% of the performance guarantee, must be posted before the performance guarantee will be released.
7. Prior to construction, a pre-construction meeting shall be held at the project site with the contractor, development review coordinator, Public Service's representative and owner to review the construction schedule and critical aspects of the site work. At that time, the site/building contractor shall provide three (3) copies of a detailed construction schedule to the attending City representatives. It shall be the contractor's responsibility to arrange a mutually agreeable time for the pre-construction meeting.
8. If work will occur within the public right-of-way such as utilities, curb, sidewalk and driveway construction, a street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)

The Development Review Coordinator must be notified five (5) working days prior to date required for final site inspection. The Development Review Coordinator can be reached at the Planning Division at 874-8632. All site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

If there are any questions, please contact Shukria Wiar at 756-8083 or via shukriaw@portlandmaine.gov

Sincerely,

Alexander Jaegerman
Planning Division Director

Attachments:

1. David Senus memorandum dated 06.27.2011
2. Performance Guarantee Packet

Electronic Distribution:

Penny St. Louis Littell, Director of Planning and Urban Development
Alexander Jaegerman, Planning Division Director
Barbara Barhydt, Development Review Services Manager
Shukria Wiar, Planner
Philip DiPierro, Development Review Coordinator
Marge Schmuckal, Zoning Administrator
Tammy Munson, Inspections Division
Lannie Dobson, Administrative Assistant
Michael Bobinsky, Public Services Director
Katherine Earley, Public Services
Bill Clark, Public Services
David Margolis-Pineo, Deputy City Engineer
Jane Ward, Public Services
Keith Gautreau, Fire
Jeff Tarling, City Arborist
Tom Errico, TY Lin International
David Senus, Woodard & Curran
Assessor's Office
Approval Letter File
Hard Copy: Project File

130 Eastern Promenade Portland, Maine

*Application For:
Level 2 Development Review*



Submitted By:
Carroll Associates
217 Commercial Street, Suite 200
Portland, Maine 04101

and

Mark Mueller Architects
100 Commercial Street
Portland, ME 04101

For:
Fish House Realty, LLC
PO Box 15400
Portland, ME 04112

Date:
May 17, 2011

CARROLL ASSOCIATES

317 COMMERCIAL STREET SUITE 300
PORTLAND, ME 04101
PHONE 207.773.1552 FAX 207.773.0712

LANDSCAPE ARCHITECTS

May 17, 2011

Ms. Barbara Barhydt
Development Review Services Coordinator
Planning Division
389 Congress Street, 4th Floor
Portland, ME 04101

RE: 130 Eastern Promenade- Development Review Application

Dear Barbara,

On behalf of Fish House Realty, LLC, Carroll Associates is pleased to submit the enclosed Level 2 Development Review Application for the City's review and approval. The property is located at 130 Eastern Promenade at the corner of Wilson Street. The proposed renovations include converting the 3 story structure from 11 apartments to a 3-unit condominium. We are excited about the potential that exists to fully renovate such a valuable property facing onto the Eastern Promenade, and know that it will provide a significant upgrade to the neighborhood once completed.

Proposed architectural improvements include removal of the existing one story structures (barn/garage, apartments, and a deck) at the rear and sides of the property , complete renovation of the existing 3-story building, construction of a small (5 ft wide) addition to the south side of the building, and the construction of an open-air attached carport for 3 compact cars. The main entrance to the building will be from the rear, where a common entrance is proposed for all condominium owners. The result respects and enhances the architectural massing of the existing building and will be a major improvement over its current condition.

Proposed site improvements include a slight relocation of the driveway on Wilson Street, where it will provide access to parking, building entrance, and trash storage. There are 6 proposed parking spaces, 3 standard spaces which are parallel to the driveway along the property line, and 3 compact spaces that are located under a new carport. New concrete sidewalks along Wilson Street are proposed for approximately 60 feet from the existing power pole southerly, where proposed driveway relocation and underground power will require disturbance of the existing walk. On the east side of the property a common area will be developed that includes an outdoor terrace and gardens for the resident's use. All work shall be performed as prescribed in applicable Chapter 14/Land Use Ordinances and Technical Standards, as indicated on the plans.

Enclosed you will find a set of plans outlining proposed work on the property, as well as photos of existing conditions. Please feel free to contact our office with any questions or comments. We look forward to working closely with you during the review and approval of this project.

With Regards,
CARROLL ASSOCIATES



Patrick J. Carroll, Principal

Att.
CC: Peter Wellin, Fish House Realty
Mark Mueller

PROJECT NAME: 130 Eastern Promenade

PROPOSED DEVELOPMENT ADDRESS:

130 Eastern Promenade

PROJECT DESCRIPTION:

Renovate existing 3 story residential apartment building containing 11 rental apartments into 3 residential condominiums and associated sitework.

CHART/BLOCK/LOT: Map 3-C/ Lots 1 and 2 **PRELIMINARY PLAN** _____ (date)
FINAL PLAN _____ (date)

CONTACT INFORMATION:

Applicant – must be owner, Lessee or Buyer Name: Peter Wellin Business Name, if applicable: Fish House Realty, LLC Address: PO Box 15400 City/State : Portland, ME Zip Code: 04112	Applicant Contact Information Work # 207-879-5422 Home# Cell # Fax# e-mail: wellinco@mac.com
Owner – (if different from Applicant) Name: Same as Above Address: City/State : Zip Code:	Owner Contact Information Work # Same as Above Home# Cell # Fax# e-mail:
Agent/ Representative Name: Patrick Carroll Carroll Associates Address: 217 Commercial Street, #200 Portland, ME 04101 City/State : Zip Code:	Agent/Representative Contact information Work # 207-772-1552 Cell # 207-329-8976 e-mail: pcarroll@carroll-assoc.com
Billing Information Name: Same as Applicant Address: City/State : Zip Code:	Billing Information Work # Same as Applicant Cell # Fax# e-mail:

Engineer Name: Blais Civil Engineers Address: 780 Broadway South Portland, ME 04106 City/State : Zip Code:	Engineer Contact Information Work # 207-767-7300 Cell # 207-837-8721 Fax# e-mail: sblais@blaisce.com
Surveyor Name: Robert Greenlaw, PLS Address: 174 Portland Ave Old Orchard Beach, City/State : ME 04064 Zip Code:	Surveyor Contact Information Work # Cell # 207-749-9471 Fax# e-mail: bgreenlaw@myfairpoint.net
Architect Name: Mark Mueller Architects Address: 100 Commercial Street Portland, ME 04101 City/State : Zip Code:	Architect Contact Information Work # 207-774-9057 Cell # Fax# e-mail: mark@muellerarchitects.com
Attorney Name: Address: City/State : Zip Code:	Attorney Contact Information Work # Cell # Fax# e-mail:

APPLICATION FEES:

Check all reviews that apply. (Payment may be made by Cash or Check payable to the City of Portland.)

Level II Development (check applicable reviews) <input checked="" type="checkbox"/> Less than 10,000 sq. ft. (\$400.00) <input type="checkbox"/> After-the-fact Review (\$1,000.00 plus applicable application fee)	Fees Paid (office use) 	Other Reviews (check applicable reviews) <input type="checkbox"/> Traffic Movement (\$1,000) <input type="checkbox"/> Stormwater Quality (\$250) <input type="checkbox"/> Section 14-403 Review (\$400 + \$25/lot) # of Lots ___ x \$25/lot = _____ <input type="checkbox"/> Other _____ <input type="checkbox"/> Change of Use <input type="checkbox"/> Flood Plain <input type="checkbox"/> Shoreland <input type="checkbox"/> Design Review <input type="checkbox"/> Housing Replacement <input type="checkbox"/> Historic Preservation	Fees Paid (office use)
The City invoices separately for the following: <ul style="list-style-type: none"> • Notices (\$.75 each) • Legal Ad (% of total Ad) • Planning Review (\$40.00 hour) • Legal Review (\$75.00 hour) Third party review is assessed separately.			
Plan Amendments (check applicable reviews) <input type="checkbox"/> Planning Staff Review (\$250) <input type="checkbox"/> Planning Board Review (\$500)	Fees Paid (office use) 		

APPLICATION SUBMISSION

As of December 1, 2010, all site plans and written application materials must be uploaded to a website for review. At the time of application, instructions for uploading the plans will be provided to the applicant. One paper set of the plans, written materials and application fee must be submitted to the Planning Division Office to start the review process.

Until December 1, 2010, **submissions shall include seven (7) packets with folded plans containing the following materials:**

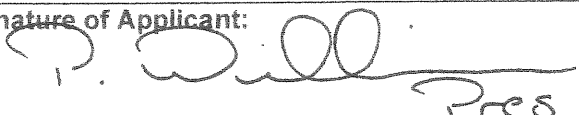
1. **Seven (7) full size site plans** that must be **folded**.
2. Seven (7) copies of all written materials or as follows, unless otherwise noted:
 - a. Application form that is completed and signed.
 - b. Cover letter stating the nature of the project.
 - c. All Written Submittals (Sec. 14-525 2. (c), including evidence of right, title and interest.
5. A stamped standard boundary survey prepared by a registered land surveyor at a scale not less than one inch to 100 feet.
6. Plans and maps based upon the boundary survey and containing the information found in the attached sample plan checklist.
7. Copy of the checklist completed for the proposal listing the material contained in the submitted application.
8. One (1) set of plans reduced to 11 x 17.

Refer to the application checklist for a detailed list of submittal requirements.

Portland's development review process and requirements are outlined in the Land Use Code (Chapter 14), which includes the Subdivision Ordinance (Section 14-491) and the Site Plan Ordinance (Section 14-521). Portland's Land Use Code is on the City's web site: www.portlandmaine.gov Copies of the ordinances may be purchased through the Planning Division.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Planning Authority and Code Enforcement's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

This application is for a Level II Site Plan review. It is not a permit to begin construction. An approved site plan, a Performance Guarantee, Inspection Fee, Building Permit, and associated fees will be required prior to construction. Other Federal, State or local permits may be required prior to construction, which are the responsibility of the applicant to obtain.

Signature of Applicant:  Pres.	Date: May 17, 2011
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TFH ARCHITECTS 100 COMMERCIAL STREET PORTLAND MAINE 04101 TELEPHONE 207-775-6141 ARCHITECTURE AND PLANNING

October 22, 2007

Ms. Molly Casto, Planner
Planning Division
389 Congress Street
Portland, Maine 04101

RE: Estates of Longfellow Inn, 130 Eastern Promenade, (Application ID # 2007-0123)

Dear Molly,

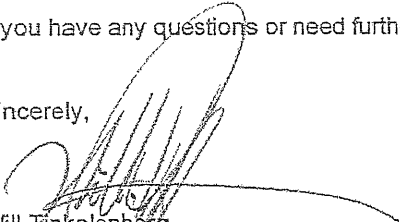
Enclosed please find a letter to Marge Schmuckal from Wally Geyer of Casco Bay Ventures which describes, along with documentation, their determination that the building at 130 Eastern Promenade was originally built and occupied as a building with three dwelling units, such that their "The Estates of Longfellow Inn" project is exempt from the requirements of Section 14-483 of the Land Use Ordinance, "Preservation and Replacement of Housing Units."

Also included are revised floor plans and a revised site plan, which reflect the building as it has been redesigned to accommodate only seven apartment dwelling units, rather than the previously proposed nine units, as necessary to satisfy Sections 14-439, "Dimensional Requirements" and 14-388, "Nonconformity as to Area of Dwelling," of the Ordinance. At 7,905.9 square feet, the current given lot satisfies the minimum requirement of 7,800 square feet for seven units.

Pending Marge's review, please schedule us for the next soonest available Planning Board Workshop. We understand that some materials previously submitted for Site Plan Review may need to be revised in conjunction with the redesigned building; once the Workshop is scheduled please let us know by what date such revised materials should be submitted.

If you have any questions or need further information, please don't hesitate to contact me.

Sincerely,



Will Tinkelenberg

cc: Wally Geyer, Casco Bay Ventures
T. Scott Teas, TFH Architects
Encl: Letter to Marge Schmuckal from Wally Geyer, October 9, 2007
"C-1.2, Site Plan,"**
"A-1.2, First Floor Plan,"**
"A-1.3, Second Floor Plan,"**
"A-1.4, Third Floor Plan,"**
**All drawings revised October 19, 2007; Full-size & 11 x 17 copies included.*

CASCO BAY VENTURES
223 Woodville Road
Falmouth, Maine 04101

October 9, 2007

Marge Schmuckal
Zoning Administrator
Portland City Hall, Room 315
389 Congress Street
Portland, Maine 04101

RE: 130 Eastern Promenade, corner of Wilson Street – 003-C-001 & 002 – R-6 Zone
Site Plan #2007-0123

Dear Ms. Schmuckal,

On September 26, 2007, we received a denial letter for our current project at 130 Eastern Promenade. We are writing to amend our proposed application based upon our revised plans and section 14-480 found within the zoning code.

We were denied our permit based on section 14-388 of the zoning ordinance because our given lot size was smaller than the land area needed for the nine units we had proposed. We have now changed our proposal and have reduced the number of units from nine (9) in the previous proposal to seven (7) units. Through reducing the number of units we are now within the underlying zoning requirements.

The code also discusses in detail the preservation and replacement of housing units. If the number of dwelling units decreases on a property, replacement housing must be built or the developer must pay a fee, unless the property meets one of the codes listed exemptions. Through examination we have discovered that the loss of housing units from the current eleven (11) to the proposed (7) seven units at 130 Eastern Promenade should be exempt from division 29 of the code regarding the replacement of housing units.

Through careful research, we have discovered that 130 Eastern Promenade was originally built as a three family flat. The home was built as a residence in 1903, for Harry Pease, Harry Russell and Franklin Yeaton. Over the years, others bought out Russell and Yeaton. Then in 1916, Harry Pease became the buildings sole owner. During that same year Mr. Pease turned his residence into Ye Longfellow Inn. According to section 14-480 of the zoning ordinance, “existing residential structures which, exclusive of additions thereto, contain more dwelling units than they were originally designed and built to accommodate and which are being modified to contain fewer dwelling units, subject to the condition that the number of dwelling units originally intended to be accommodated in such structures can be established by documentary evidence.”

The attached primary source documentary evidence clearly shows that the building was intended for three dwelling units. Attached you will find Sanborn Fire Insurance Maps dating from 1896 through 1928. The Sanborn Insurance Map for 1896 shows that 130 Eastern Promenade was not yet built. Then the Sanborn Fire Insurance Map of 1909 shows that 130 Eastern Promenade was classified as a framed three story flat. The final Sanborn Insurance Map of 1928 shows that 130 Eastern Promenade had become an inn known as Ye Longfellow Inn. Further evidence of the buildings change of usage is found in the City Directories of 1903, 1915 and 1916. The City Directory of 1903 is the first directory to list a residence being located on the property. At that time the building had Harry Pease, Harry Russell and Franklin Yeaton listed as the properties owners/tenants. Then in 1916, the building is listed as Ye Longfellow Inn and as the home of Harry H. Pease. The Portland Business Directory of 1916 lists Ye Longfellow Inn as a hotel. The prior City Directory of 1915 neither lists the businesses name in the business section nor does the business appear in the street directory.

Due to our revised plans and the supporting documentary evidence, we are confident that our project as amended meets all zoning requirements.

Feel free to contact us with any questions you may have.

Sincerely,

Wally Geyer
Casco Bay Ventures

PORTLAND STREET DIRECTORY 1916

LEFT SIDE

RIGHT SIDE

DUNPHY'S LANE

WARD 4

From 12 York

- Mrs Nora Mulcorn
- Vacant
- 1 Mrs Margaret Mulcorn
- Miss Mary Gorkham
- Bernard Lorman
- 3 Vacant

DUREHAM STREET

WARD 8

From 46 Brighton avenue to opposite 472 St John

- Alfred L. Turner
- Charles H. Small
- Perley O. Dresser
- Carl A. Ellland
- G. Weiden Smith
- Charles S. Lord
- Charles K. Smith
- Daniel K. Smith
- John L. Merryman
- Howard R. Stevens
- Henry P. Owen
- George E. Maco
- Beane street
- Nathan Olifford school
- Payson street
- William J. Laagzettel
- Howard O. Larrabee
- St John street

DYEB STREET

WARD 8

From 150 Franklin to 61 Wilmot.

- 3 David Robinson
- 5 Robert M. Bloom
- Nathan Rubin
- 7 William Cooper
- 11 George T. Harding
- A. Johnson County
- Walter H. Joyce
- 13 Arthur Woodman
- Wilnot street

EASTERN PROMENADE

WARD 1

- From 1 Atlantic to junction North and Washington avenue
- 5 Henry P. Merrill
- 13 (rear) William O. Tapley
- Mrs Josephine M. Stevens
- 17 John B. Weatherbee
- John P. McConville
- 19 Miss Jennie M. Berry
- James A. Trott
- (rear) George A. Brown
- Raymond D. Patchin
- 31 Miss Martha J. Clark
- (rear) John E. Bradley
- 27 Walter W. Dukettt
- Vacant
- 39 Edward Jeremiah H. Connolly
- George L. Gerrish
- 47 Fort Allen Park
- 55-75 Mrs Bertha M. Cleveland
- 81 Roscoe S. Davis
- 91 Vacant
- 98 Vacant
- 95-07 East Commercial street

PORTLAND STREET DIRECTORY 1916

133

LEFT SIDE

RIGHT SIDE

EASTERN PROMENADE—Continued

- Ye Longfellow Inn
- Heavy E. Pease
- 134-136 Samuel D. Plummer
- 150 John W. Griffin
- 154-156 Mrs Sarah E. Towle
- 160 Abraham Goodside
- 166 Michael J. Flaherty
- 168 Morris Malman
- 170 William R. Skary
- 172 Albert E. Smith
- 174 John H. Montgomery
- 176 George E. Macgowan
- 182 Mrs Mary E. O'Connor
- Fred D. Harvey
- 188 Lindsay B. Griffin
- 192-196 Wallace B. Adams
- 208 James A. Kenison
- 210 Warren Brown
- 214 John R. Peterson
- 218 Cohen M. Gould
- Charles A. Fisher
- E. E. Mooley
- 224 Benjamin Besslein
- 224A Joseph S. B. Stewart
- 228 232 Cedar street
- 258-260 Quebec street
- 268-280 Macburne street
- 288 John J. Nielsen
- 282 Richard B. Harvey
- 286 800 Montreal street
- 318-320 Walnut street
- North street
- 452-460 Washington avenue
- 468—

EDGEY

From 1200 Washingk

- 20 John J. O'Connor
- 80 Mrs Mary J. McGowan
- 84 William E. Dolley
- Vacant

Beachwood avenue

EDWARDS STREET

WARD 8

From 1190 Congress to 842 Brighton avenue

- 7 George M. Milne
- 193 Erlon M. Robinson
- Edgworth avenue

EIGHT STREET

WARD 9

From Lexington avenue, northerly to Broadway

- John A. Murphy
- Arthur F. Fielding
- William S. Spear
- Broadway

ELEANOR STREET

WARD 9

From 1268 Forest avenue, southerly

- J. Everett Low
- Melvin L. Loring
- Willard L. Wyman
- Alfred LockMay
- William W. Durrell

The Portland City directory of 1916 Shows that the property has become an Inn.

ESS

TERMINAL
 76 CROSS STREET
 TELEPHONE 3557 - 3558

Opticians. Kodak Supplies. Anderson, Adams & Co. INSURANCE

Shirts (Retail)—Continued
 10. P 1920 Forest av
 aniamin K 89 Sawyer S P
 Central House 137 Free
 Cliff House Cottage rd O E
 Columbia Hotel 645 Congress
 Congress Sq Hotel 579 and 581 Congress
 Fairmouth Hotel 212-214 Middle
 Grand Trunk Hotel 179 Fore
 Granite Spring Hotel Long Island
 Harbor View House Peaks Island
HOTEL BRUNSWICK 21 Preble (see p 22)
 Hotel Florence 49 India
 Hotel Temple 22 Temple
 Imperial Hotel 104 Park
 Innes House Island av Peaks Island
 Knickerbocker (The) Peaks Island
 Lafayette Hotel 638 Congress
 Monument Sq Hotel 247 Federal
 New Adams House 15 Temple
 New Obispo House 484 Congress
 New Rochester Hotel (The) 97 Elm
 Oceanic Peaks Island
 Park Hotel 191 Forest av
 Peaks Island House Peaks Island
 Peckle House 475 Congress
 Piermont Hotel 989-943 Congress
 Richmond Hotel 6 7th Street
 Western Hotel 208 St John
 West End Hotel 106 Middle
 Windsor Hotel 106 Middle
 Ye Headland Inn Peaks Island
 Ye Longfellow Inn 190 Niagara promenade

LAUGHLIN THOMAS CO (THE) 148 Fore
 and 184 Commercial (see page 7)
MADSEN & ALLEN CO 675 Forest av (see
 foot lines street directory)
 Marine Hardware and Equipment Co. 100
 High S P
STEVENS A E & CO (wagon) 9 Union (see
 page 1236)
 Sulkwitch Hardware & Paint Co 378 Fore
 Talbot Brooks & Ayer 248 Middle
TILTON CHARLES A & CO 115 Sawyer S P

***Hermetically Sealed Goods**
BURNHAM & MORRILL CO 45 Water (see
 page 5)
PORTLAND PACKING CO 26 York (see
 page 8)
TWITCHELL-CHAMPLIN CO (THE) 252
 Commercial (see page 9)
***Horse Boots**
BATLEY JAMES CO (THE) 264 Middle (see
 head lines street directory)

Avenue House Island av Peaks Island
 Bay View House Island av P I
 Casco Bay House Long Island
 Central House 137 Free
 Cliff House Cottage rd O E
 Columbia Hotel 645 Congress
 Congress Sq Hotel 579 and 581 Congress
 Fairmouth Hotel 212-214 Middle
 Grand Trunk Hotel 179 Fore
 Granite Spring Hotel Long Island
 Harbor View House Peaks Island
HOTEL BRUNSWICK 21 Preble (see p 22)
 Hotel Florence 49 India
 Hotel Temple 22 Temple
 Imperial Hotel 104 Park
 Innes House Island av Peaks Island
 Knickerbocker (The) Peaks Island
 Lafayette Hotel 638 Congress
 Monument Sq Hotel 247 Federal
 New Adams House 15 Temple
 New Obispo House 484 Congress
 New Rochester Hotel (The) 97 Elm
 Oceanic Peaks Island
 Park Hotel 191 Forest av
 Peaks Island House Peaks Island
 Peckle House 475 Congress
 Piermont Hotel 989-943 Congress
 Richmond Hotel 6 7th Street
 Western Hotel 208 St John
 West End Hotel 106 Middle
 Windsor Hotel 106 Middle
 Ye Headland Inn Peaks Island
 Ye Longfellow Inn 190 Niagara promenade

*The City of
 Portland's Business
 Directory of 1916
 Shows that in
 1916 Ye Longfellow
 Inn was in
 business.*

***Horse Clothing**
BALDY F O CARRIAGE CO (INC) 165
 Middle (see side lines street directory)
BALDY JAMES CO (THE) 264 Middle (see
 head lines street directory)
GREENOUGH SERRON & CO (wholesale) 191
 Middle (see page 7)
Horse Dealers.
 Rich Dewar & Son 1150 Congress

***Horse Furnishing Goods**
BALDY F O CARRIAGE CO (INC) 165
 Middle (see side lines general directory)
BALDY JAMES CO (THE) 264 Middle (see
 head lines street directory)
HORSESHOERS
 (See also Blacksmiths)
 Chase Gilbert E 637 Forest av
 Clayton Joseph H 501 Fore
 Fullerton Edward W 32 Union
 Griban Charles G Oross
 Lennon James E 157 Kennebec

Guns and Sporting Goods
 Market
 H 210 Federal
W and Cornice Makers
FUS CO 390 Com'l (see p 1230)
LOGUE 452 Fore (see page
 1239)
FAKNER 54 Cross (see p 18)
J & CAIN 232 Com'l (see p 6)
FIN E & SON 81 Cross (see
 page 8)
IAM H CO (THE) (salvanzized,
 Fore (see page 1236))

Portland Rubber Co 259 Middle (see
 top lines general directory)
Hosiery and Gloves
 Miley Co (The) 563 Congress
OWEN MOORE & CO 505 Congress (see adv
 general directory)
Hospitals and Dispensaries
 Children's Hospital (The) 91 Danforth and
 68 High
 Gonnellan John W (private) 83 Eastern prom
 Edward Mason Dispensary 65 India
 Gordon Lillian A Mrs (private) 93 Stevens
 avenue
 Kings Dr (private) 139 William
 Maine Eye and Ear Infirmary 9 Bramhall
 Marine General 2-22 Arsenal
 Maternity Hospital (private) 109 Emery
 St Barnabas (private) 291 Woodford

***Hose and Packing**
PORTLAND RUBBER CO 259 Middle (see
 top lines general directory)
Hosiery and Gloves
 Miley Co (The) 563 Congress
OWEN MOORE & CO 505 Congress (see adv
 general directory)
Hospitals and Dispensaries
 Children's Hospital (The) 91 Danforth and
 68 High
 Gonnellan John W (private) 83 Eastern prom
 Edward Mason Dispensary 65 India
 Gordon Lillian A Mrs (private) 93 Stevens
 avenue
 Kings Dr (private) 139 William
 Maine Eye and Ear Infirmary 9 Bramhall
 Marine General 2-22 Arsenal
 Maternity Hospital (private) 109 Emery
 St Barnabas (private) 291 Woodford

Gymnasiums
 Athletic Club 60 Spring
 Free
 Oak
**and Brown Tail Motl
 Exterminators**
PHILBROOK 18 Exchange
Hair Dresser
OTHY P MISS 536 Congress
 (see page 10)
Hair Workers
 Miss r 188 Summit
 (518 Congress
 Mrs 536 Congress rm 89
 587 Congress rm 10 (see
 page 10)
 Parlors 562 Congress rm 416

***Hot Water Heating**
DAVIS H E CO 38 Forest av (see adv gen-
 eral directory)
KANE & STEVENSON 7-8 Washington av
 (see page 16)
MOSHTON ARTHUR H 75 Union (see p 15)
NASH F & O B CO 380 Fore (see page 27)
WASH O M & D W 6 Exchange (see p 27)
WILLEY & CALHOUN 46 Market (see adv
 general directory)

Hats, Caps and Furs
COE THE HATTER 207 Middle (see
 general directory)
GREENOUGH BYRON & CO (wholesale)
 Middle (see page 7)
McCarthy John J 251 Middle
SCHLOSSBERG I H 591 Congress (see
 general directory)
 Schwarz D W 257 Middle
 Snyder Inc 9 Monument sq

Heating and Ventilating Contractors
HASKINS JOSEPH T Jr 86 Vermont
 (see page 1237)
HUTTONSON MELVILLE C 188 B
 (see side lines street directory)
KANE & STEVENSON 7-8 Washington
 (see page 16)
LIBBY H D & SON 10 Sewall (see p 15)
MOULTON ARTHUR H 75 Union (see p 15)
NASH F & O B CO 380 Fore (see p 27)
WASH O M & D W 6 Exchange (see p 27)
TILTON C A & CO 115 Sawyer S P
 (see page 1240)

Hotels
 American House 29 Free
 Atlantic House 156 and 187 Fore

Hotels (Apartment)
 Berkeley 73 Park av
 Boyd 65 Spring
 Bristol 312 Congress
 Carrlet 9a Myrtle
 Cliford 13 Cliford
 Colonial 177 High
 Elks 45 Spring
 Ellsworth 895 Congress
 Everett Chambers 51a Oak
 Florence 15 Shepley
 Florentine 41 Chestnut
 Hampton 94 Park av
 Hanlan 115 Congress
 Lawlor 150 Congress
 Los Angeles 421 Cumberland av
 Marlborough 184 High
 Marshall 626a Congress
 Newton 124 Brackett
 Oaks 76 Park av
 Ocean View 101 Danforth
 Parkhurst 91 State
 Raymond 55 Morning
 Sherman 111 Sherman
 Sherwood 92 Park
 Shepley 18 Casco
 Somerset 688 Congress
 St Regis 8-10 Weymouth
 St Francis 13 Weymouth
 Stanley 5 Smith
 Steakway 59 State and 138 Danforth
 Tremont 65 Sherman
 Tremont 65 Sherman
 Tyler 55 Spring
 Ulysses 98 Grant
 Vaughan Hall 216 Vaughan
 Wardsworth 80a Preble
 Warren 82 Park av
 Wellington 361 Congress
 Weymouth 849 Congress
 Wiggins 198 High
 Windsor 881 Congress
 Windsor 286 State
 Woodbury 119 Franklin

House Finish Mfrs.
ALLEN W A CO 195 Somerset (see p 1235)
BERLIN MILLS CO 434 Commercial (see
 adv general directory)

Hotels
 American House 29 Free
 Atlantic House 156 and 187 Fore

Hotels (Apartment)
 Berkeley 73 Park av
 Boyd 65 Spring
 Bristol 312 Congress
 Carrlet 9a Myrtle
 Cliford 13 Cliford
 Colonial 177 High
 Elks 45 Spring
 Ellsworth 895 Congress
 Everett Chambers 51a Oak
 Florence 15 Shepley
 Florentine 41 Chestnut
 Hampton 94 Park av
 Hanlan 115 Congress
 Lawlor 150 Congress
 Los Angeles 421 Cumberland av
 Marlborough 184 High
 Marshall 626a Congress
 Newton 124 Brackett
 Oaks 76 Park av
 Ocean View 101 Danforth
 Parkhurst 91 State
 Raymond 55 Morning
 Sherman 111 Sherman
 Sherwood 92 Park
 Shepley 18 Casco
 Somerset 688 Congress
 St Regis 8-10 Weymouth
 St Francis 13 Weymouth
 Stanley 5 Smith
 Steakway 59 State and 138 Danforth
 Tremont 65 Sherman
 Tremont 65 Sherman
 Tyler 55 Spring
 Ulysses 98 Grant
 Vaughan Hall 216 Vaughan
 Wardsworth 80a Preble
 Warren 82 Park av
 Wellington 361 Congress
 Weymouth 849 Congress
 Wiggins 198 High
 Windsor 881 Congress
 Windsor 286 State
 Woodbury 119 Franklin

EVENING EXPRESS

LARGEST DAILY
CIRCULATION
IN MAINE.

PORTLAND STREET DIRECTORY.

141

LEFT SIDE.

RIGHT SIDE.

DUNPEY'S LANE—CONTINUED.

- | | |
|--------------------|-----------------------|
| 2 Mrs. Hannah Lee | 4 Michael Ney |
| Mrs. Mary Haley | Benjamin B. Dyer |
| John W. Wilkins | Pasquale Cefalo |
| Mrs. Sophia Decost | Mrs. Annie F. Cameron |

DYER STREET.

WARD 3.

From 150 Franklin to 51 Wilmot.

- | | |
|----------------------|-------------------------|
| 8 Neal Johnson | 3 Joseph H. Marston |
| Clarence E. Horr | Watson R. Gribbin, jr. |
| 12 Jesse S. Felt | 5 Joseph F. Colley, jr. |
| Lewis W. Littlefield | 7 Mrs. Amanda Hill |
| Wilmot street | 13 Vacant |
| | — Wilmot street |

EASTERN PROMENADE.

WARD 1.

From 1 Atlantic to junction North and Washington avenue.

- | | |
|----------------------------|-------------------------------|
| 6 Ernest A. Randall | 5 Henry F. Merrill |
| 14 16 Munjoy street | 17 John G. Munroe |
| | Mrs. Catherine Lightford |
| | 19 Charles A. Neal |
| | James A. Trött |
| 22 James P. Jordan | (rear) Alexander L. Izatt |
| 28 John H. Richardson | John M. L. Jackson |
| Herbert J. Willard | 21 Mrs. Jerusha S. Clark |
| Charles S. Webster | (rear) Ernest E. Gammage |
| 34 Beckett street | |
| 36 Mrs. Lizzie E. Dennison | 27 Walter W. Duffett |
| Charles L. Jack | 29 Oakley C. Curtis |
| 40 Benjamin Thompson | 33 Mrs. Elvira S. Randall |
| 46 Mrs. William Gray | 39 William B. Thombs |
| 48-52 Vesper street | (rear) Jeremiah H. Connolly |
| 54 William L. Blake | 47 John J. Gerrish |
| | George L. Gerrish |
| 64 William N. Taylor | 53 Mrs. Sarah M. Ricker |
| 66-82 Morning street | 55-73 Fort Allen Park |
| 84 Robert D. Libby | 75 Fort Allen Park place |
| 90 Arthur C. Libby | 81 Lewis W. Cleveland |
| 96 Harry H. Pease | 91 Roscoe S. Davis |
| Harry H. Russell | 93 Mrs. Catherine McCarthy |
| Franklin Yeaton | 95, 97 East Commercial street |
| 134 136 Wilson street | 191-195 Congress street |
| 140 Samuel D. Plummer | Cleaves Monument |
| 154 156 Moody street | |
| 172 Leslie A. Boadway | |
| 174 Alfred Southworth | |
| 182 Robert S. Laughlin | |
| Lindsey B. Griffin | |
| 192-196 Congress street | |
| 214 John R. Peterson | |
| 218 Moses M. Gould | |
| Charles A. Patten | |
| Neal D. Gould | |

L. W. CLEVELAND CO. & ELECTRICAL ENGINEERS & CONTRACTORS.
 133 CONGRESS ST.
 REMOVES AND REPOSITIONS
 TELEPHONE FOR EVERY KIND OF
 ELECTRICAL WORK.
 TELEPHONE CONNECTION.

Portland City
directory of 1903
Shows that three
tenants/owners live
at 130 Eastern
Promenade.

Rubber and Leather Belting and everything pertaining to MILL Supplies.

TALBOT, BROOKS & AYER,

289 MIDDLE, 235 AND 243 FEDERAL STREETS.

Year 1903

CLOTHING ON CREDIT, IF YOU WANT IT
 PURITAN CLOTHING CO.
 571 CONGRESS STREET
 TELEPHONE 1898-W

WEST SIDE

RIGHT SIDE

EASTERN PROMENADE—Continued

- | | |
|----------------------------|----------------------------|
| 40 Roy W Reed | 21 Martha J Clark |
| Eugene A Spaulding | (rear) John E Bradley |
| 46 Gertrude H Weeks | 27 Walter W Duffett |
| 48-52 Vesper street | 29 Oakley C Curtis |
| 54 William L Blake | 33 Vacant |
| 64 William N Taylor | 39 Edward M Lang |
| 65-23 Morning street | (rear) Jeremiah H Connolly |
| 84 Robert D Libby | 47 George L Gerziah |
| 102 Mrs Lydia J Libby | 53-75 Fort Allen Park |
| 108 George B Verrill | 81 Mrs Bertha E Cleveland |
| 114 Harry H Russell | 91 Roscoe S Davis |
| 126 George T Dealy | 93 Vacant |
| 130 Harry E Pass | 95-97 East Commercial |
| George F Reynolds | |
| Natt W Brown | |
| 134-136 Wilson street | |
| 140 Samuel D Plummer | |
| 150 John W Griffin | |
| 154-156 Moody street | |
| 180 Mrs Sarah E Towle | |
| 166 Abraham Goodside | |
| Michael J Flaherty | |
| 168 Morris Maiman | |
| 170 William T Starr | |
| 172 Albert E Smith | |
| 174 John H Montgomery | |
| 176 George E McGowan | |
| 182 Mrs Mary E O'Connor | |
| Fred D Harvey | |
| 188 Lindsay B Griffin | |
| 192-196 Congress street | |
| 208 Novello Crafts | |
| Rev Wilhelm M Petterson | |
| 210 James A Keniston | |
| 214 John R Peterson | |
| 218 Moses M Gould | |
| Charles A Patten | |
| E Rae Moody | |
| 224 Benjamin Press | |
| Samuel Wolf | |
| 224A Charles H Warren | |
| 228 Mrs Isabella M Stewart | |
| 230-232 Turner street | |
| 258-260 Quebec street | |
| 278-280 Melbourne street | |
| 288 John J Nissen | |
| 292 Richard E Harvey | |
| 294 Atwood O Tibbs | |
| 296-300 Montreal street | |
| 316-320 Walnut street | |
| 452-460 North street | |
| 468— Washington avenue | 475— North street |
| | Washington avenue |

Portland City
 directory of 1915
 Shows that three
 tenants/owners
 live at 130 Eastern
 Promenade.

EDGEWOOD AVENUE

WARD 9

From 1200 Washington avenue to Beechwood avenue

- | | |
|-----------------------|------------------|
| 20 John J O'Connor | |
| 30 Mrs Mary J McGowan | 25 Vacant |
| 34 William E Dolley | |
| Beechwood avenue | Beechwood avenue |

EDWARDS STREET

WARD 8

From 312 Brighton avenue to 1190 Congress

- | | |
|-----------------|------------------|
| Congress street | 7 George M Milne |
| | Congress street |

Opticians. Kodak Supplies.
 H. E. MURDOCK CO. Y. M. C. A. BUILDING.

***Hospitals (Private)**

SWEE EVELYN W. MRS 8 Pleasant av
(see adv general directory)

***Hot Naphtha Cleansers**

KINS E L & CO 1181 Forest av 131
Woodford 153 Free (see head lines
general directory)

***Hot Water Heating**

AVIS E E CO 33 Forest av (see adv gen-
eral directory)
BIRK & STEVENSON 7-9 Washington av
(see page 19)
MILTON ARTHUR E 75 Union (see
page 15)
BIRK F & C E CO 390 Fore (see p 24)
BIRK O M & D W G Brch (see p 24)
LIBBY & CALHOUN 46 Market (see adv
general directory)

Hotels

American House 29 Free
Atlantic House 185 and 187 Fore-
Atlantic House Island av Peaks Island
Bay View House Island av P I
Bay Hotel Long Island
Beal House 137 Free
Birch House rear 431 Congress
Cottage Cottage rd C E
Columbia Hotel 645 Congress
Congress Sq Hotel 579 and 581 Cong
Wood. (The) 16 Elm
Crown Hotel 212 214 Middle
Eden Spring Hotel Long Island
Eden View House Peaks Island
E. L. BRUNSWICK 21 Preble (see page
22)
Eden Florence 43 India
Eden Temple 22 Temple
Eden Hotel 104 Oak
Eden House Island av Peaks Island
Eden Rocker (The) Peaks Island
Eden Hotel 638 Congress
Eden Sq Hotel 247 Federal
Eden Adams House 15 Temple
Eden Chase House 434 Congress
Eden Peaks Island
Eden Hotel 121 Forest av
Eden Island House Peaks Island
Eden House 475 Congress
Eden Hotel 939-943 Congress
Eden Rochester Hotel (The) 97 Elm
Eden Hotel 6 Tolman place
Eden Hotel 293 St John
Eden Hotel 196 Middle
Eden Headland Inn Peaks Island

Hotels (Apartment)

Eden 72 Park av
Eden 65 Spring
Eden 312 Congress
Eden 177 High
Eden 65 Spring
Eden 895 Congress
Eden Chambers 51a Oak
Eden 15 Shepley
Eden 41 Chestnut
Eden 12 Weymouth
Eden 94 Park av

Harlan 115 Congress
Lawlor 150 Congress
Los Angeles 421 Cumberland av
Lyndon 16a Deering
Marlborough 184 High
Marshall 626a Congress
Munjoy 102 Congress
Newton 124 Brackett
Oaks 76 Park av
Ocean View 101 Danforth
Parkhurst 91 State
Quincy 7 Quincy
Raymond 55 Morning
Sherman 111 Sherman
Sherwood 92 Park
Shepley 18 Casco
Simpson 68 Mellen
Somerset 633 Congress
St Regis 8-10 Weymouth
Stateway 59 State and 138 Danforth
Tecumseh 65 Sherman
Trelawny 655 Congress
Tyler 55 Spring
Ulysses 98 Grant
Vaughan Hall 216 Vaughan
Wardsworth 30a Preble
Warren 82 Park av
Whitney 122 Neal and 59 West
Wiggin 198 High
Wilson 881 Congress
Windsor 286 State
Woodbury 113 Franklin

***House Finish Mfrs.**

ALLEN W A & CO 125 Somerset (see page
1184)
BERLIN MILLS CO
adv general dire
DEERING RUFUS C
page 1180)
DOHEN S H & A I
1184)

***House-Frn**

DAVIS E S CO 10
Federal (see her
FOSS T F & SONS
general directory
PORTHOUS MITCH
522 Congress (S
TOLMAN BRADFOR
327 Cumberland
eral directory)

Ice Cre:

Deering Ice Cream C
SIMMONS & HAME
Commercial (see
rectory)
West End Dairy Co

Ice I

Brackett W E & Co
Deering Ice Co 143 N
Libby & Co 200 Fed
Merrill William A Lc
Phinney Charles G S
PORTLAND SEBAG
mercial (see foot lines general dir)
Sebago Ice Co 302 Commercial
Trefethen Harvey H Peaks Island

***Illuminating Windows**

SPENCE BELL & CO. 90 Canal Boston (see
page opp Glass)

Business directory
of 1915 shows
that Le Longfellow
Inn does not
yet exist.

W. C. PAGE BOX CO. BOXES AND PACKING CASES
Manufacturers of
BOOK MILL AT BAR MILLS, ME. CAMBRIDGEPORT, MASS.







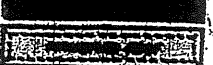
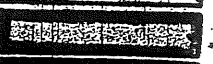


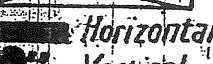



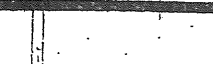


Key for reading


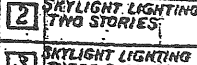
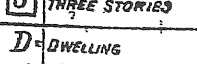
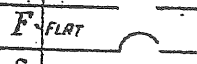

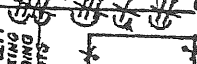


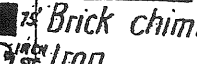
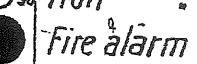
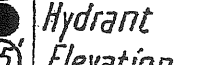





Sanborn Insurance Maps.

(Source: 1928 Sanborn Insurance Map of Portland)



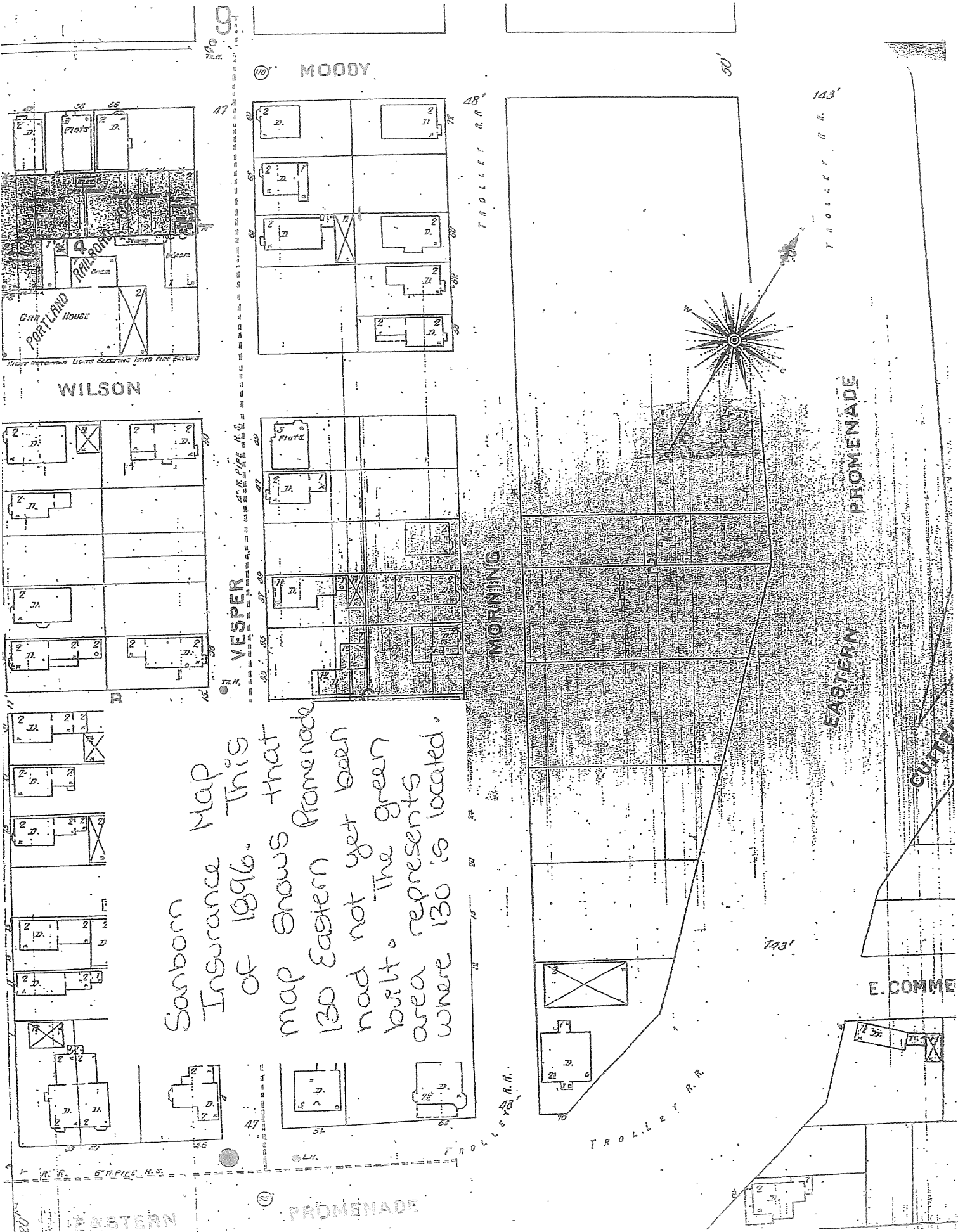
KEY

-  Fire proof construction
-  Iron building
-  Brick building with metal cornice
-  " " " frame
-  " " " side
-  " " " stone front
-  Brick special
-  " " with frame side
-  frame building
-  " " iron clad
-  " " special
-  Adobe building
-  Stable
-  Horizontal steam boiler
-  Vertical Automatic sprinklers
-  AFA Automatic fire alarm
-  IEP Independent electric plant

- | | | | |
|--|----------------------------------|------|---|
| WALL | 1ST | ONLY | Wall 1 st no openings through it |
| WALL | 1ST | ONLY | " " with openings |
|  | SKYLIGHT LIGHTING TOP STORY ONLY | | Fire wall 6 inches above roof |
|  | SKYLIGHT LIGHTING TWO STORIES | | " " 12 |
|  | SKYLIGHT LIGHTING THREE STORIES | | " " 18 |
|  | D-DWELLING | | " " 24 |
|  | F-FLAT | | Opening in division wall with iron door |
|  | S-STORE | | " " standard iron door |
|  | | | Windows with iron shutters |
|  | | | Window opening in first story |
|  | | | Windows " second |
|  | | | " " 2 ^d & 3 ^d stories |
|  | | | " " 2 ^d & 4 th |
-  Brick chimney
 -  Iron
 -  Fire alarm box
 -  Hydrant
 -  (15) Elevation

27

Reference to adjoining sheet



Sanborn Insurance Map of 1896. This map shows that 130 Eastern Promenade had not yet been built. The green area represents where 130 is located.

WILSON

MODDY

VESPER

MORNING

EASTERN
PROMENADE

E. COMME

EASTERN

PROMENADE

GRAPPE H.S.

20

9

50

143

143

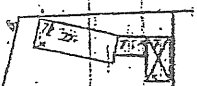
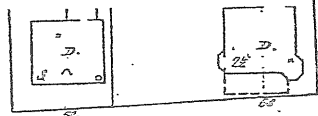
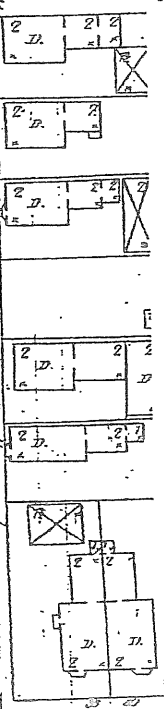
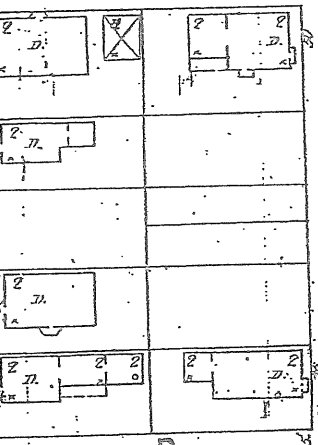
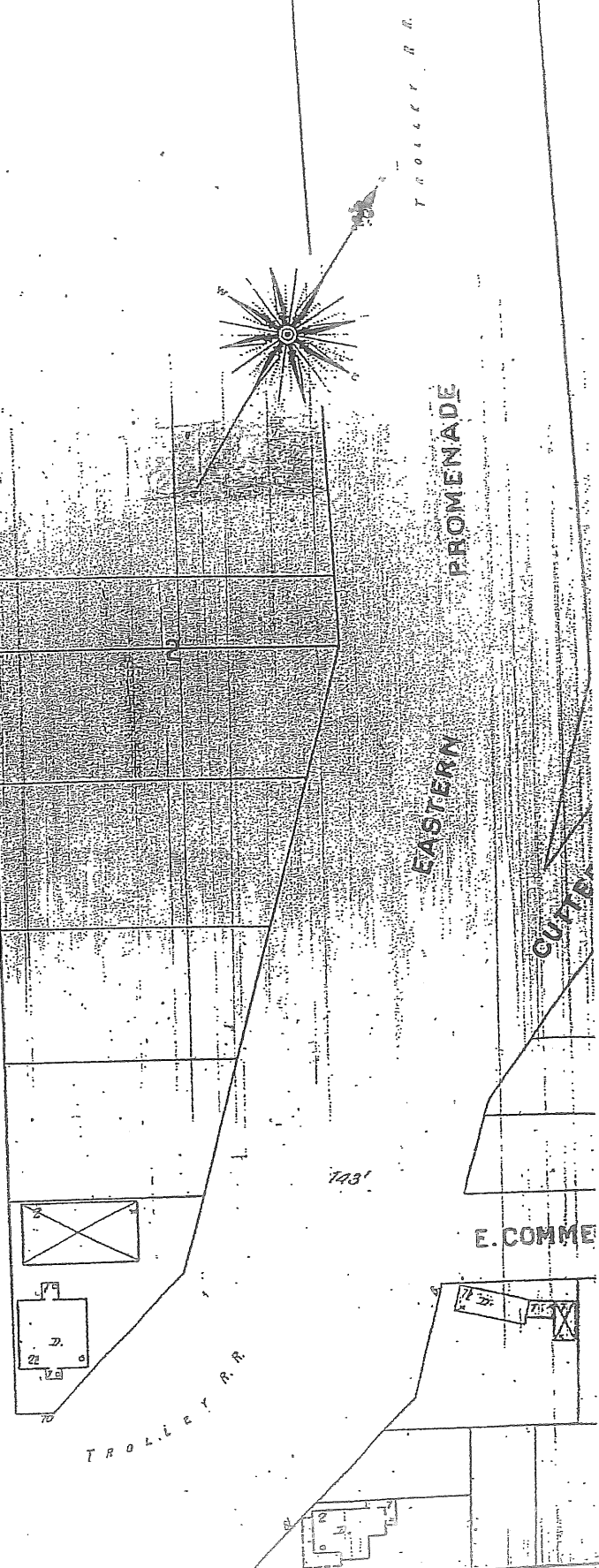
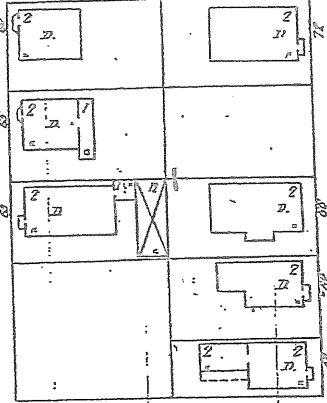
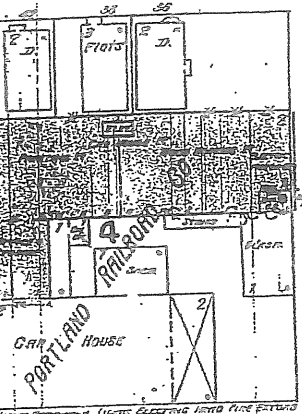
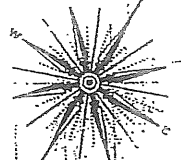
TROLLEY R.R.

TROLLEY R.R.

TROLLEY R.R.

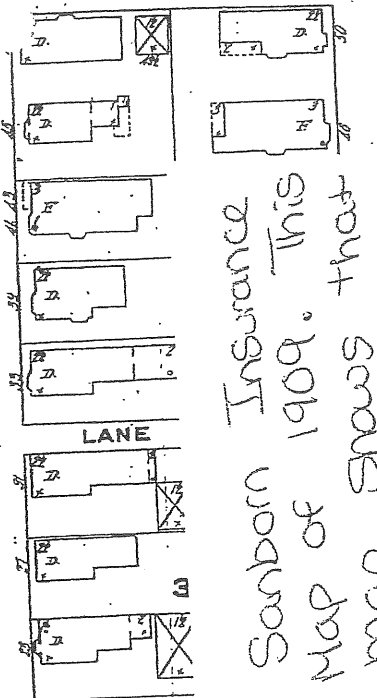
PORTLAND HOUSE

RAILROAD



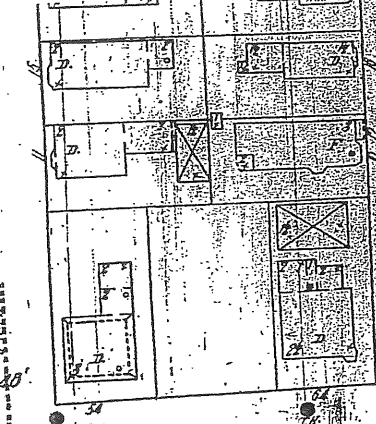
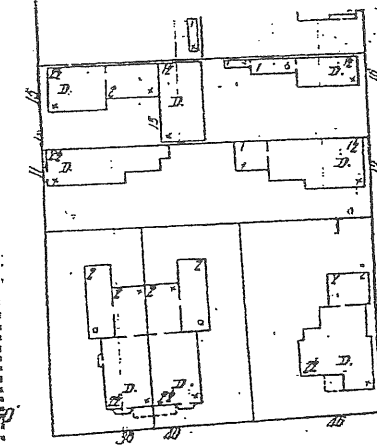
1907 NATIONAL M. CLOCK LIGHTS: ELECTRIC BELL SYSTEM
MUNICIPAL AUTOMATIC SPRINKLER'S THROUGHOUT METROPOLIS
STANDARD GASOLINE PUMP BY CITY WATER & POWER COMMISSION

WILSON

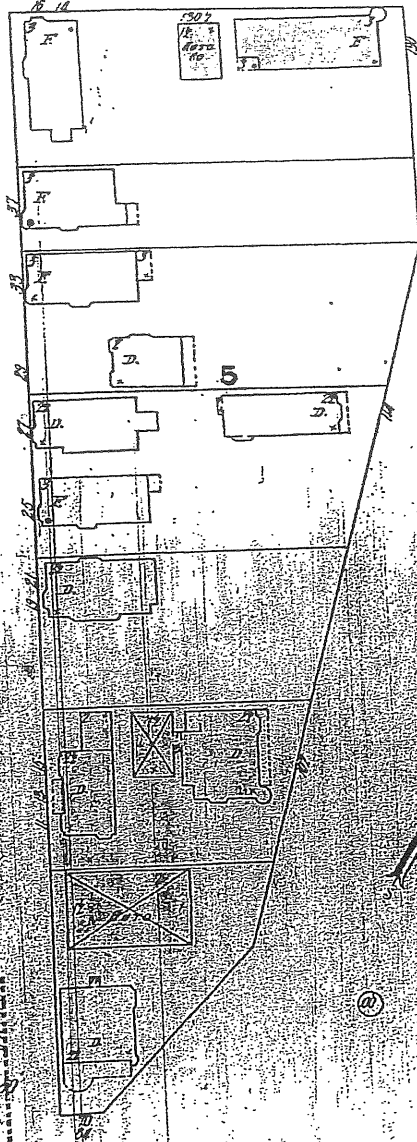


Sanborn Insurance Map of 1909. This map shows that

130 Eastern Promenade is a 3-story flat. An enlarged picture can be found on the next page. Green shows its location.

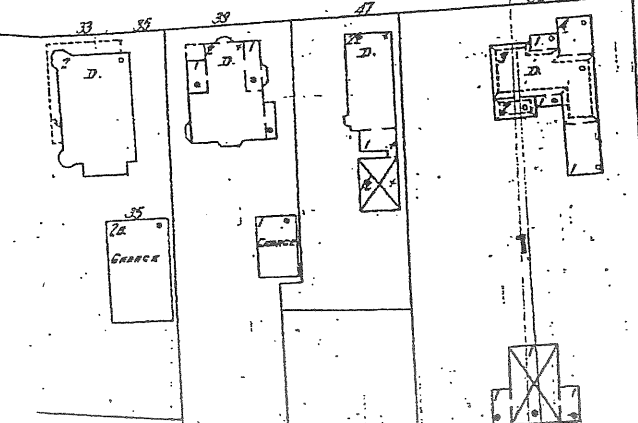


MORNING

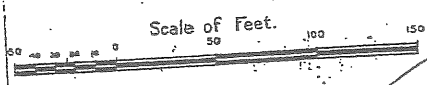


EASTERN

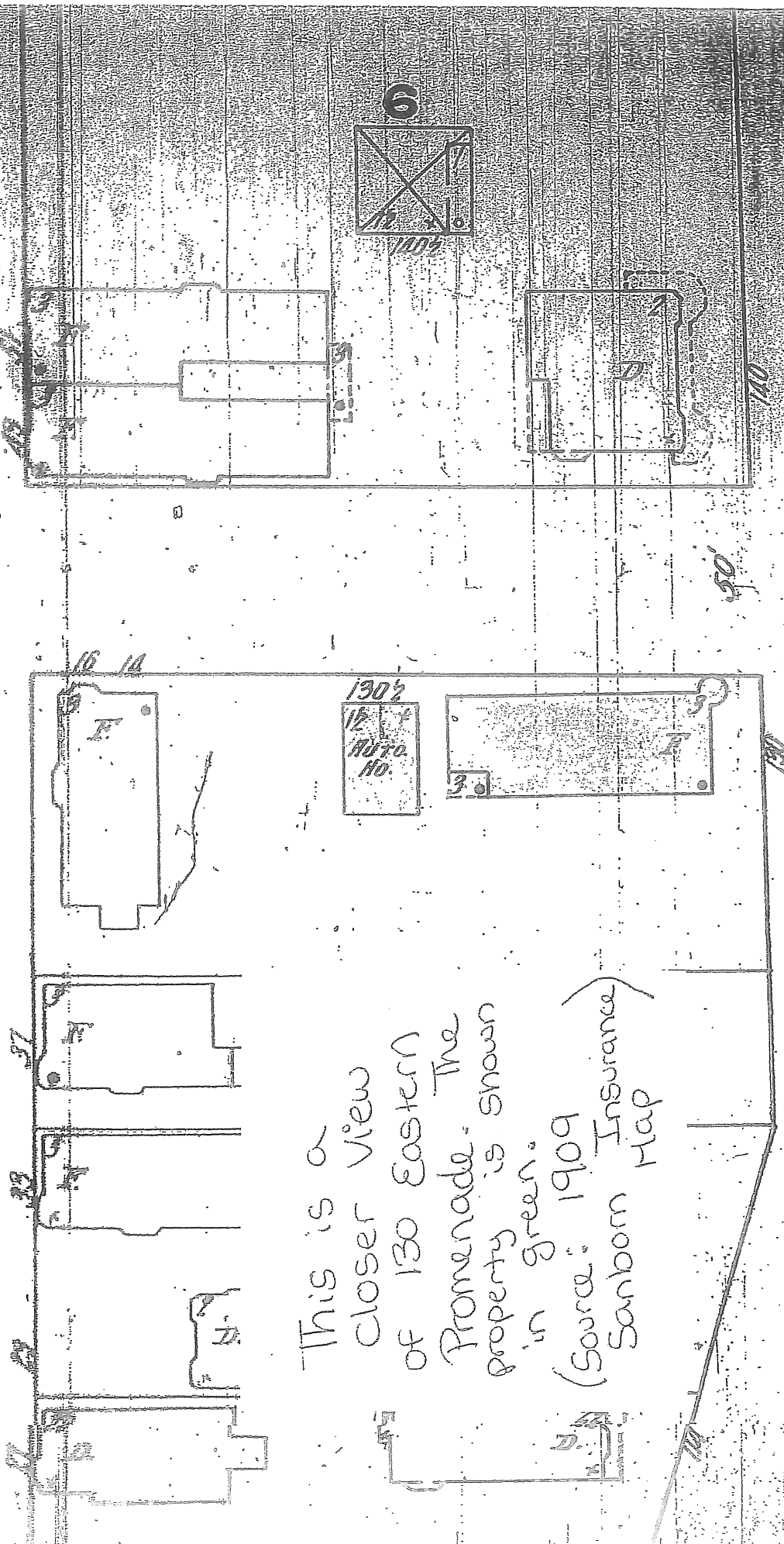
EASTERN PROMENADE



FORT ALLEN PARK



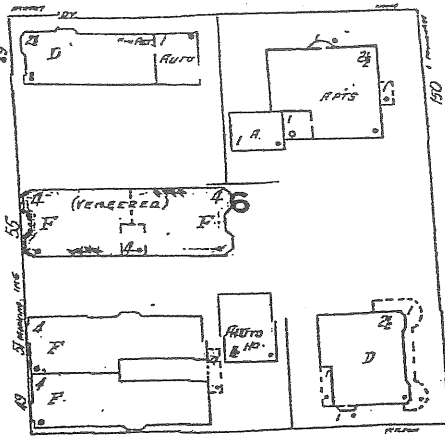
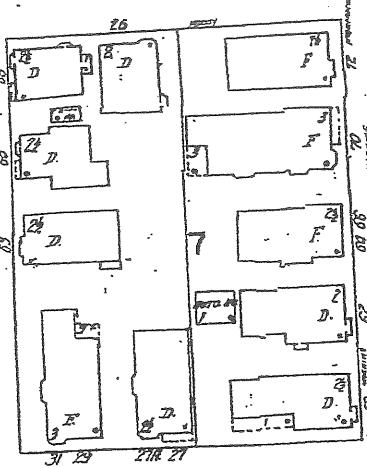
MORNING



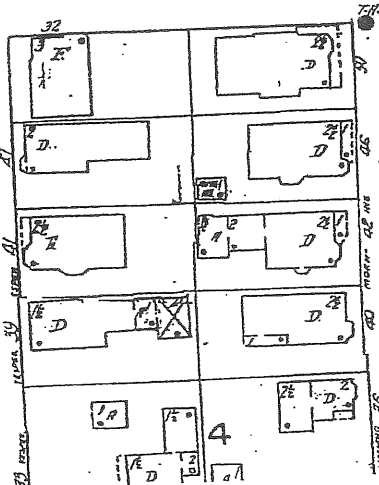
This is a closer view of 130 Eastern Promenade. The property is shown in green. (Source: 1909 Insurance Sanborn Map)

EASTERN

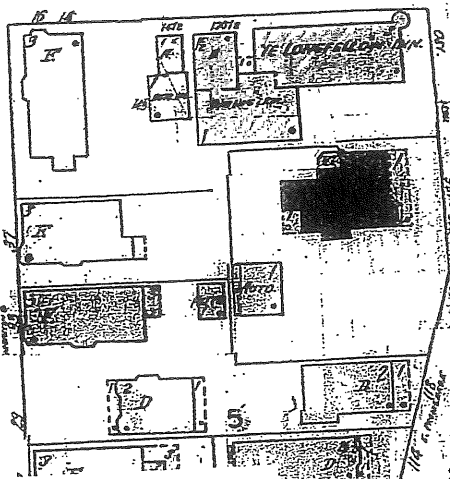
MOODY



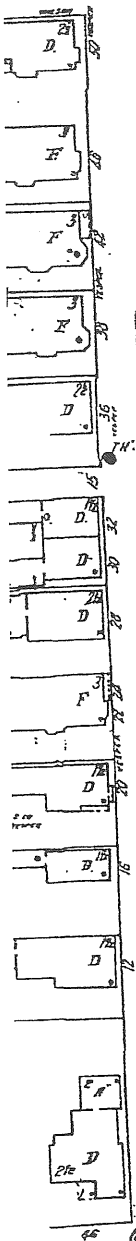
WILSON



MORNING



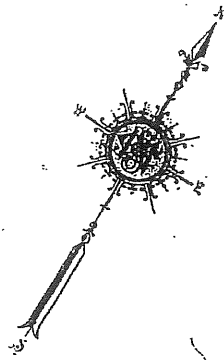
VESPER



PROMENADE

EASTERN

Sanborn Insurance
 Map of 1928.
 This map shows
 that 130 Eastern
 Promenade is an
 Inn. An enlarged
 picture can be
 found on the next
 page. The green
 area represents 130
 Eastern Prom.



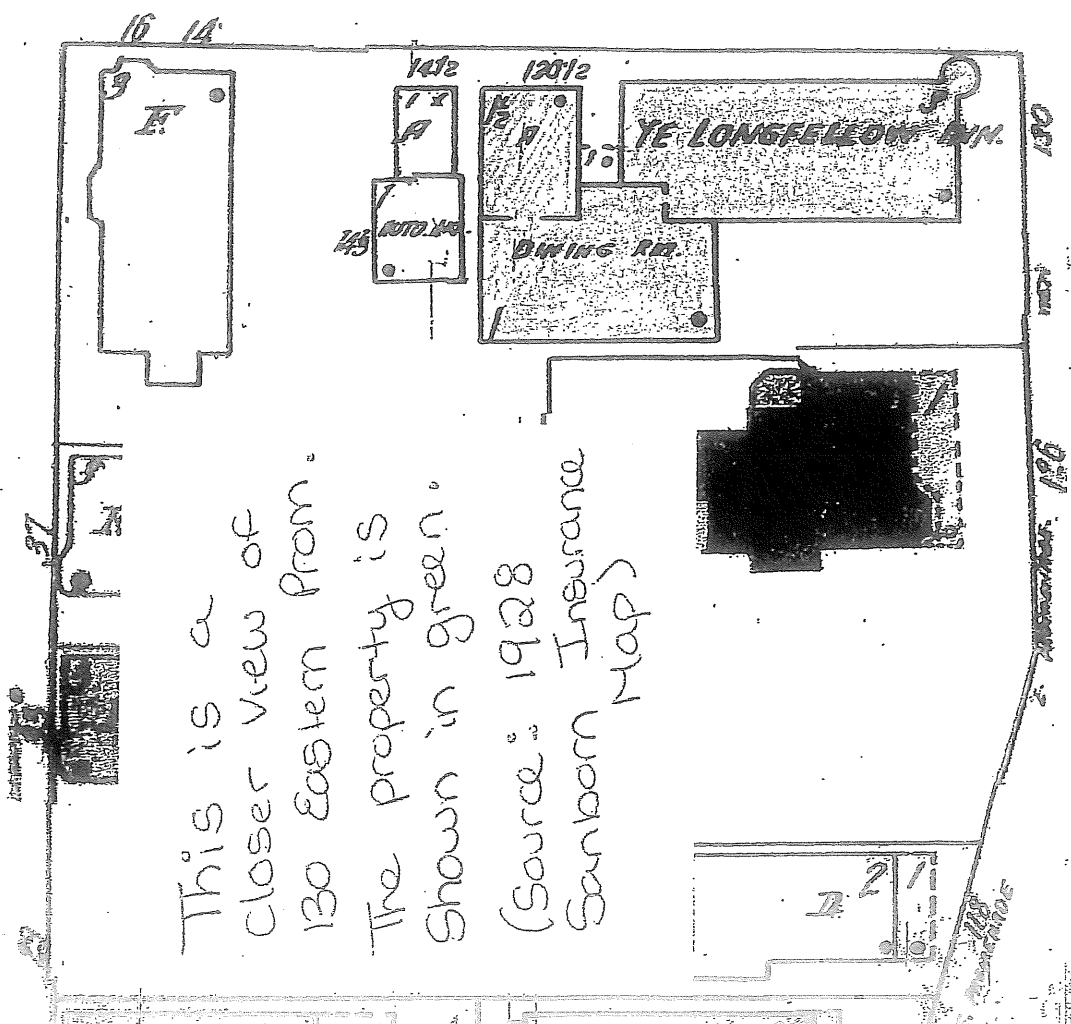
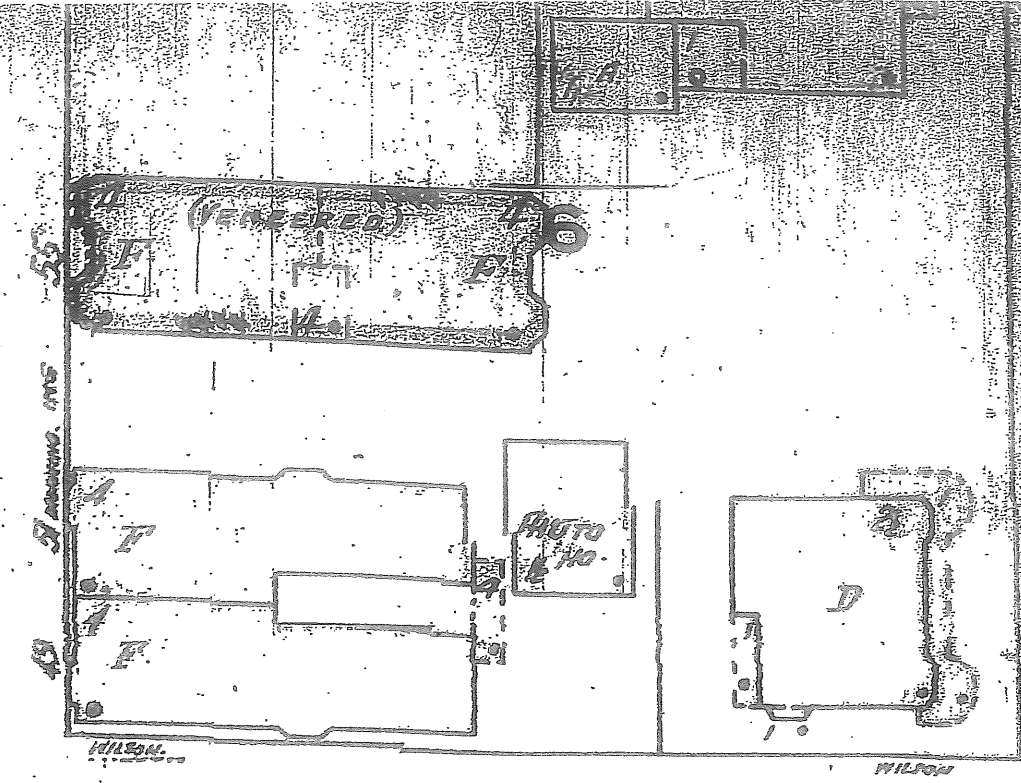
STERN

PROMENADE

C. H. PIRE

R.

MORNING



This is a
 closer view of
 130 Eastern Prom.
 The property is
 shown in green.
 (Source: 1928
 Sanborn Insurance
 Map)

		Preliminary Review	Final Review
Transportation	a. Impact on Surrounding Street Systems		
	b. Access and Circulation		
	c. Public Transit Access		
	d. Parking	New configuration. Backing to Wilson Street? Substitute bituminous curb	
	e. Transportation Demand Management (TDM)		
Environmental Quality	a. Preservation of Significant Natural Features		
	b. Landscaping and Landscape Preservation	Remove trees on S property line (only 1/unit req.) Replace E Prom Norway maple w/ Armstrong maple? Preserve other esplanade tree? - to this show? Changes to landscape plan - go buffering around trash enclosure - <i>atkins</i>	
	c. Water Quality, Storm Water Management and Erosion Control	Change in location of rain garden	
Public Infrastructure and Community Safety	a. Consistency with Master Plans		
	b. Public Safety and Fire Prevention		
	c. Availability and Adequate Capacity of Public Utilities	Overhead electric? Originally underground Change in retaining wall configuration	
Site Design	a. Massing, Ventilation and Wind Impact		
	b. Shadows		
	c. Snow and Ice Loading		
	d. View Corridors		
	e. Historic Resources		
	f. Exterior Lighting	• NEED HP REVIEW?	
	g. Noise and Vibration	• Details on condenser unit? Where?	
	h. Signage and Wayfinding		
	i. Zoning Related Design Standards		

ADDRESS 2011 Conditions

- Maintenance agreement for rain gardens – provided maintenance & inspection plan
- Address David Senuus comments -
- Eliminate parking space near trash enclosure – did not - reconfigured
- Screen condensing units and rooftop mechanical – moved to carport
- Coordinate work in ROW with DPS – add a note?
- PWD capacity letter

- Set property corner pins
- Sheets stamped and signed by engineer

HVAC REVIEW

where?
put in to BP?
Does to high/low?

2010 – subdivision and site plan review

11 unit apt. building w/ 2 car garage (3 story building w/ 1-story addition) to 7 unit apt. building w/ 7 car parking lot (demo ex. 1-story addition & add 3-story addition)

Housing replacement applied b/c demolishing units

Reducing number of units, so not required to increase off-street parking spaces. 7 provided, 2 compact

Repair Wilson Street sidewalk (existing concrete) – portions > 10 ft required brick

45 arborvitae, preserve cedar and elms

Conditions

- Enclose all sides of trash bins
- Show autumn blaze maple on E. Prom
- Contribution to tree fund

2011 – Level II

11 unit apt. building to 3 unit condo (inc. demo of 1-story addition and construction of new addition) w/ attached carport for 3 compact cars

Waivers – Flooding standard, 2 parallel parking spaces 8'x20', 2 compact spaces under canopy, reduced aisle widths of 12' and 23'

Conditions

- Maintenance agreement for rain gardens
- Address David Sensus comments
- Eliminate parking space near trash enclosure
- Screen condensing units and rooftop mechanical
- Coordinate work in ROW with DPS
- PWD capacity letter
- Set property corner pins
- Sheets stamped and signed by engineer

2013 Amendment

- Leave overhead power to Wilson Street side?
- Leave stone wall and stairs providing access to E Prom sidewalk
- Reconfigure & relocate rain garden
- Remove terrace
- Extend retaining wall down east property line
- Remove trees along south property line
- Relocate roof-mounted condenser units into carport
- Reconfigure parking
- Substitute bituminous curb in parking area, concrete curb and sidewalk, precast concrete block wall on eastern property line
- Leave three balconies facing promenade, but remove columns and roof overhang
- Add pitched roof to carport

Additional Submittals Required:

CHECK ON HOUSING REPLACEMENT (14-483) Does not apply to "(d) Consolidation, elimination or reconfiguration of one (1) or more dwelling units within an existing structure, as long as all the resulting units remain as dwelling units after such consolidation, elimination or reconfiguration..."

WAS HP INVOLVED IN 2011??

PROJECT DATA

The following information is required where applicable, in order complete the application

Total Site Area	7,906	sq. ft.
Proposed Total Disturbed Area of the Site	7,906	sq. ft.
(if the proposed disturbance is greater than one acre, then the applicant shall apply for a Maine Construction General Permit (MCGP) with DEP and a Stormwater Management Permit, Chapter 500, with the City of Portland)		
<u>IMPERVIOUS SURFACE AREA</u>		
• Proposed Total Paved Area	2,735	sq. ft.
• Existing Total Impervious Area	5,112	sq. ft.
• Proposed Total Impervious Area	6,320	sq. ft.
• Proposed Total Impervious Area	6,320	sq. ft.
• Proposed Impervious Net Change	1,208	sq. ft.
<u>BUILDING AREA</u>		
• Proposed Building Footprint (inc carport)	3,035	sq. ft.
• Proposed Building Footprint Net change	(- 1,114)	sq. ft.
• Existing Total Building Floor Area	8,349	sq. ft.
• Proposed Total Building Floor Area	5,672	sq. ft.
• Proposed Building Floor Area Net Change	(-2,677)	sq. ft.
• New Building		(yes or no)
<u>ZONING</u>		
• Existing	R-6	
• Proposed, if applicable		
<u>LAND USE</u>		
• Existing	Residential Apartments	
• Proposed	Residential Condominiums	
<u>RESIDENTIAL, IF APPLICABLE</u>		
• Proposed Number of Affordable Housing Units	0	
• Proposed Number of Residential Units to be Demolished	0	
• Existing Number of Residential Units	3	
• Proposed Number of Residential Units	3	
• Subdivision, Proposed Number of Lots	NA	
<u>PARKING SPACES</u>		
• Existing Number of Parking Spaces	2	
• Proposed Number of Parking Spaces	6	
• Number of Handicapped Parking Spaces	0	
• Proposed Total Parking Spaces	6 (inc 3 compact)	
<u>BICYCLE PARKING SPACES</u>		
• Existing Number of Bicycle Parking Spaces	0	
• Existing Number of Bicycle Parking Spaces	0	
• Proposed Number of Bicycle Parking Spaces	3	
• Total Bicycle Parking Spaces	3	
<u>ESTIMATED COST OF PROJECT</u>		
	\$ 1,000,000	

General Submittal Requirements – Preliminary Plan (Optional)

Level II Site Plan

Preliminary Plan Phase Check list (if elected by applicant)

Applicant Checklist	Planner Checklist	Number of Copies	Written Submittal Requirements
<input checked="" type="checkbox"/>	<input type="checkbox"/>	7 (1 paper copy as of Dec. 1)	Completed application form
<input checked="" type="checkbox"/>	<input type="checkbox"/>	1	Application fees
<input checked="" type="checkbox"/>	<input type="checkbox"/>	7 (1 paper copy as of Dec. 1)	Written description of project
<input checked="" type="checkbox"/>	<input type="checkbox"/>	7 (1 paper copy as of Dec. 1)	Evidence of right, title and interest.
<input type="checkbox"/> NA	<input type="checkbox"/>	7 (1 paper copy as of Dec. 1)	Copies of required State and/or Federal permits.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	7 ((1 paper copy as of Dec. 1)	Written assessment of zoning.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	7 (1 paper copy as of Dec. 1)	Written description of existing and proposed easements or other burdens.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	7 (1 paper copy as of Dec. 1)	Written requests for waivers from individual site plan and/or technical standards, where applicable.
<input type="checkbox"/> NA	<input type="checkbox"/>	7 (1 paper copy as of Dec. 1)	Traffic analysis (may be preliminary, in nature, during the preliminary plan phase).
<input type="checkbox"/> NA	<input type="checkbox"/>	7 (1 paper copy as of Dec. 1)	Written summary of significant natural features located on the site.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	7 (1 paper copy as of Dec. 1)	Written summary of project's consistency with related city master plans.
Applicant Checklist	Planner Checklist	Number of Copies	Site Plan Submittal Requirements
<input checked="" type="checkbox"/>	<input type="checkbox"/>	7 (1 paper copy as of Dec. 1)	Boundary Survey meeting the requirements of Section 13 of the City of Portland Technical Manual.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	7 (1 paper copy as of Dec. 1)	Preliminary Site Plan Including the following: (*information provided may be preliminary in nature during preliminary plan phase):
<input checked="" type="checkbox"/>	<input type="checkbox"/>		▪ Existing and proposed structures with distance from property line (including location of proposed piers, docks or wharves if in Shoreland Zone).
<input checked="" type="checkbox"/>	<input type="checkbox"/>		▪ Location of adjacent streets and intersections and approximate location of structures on abutting properties.
<input checked="" type="checkbox"/>	<input type="checkbox"/>		▪ Proposed site access and circulation.
<input checked="" type="checkbox"/>	<input type="checkbox"/>		▪ Proposed grading and contours.
<input checked="" type="checkbox"/>	<input type="checkbox"/>		▪ Location and dimension of existing and proposed paved areas including all parking areas and vehicle, bicycle and pedestrian access ways.
<input checked="" type="checkbox"/>	<input type="checkbox"/>		▪ Preliminary landscape plan including existing vegetation to be preserved, proposed site landscaping and street trees.
<input checked="" type="checkbox"/>	<input type="checkbox"/>		▪ Existing and proposed utilities (preliminary layout).
<input checked="" type="checkbox"/>	<input type="checkbox"/>		▪ Preliminary infrastructure improvements (e.g. - curb and sidewalk improvements, roadway intersection modifications, utility connections, transit infrastructure, roadway improvements).
<input checked="" type="checkbox"/>	<input type="checkbox"/>		▪ Preliminary stormwater management and erosion control plan.
<input type="checkbox"/> NA	<input type="checkbox"/>		▪ Existing significant natural features located on the site (including wetlands, ponds, watercourses, floodplains, significant wildlife habitats and fisheries or other important natural features listed in Section 14-526 (b) 1. of the Land Use Code).

- NA
-

- Proposed alterations to and protection measures for significant natural features located on the site (including wetlands, ponds, watercourses, floodplains, significant wildlife habitats and fisheries or other important natural features listed in Section 14-526 (b)1. of the Land Use Code).*
- Existing and proposed easements or public or private rights of way.*

**General Submittal Requirements – Final Plan (Required)
Level II Site Plan**

Final Plan Phase Check list (including items listed above in General Requirements for Preliminary Plan, if applicant did not elect to submit for a preliminary plan review)

Applicant Checklist	Planner Checklist	Number of Copies	Written Submittal Requirement
<input checked="" type="checkbox"/>	<input type="checkbox"/>	1	Evidence of financial and technical capacity.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	1	Evidence of utilities' capacity to serve the development.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	1	Written summary of fire safety (referencing NFPA fire code and Section 3 of the City of Portland Technical Manual).
<input checked="" type="checkbox"/>	<input type="checkbox"/>	1	Construction management plan.
<input type="checkbox"/> NA	<input type="checkbox"/>	1	Traffic Plan (if development will (1) generate 100 or more PCE or (2) generate 25 or more PCE and is located on an arterial, within 1/2 mile of a high crash location, and/or within 1/4 mile of an intersection identified in a previous traffic study as a failing intersection).
<input checked="" type="checkbox"/>	<input type="checkbox"/>	1	Stormwater management plan.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	1	Written summary of solid waste generation and proposed management of solid waste.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	1	Written assessment of conformity with applicable design standards.
<input type="checkbox"/> NA	<input type="checkbox"/>	1	Manufacturer's verification that HVAC and manufacturing equipment meets applicable state and federal emissions requirements.

Final Plan Phase			
<input checked="" type="checkbox"/>	<input type="checkbox"/>	7 (1 paper copy as of Dec. 1)	Final Site Plan Including the following
<input checked="" type="checkbox"/>	<input type="checkbox"/>		<i>Existing and proposed structures on the site with distance from property line (including location of proposed piers, docks or wharves if in Shoreland Zone).</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>		<i>Location of adjacent streets and intersections and approximate location of structures on abutting properties.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>		<i>Proposed site access and circulation.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>		<i>Proposed grading and contours.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>		<i>Location and dimension of existing and proposed paved areas including all parking areas and vehicle, bicycle and pedestrian access ways. Proposed curb lines must be shown.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>		<i>Proposed loading and servicing areas, including applicable turning templates for delivery vehicles</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>		<i>Proposed snow storage areas or snow removal plan.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>		<i>Proposed trash and recycling facilities.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>		<i>Landscape plan including existing vegetation to be preserved, proposed site landscaping and street trees.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>		<i>Existing and proposed utilities.</i>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<ul style="list-style-type: none"> ▪ <i>Location and details of proposed infrastructure improvements (e.g. - curb and sidewalk improvements, roadway intersection modifications, utility connections, public transit infrastructure, roadway improvements).</i>
<input type="checkbox"/> NA	<input type="checkbox"/>	<ul style="list-style-type: none"> ▪ <i>Proposed septic system, if not connecting to municipal sewer. (Portland Waste Water Application included in this application)</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<ul style="list-style-type: none"> ▪ <i>Proposed finish floor elevation (FFE).</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<ul style="list-style-type: none"> ▪ <i>Exterior building elevation(s) (showing all 4 sides).</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<ul style="list-style-type: none"> ▪ <i>Proposed stormwater management and erosion controls.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<ul style="list-style-type: none"> ▪ <i>Exterior lighting plan, including street lighting improvements..</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<ul style="list-style-type: none"> ▪ <i>Proposed signage.</i>
<input type="checkbox"/> NA	<input type="checkbox"/>	<ul style="list-style-type: none"> ▪ <i>Identification of existing significant natural features located on the site (including wetlands, ponds, watercourses, floodplains, significant wildlife habitats and fisheries or other important natural features listed in Section 14-526 (b)1. of the Land Use Code). Wetlands must be delineated.</i>
<input type="checkbox"/> NA	<input type="checkbox"/>	<ul style="list-style-type: none"> ▪ <i>Proposed alterations to and protection measures for of existing significant natural features located on the site (including wetlands, ponds, watercourses, floodplains, significant wildlife habitats and fisheries or other important natural features listed in Section 14-526 (b)1. of the Land Use Code).</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<ul style="list-style-type: none"> ▪ <i>Total area and limits of proposed land disturbance.</i>
<input type="checkbox"/> NA	<input type="checkbox"/>	<ul style="list-style-type: none"> ▪ <i>Soil type and location of test pits and borings.</i>
<input type="checkbox"/> NA	<input type="checkbox"/>	<ul style="list-style-type: none"> ▪ <i>Details of proposed pier rehabilitation (Shoreland areas only).</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<ul style="list-style-type: none"> ▪ <i>Existing and proposed easements or public or private rights of way.</i>



PORTLAND FIRE DEPARTMENT
SITE REVIEW
FIRE DEPARTMENT CHECKLIST



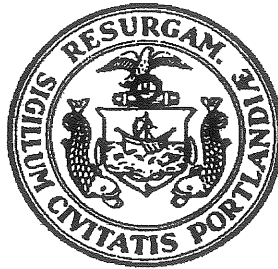
A separate drawing[s] shall be provided to the Portland Fire Department for all site plan reviews.

1. Name, address, telephone number of applicant.
2. Name address, telephone number of architect
3. Proposed uses of any structures [NFPA and IBC classification]
4. Square footage of all structures [total and per story]
5. Elevation of all structures
6. Proposed fire protection of all structures
 - **As of September 16, 2010 all new construction of one and two family homes are required to be sprinkled in compliance with NFPA 13D. This is required by City Code. (NFPA 101 2009 ed.)**
7. Hydrant locations
8. Water main[s] size and location
9. Access to all structures [min. 2 sides]
10. A code summary shall be included referencing NFPA 1 and all fire department. Technical standards.

Some structures may require Fire flows using annex H of NFPA 1

CITY OF PORTLAND WASTEWATER CAPACITY APPLICATION

Department of Public Services,
55 Portland Street,
Portland, Maine 04101-2991



Mr. Frank J. Brancely,
Senior Engineering Technician,
Phone #: (207) 874-8832,
Fax #: (207) 874-8852,
E-mail: fjb@portlandmaine.gov

Date: May 17, 2011

1. Please, Submit Utility, Site, and Locus Plans.

Site Address: 130 Eastern Promenade, Portland, ME 04101
(Regarding addressing, please contact Leslie Kaynor, either at 756-8346, or at LMK@portlandmaine.gov)

Proposed Use: Condominium Apartments

Previous Use: Rental Apartments

Existing Sanitary Flows: 574 GPD

Existing Process Flows: na GPD

Description and location of City sewer, at proposed building sewer lateral connection:
10" dia vitrified clay located in the Eastern Promenade.
Building currently ties into this line with a 6" pipe to be maintained.
Clearly, indicate the proposed connection, on the submitted plans.

Chart Block Lot Number: 003 C001001

Site Category	Commercial	_____
	Industrial <i>(complete part 4 below)</i>	_____
	Governmental	_____
	Residential	_____
	Other <i>(specify)</i>	_____

2. Please, Submit Domestic Wastewater Design Flow Calculations.

Estimated Domestic Wastewater Flow Generated: 810 GPD

Peaking Factor/ Peak Times: _____

Specify the source of design guidelines: *(i.e. x "Handbook of Subsurface Wastewater Disposal in Maine," "Plumbers and Pipe Fitters Calculation Manual,"* Portland Water District Records, Other (specify)

Note: Please submit calculations showing the derivation of your design flows, either on the following page, in the space provided, or attached, as a separate sheet.

3. Please, Submit Contact Information.

Owner/Developer Name: Fish House Realty

Owner/Developer Address: PO Box 15400, Portland, ME 04112

Phone: 207-879-5422 Fax: _____ E-mail: wellinp@mac.com

Engineering Consultant Name: Blais Civil Engineers

Engineering Consultant Address: 780 Broadway, South Portland, ME 04106

Phone: 207-767-7300 Fax: _____ E-mail: sblais@blaisce.com

City Planner's Name: Shukria Wair Phone: 207-874-8699

Note: Consultants and Developers should allow +/- 15 days, for capacity status, prior to Planning Board Review.

4. Please, Submit Industrial Process Wastewater Flow Calculations

Estimated Industrial Process Wastewater Flows Generated: _____ NA _____ GPD

Do you currently hold Federal or State discharge permits? Yes _____ No _____

Is the process wastewater termed categorical under CFR 40? Yes _____ No _____

OSHA Standard Industrial Code (SIC): _____

Peaking Factor/Peak Process Times: _____

(<http://www.osha.gov/oshstats/sicser.html>)

Note: On the submitted plans, please show the locations, where the building's sanitary, and process water sewer laterals, exit the facility, where they enter the city's sewer, the location of any control manholes, wet wells, or other access points, and the locations of any filters, strainers, or grease traps.

Notes, Comments, or Calculations:

Design Flow Calculations based on Maine Subsurface Wastewater Disposal Rules, 10-144 CMR 241,
rev Aug 1, 2009 (MSWDR)
Table 501.1 Design Flows,
Dwelling, 3 BR =270 GPD
 $Q_{peak} = 3 \text{ DU} \times 270 \text{ GPD} = 810 \text{ GPD}$
 $Q_{avg} = Q_{peak} / 1.8 = 450 \text{ GPD}$

STATUTORY WARRANTY DEED

CASCO BAY VENTURES, a Maine Corporation with a principal place of business in Falmouth, in the County of Cumberland and State of Maine,

For Consideration Paid, GRANT with WARRANTY COVENANTS TO:

FISH HOUSE REALTY, LLC, a Maine Limited Liability Company with a mailing address of P.O. Box 15400, Portland, Maine 04112

A certain lot or parcel of land with the buildings thereon, situated on the Westerly side of the Eastern Promenade in the City of Portland, County of Cumberland and State of Maine, being bounded and described as follows:

BEGINNING at the corner formed by the intersection of the Westerly sideline of said Eastern Promenade and the Southerly sideline of Wilson Street; thence Westerly by said Wilson Street 114.70 feet to a point distance 80 feet Easterly from Morning Street; thence Southerly on a line parallel with said Morning Street 40 feet to a point; thence Easterly on a line parallel with said Wilson Street 115.71 feet to said Eastern Promenade; thence Northerly by said Eastern Promenade 40 feet to the point begun at. Being a part of Block I on a plan recorded in Cumberland County Registry of Deeds, in Plan Book 4, Page 18.

Also another certain lot or parcel of land, with any buildings thereon, situated in said City of Portland, being bounded and described as follows:

BEGINNING at a point on the Westerly side of Eastern Promenade distant 40 feet southerly from the corner formed by the intersection of the Westerly sideline of said Promenade and the Southerly sideline of Wilson Street, which point is in the Southeasterly corner of a lot of land sold to Emma A. Calhoun, January 25, 1899, by George B. Uphorn; thence Southerly by the said Promenade 45.23 feet to the strip of land sold to S.P. Beckett by the Deering Heirs in 1874, by deed recorded in said Registry, Book 410, Page 557; thence Westerly by said land sold to said Beckett 116.65 feet to a point distant 80 feet Easterly from Morning Street; thence Northerly on a line parallel with said Morning Street 45.46

MAINE REAL ESTATE TAX PAID

feet to said lot sold to Emma A. Calhoun; thence Easterly on a line parallel with said Wilson Street and by said lot sold to Emma A. Calhoun 115.07 feet to that begun at. Being a part of Block of land marked I in plan recorded in said Registry, Plan Book 4, Page 18.

Excepting and reserving from the above-described premises so much thereof as was conveyed by Harry H. Pease to George T. Dealy by deed recorded in said Registry, Book 845, Page 70, and not reconveyed by said Dealy to said Pease by deed recorded in said Registry in Book 855, Page 476, being a lot 20 feet in width and 97.1 feet in depth.

Being the same premises conveyed to Grantor herein by deed of 130 Eastern Prom, LLC dated May 2007 and recorded at the Cumberland County Registry of Deeds in Book 25091, Page 130.

IN WITNESS WHEREOF, the said CASCO BAY VENTURES has caused this instrument to be signed in its corporate name and sealed with its corporate seal by Waldon Geyer, its V.P. thereunto duly authorized this 10 day of Nov., 2009.

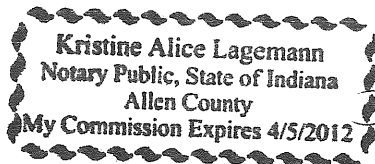
CASCO BAY VENTURES

By: Waldon Geyer
Its V.P. Waldon Geyer
Vice President

STATE OF INDIANA
COUNTY OF ALLEN

NOV 10, 2009

Then personally appeared the above-named Waldon Geyer, Vice President of CASCO BAY VENTURES as aforesaid and acknowledged the foregoing instrument to be his free act and deed in his said capacity and the free act and deed of said corporation.



Before me,

Kristine Alice Lagemann
~~Attorney at Law~~/Notary Public

Print Name: _____
My Commission Expires: _____

Received
Recorded Register of Deeds
Nov 13, 2009 03:26:35P
Cumberland County
Pamela E. Lovley

Exhibit A

A certain lot or parcel of land, with the buildings thereon, situated on the Westerly side of the Eastern Promenade in the City of Portland, County of Cumberland and State of Maine, being bound and described as follows:

Beginning at the corner formed by the intersection of the Westerly sideline of said Eastern Promenade and the Southerly sideline of Wilson Street; thence Westerly by said Wilson Street 114.70 feet to a point distant 80 feet Easterly from Morning Street; thence Southerly on a line parallel with said Morning Street 40 feet to a point; thence Easterly on a line parallel with said Wilson Street 115.71 feet to said Eastern Promenade; thence Northerly by said Eastern Promenade 40 feet to the point begun at. Being a part of Block I on a plan recorded in the Cumberland County Registry of Deeds, in Plan Book 4, Page 18.

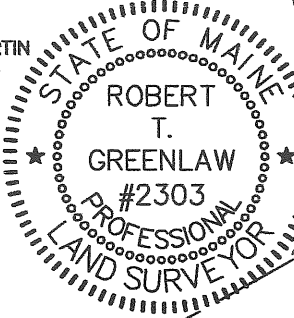
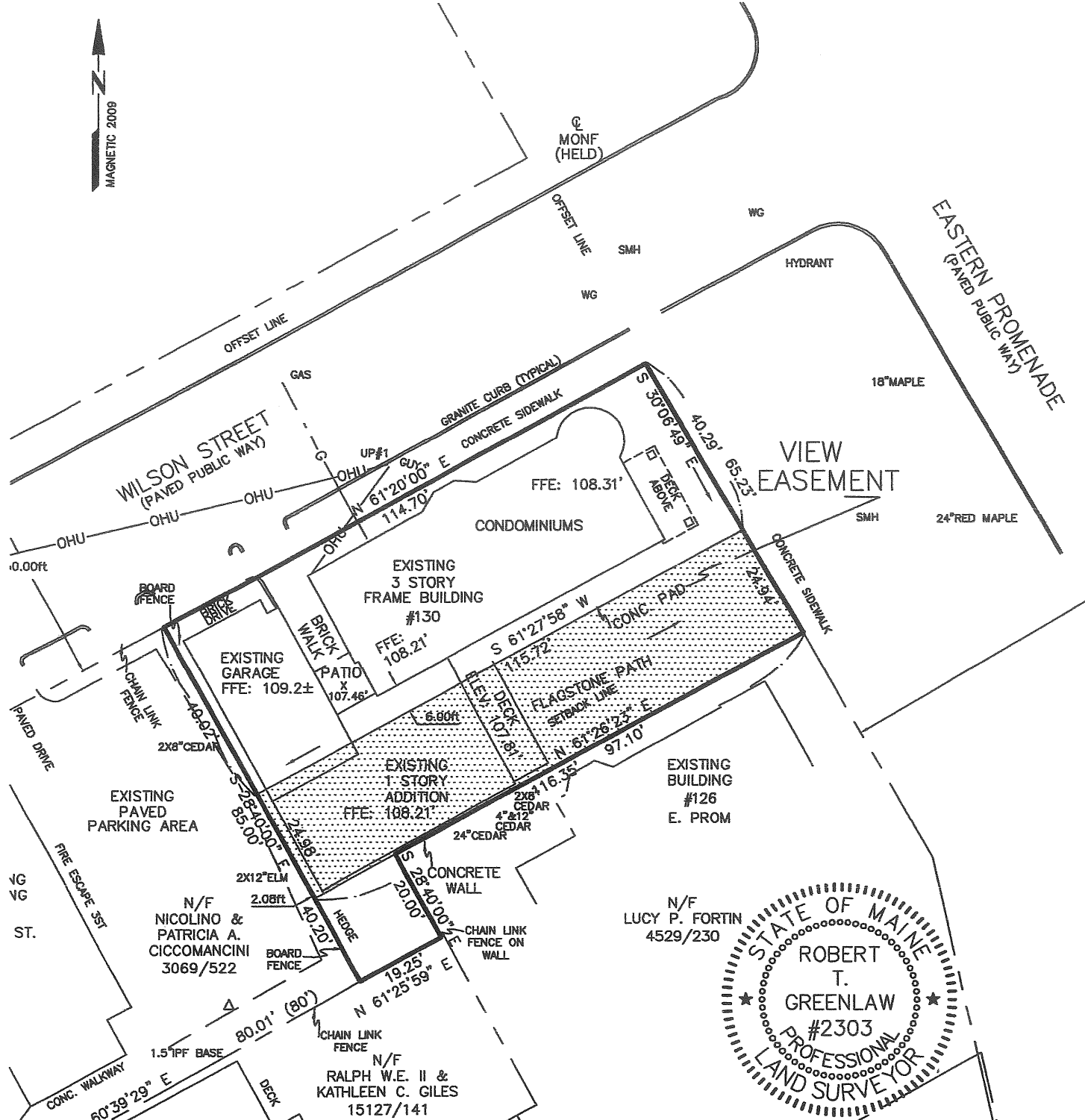
Also another certain lot or parcel of land, with any buildings thereon, situated in said City of Portland, being bounded and described as follows:

Beginning at a point on the Westerly side of Eastern Promenade distant 40 feet Southerly from the corner formed by the intersection of the Westerly sideline of said Promenade and the Southerly sideline of Wilson Street, which point is in the Southeasterly corner of a lot of land sold to Emma Calhoun, January 25, 1899, by George B. Uphorn; thence Southerly by the said Promenade 45.23 feet to the strip of land sold to S. P. Beckett by the Deering Heirs in 1874, by deed recorded in said Registry, Book 410, Page 557; thence Westerly by said land sold to said Beckett 116.65 feet to a point distant 80 feet Easterly from Morning Street; thence Northerly on a line parallel with said Morning Street 45.46 feet to said lot sold to Emma A. Calhoun; thence Easterly on a line parallel with said Wilson Street and by said lot sold to Emma A. Calhoun 115.07 feet to that begun at. Being part of Block of land marked I in plan recorded in said Registry, Plan Book 4, Page 18.

Excepting and reserving from the above described premises so much thereof as was conveyed by Harry H. Pease to George T. Dealy by deed recorded in said Registry, Book 845, Page 70, and not reconveyed by said Dealy to said Pease by deed recorded in said Registry in Book 855, Page 476, being a lot 30 feet in width and 97.1 feet in depth.

Meaning and intending to convey the same premises described above in deed to Casco Bay Ventures from 130 Eastern Prom, dated May 9, 2007 and recorded in the Cumberland County Registry of Deeds in Book 25091, Page 130.

PLAN SHOWING PROPOSED VIEW EASEMENT OVER A PORTION OF 130 EASTERN PROMENADE PORTLAND, MAINE. PLAN BASED UPON A PLAN TITLED EXISTING CONDITIONS PLAN OF THE ESTATE OF LONGFELLOW INN. DATED NOVEMBER 15, 2006 PREPARED BY BACK BAY BOUNDARY INC. FORMERLY OF 643 FOREST AVE. PORTLAND MAINE. SAID 130 EASTERN PROMENADE NOW OR FORMERLY OWNED BY CASCO BAY VENTURES AS DESCRIBED IN A DEED RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN DEED BOOK 25091, PAGE 130.



SURVEYORS STATEMENT:

I HEREBY CERTIFY THAT THIS SURVEY CONFORMS TO THE MAINE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS' STANDARDS OF PRACTICE AS ADOPTED APRIL 01, 2001 WITH THE FOLLOWING EXCEPTIONS:

- a) NO WRITTEN REPORT
- b) NO NEW DESCRIPTION
- c) NO CORNERS SET

Handwritten signature of Robert T. Greenlaw

OCEAN PARK LAND SURVEYING LLC
P.O. BOX 7265 OCEAN PARK, ME 04063
207-749-9471 OCEANPARKLLC@GWLNET





April 21, 2011

Fish House Realty
Shannon Richards
97 Exchange Street
Portland, ME 04101

Re: 130 Eastern Promenade, Portland Maine

Thank you for your interest in using natural gas for the above referenced project.

Unitil does have natural gas in the vicinity of this project. The design, costs and determining if there will be any customer contribution will need to be completed at a later date. Unitil welcomes the opportunity for further discussions regarding this project.

If you have any further questions or require additional information, please contact me directly at (207) 541-2536 or at mathers@unitil.com

Sincerely,

Bridget L. Mathers
Business Development Representative



Portland Water District

FROM SEBAGO LAKE TO CASCO BAY

April 26, 2011

Mark Mueller Architects
100 Commercial St, Ste 205
Portland, ME 04101

Attn: Matthew Provencal
Re: 130 Eastern Promenade, Portland
Ability to Serve with PWD Water

Dear Mr. Provencal:

The Portland Water District has received your request for an Ability to Serve determination for the noted site submitted on March 24, 2011. Based on the information provided, we can confirm that the District will be able to serve the proposed project as further described in this letter.

Please note that this letter does not constitute approval of this project from the District. Please review this letter for any special conditions specified by the District and to determine the appropriate next steps to take to move your project through the submittal and approval process.

Existing Site Service

According to District records, the project site does currently have existing water service. A 2-inch diameter copper water service line, located as shown on the attached water service card, provides water service to this site. Please refer to the "Conditions of Service" section of this letter for requirements related to the use of this service.

Water System Characteristics

According to District records, there is a 6-inch diameter cast iron water main on the south side of Wilson Street and a public fire hydrant located 40 ft from the site.

The current data from the nearest hydrant with flow test information is as follows:

Hydrant Location: Wilson Street at Eastern Promenade
Hydrant Number: POD-HYD00328
Last Tested: 06/24/1991
Static Pressure: 56 PSI
Residual Pressure: Not Measured PSI
Flow: 919 GPM



Public Fire Protection

You have indicated that this project will not include the installation of new public hydrants to be accepted into the District water system. The decision to require new hydrants and to determine their locations is solely that of the local fire department. It is your responsibility to contact the Portland Fire department to ensure that this project is adequately served by existing and/or proposed hydrants.

Private Fire Protection Water Needs

You have indicated that this project will require a 4-inch water service to provide private fire protection to the site. Your ability to serve request noted that the peak flow is estimated to be 150 GPM at 30 psi. Please note that the District does not guarantee any quantity of water or pressure through a fire protection service. Please share these results with your sprinkler system designer so that they can design the fire protection system to best fit the noted conditions. If the data is out of date or insufficient for their needs, please contact us to request a hydrant flow test and we will work with you to get more complete data.

Conditions of Service

If the domestic needs of the building have changed please let us know if the existing 2-inch domestic service line will not be adequate.

If the District can be of further assistance in this matter, please let us know.

Sincerely,
Portland Water District



Rico Spugnardi, P.E.
Business Development Engineer

Project Narratives

Financial Capacity:

Fish House realty, LLC is proposing to complete this project utilizing private funds and is not seeking lending from Bank or other Financial Institution. The Applicant has the funds available to complete this project.

Zoning:

The project lies within the R-6 Zone District. The existing property is non-conforming with respect to setbacks, however its non-conformance will be improved by the removal of the existing one-story structures on the property. New structures proposed fall either within the footprint of the existing structures or within the standard setback requirements for the property.

Previous documentation by the prior Owner and City Zoning Administrator and Planning Board in 2007 confirms that the existing property that the existing building, built in 1903, contained three (3) dwelling units.

All zoning requirements established in the R-6 Zone District are met by this project. A breakdown of Zone requirements and standards is indicated on the Site Plan.

Easements:

A View Easement was attached to the property benefiting the abutting neighbor to the south in 2009 that restricts construction within the eastern portion of the site. A copy of this easement is attached to the Application.

Construction Management Plan:

The proposed schedule for construction of the project is to begin removal of the one-story structures shortly after approval, followed by renovation of the existing building. It is anticipated that all construction staging, material storage, and activity will occur on-site. Temporary construction fencing will be placed around the perimeter of the property for security and to insure that no encroachment occurs on neighboring properties. Any work within the public Right-of-Way will require coordination with the City Public Services, and it is anticipated that a street opening permit will be required for the reconfigured driveway and waterline installation in Wilson Street.

Snow Storage:

It is recognized by the Applicant that the property is incredibly tight, and little room exists for on-site storage of snow. The Applicant is committed to snow blowing the property as needed and removal of excess snow by private contractor when necessary.

Site Plan Review- Sec.14-526. Site Plan Standards.

The following Site Plan Standards are addressed:

(a) *Transportation Standards*

1. **Impact on Surrounding Street Systems:** The project has been designed to blend into the existing neighborhood street system. The existing curb cut along Wilson Street is slightly reconfigured to narrow the driveway to 12 feet in width in character with the neighborhood.

2. **Access and Circulation:**

a. **Site Access and Circulation.** The project has been designed to meet the standards set forth in Section 1 of the Technical Manual. As mentioned above, access to the project will be via the existing driveway access on Wilson Street. No new curb cuts are proposed.

b. **Loading and Servicing.** No loading facilities are proposed for this project. A fenced area for storing household trash is located at the rear of the driveway. Hauling will be by private hauler.

c. **Sidewalks.** New concrete sidewalks are proposed along a 60 foot length of Wilson Street where the driveway is reconfigured and underground power will service the building. All work within the Right-of-Way will be in accordance with City standards.

3. **Public Transit Access:** This project is close to public transit.

4. **Parking:**

a. **Location and Required Number of Vehicle Parking Spaces:** Proposed off-street parking for the project includes 6 spaces, three standard spaces along the property line and 3 compact spaces located under the new carport.

b. **Location and Required Number of Bicycle Parking Spaces:** Bicycle parking is proposed in a covered extension of the carport area in front of the compact spaces. 3 wall hung bike racks are proposed in the plan.

c. **Motorcycle and scooter parking:** Any motorcycle or scooter parking would be permitted similar to automobiles and accommodated on-site.

d. **Snow Storage.** The project is extremely tight and the applicant recognizes that snow storage areas are limited. Snow is expected to be removed by a private hauler when extreme snow conditions warrant.

5. **Transportation Demand Management (TDM):** A Transportation Demand Management Plan is not required for this project.

(b) *Environmental Quality Standards*

1. **Preservation of Significant Natural Features:** No significant natural features currently exist on this site.

2. **Landscaping and Landscape Preservation:**

a. **Landscaping Preservation.** Two existing trees are present on this parcel and are proposed to be preserved.

b. Site Landscaping. Extensive landscaping for the project is proposed. Two street trees in sidewalk cutouts are proposed along Wilson Street. One additional Crabapple is located just inside the property line adjacent to the driveway. The applicant believes these three trees meet the Technical Standards of one tree per Dwelling Unit.

3. Water Quality, Stormwater Management and Erosion Control: A Stormwater Management Plan for the project has been developed and is attached to this application. Runoff from the site is by sheet flow throughout the site- no underground piping to discharge into a combined sewer system. No flooding or ponding of stormwater is anticipated as a result of this project.

(c) Public Infrastructure and Community Safety Standards.

1. Consistency with City Master Plans: The project is consistent with the Eastern Promenade Master Plan, adopted November 2003, and Housing: Sustaining Portland's Future, adopted Nov 2002. Both are components of Portland's Comprehensive Plan encouraging housing to be created near neighborhood assets and to develop in a way that supports goals related to landscape character and public infrastructure along the Eastern Promenade.

2. Public Safety and Fire Prevention: The project has been reviewed by the Portland Fire Department and meets all Code and Fire Department requirements. A complete Code analysis is included in this application.

3. Availability and Adequate Capacity of Public Utilities: Public water, sewer, power, and natural gas currently exist in the streets immediately adjacent to the site and there is adequate capacity to serve this project. Letters of available capacity have been requested and responses are included in this application. Solid waste, including recyclables, is to be stored inside a secured area in the rear of the property, will be collected by a private hauler on a regular basis.

(d) Site Design Standards

1. Massing, Ventilation and Wind Impact: The massing of the buildings has been carefully designed to complement the existing neighborhood.

2. Historic Resources: The project is not in an historical district, although it does abut the Eastern Promenade.

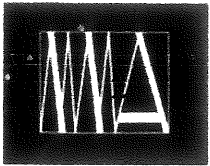
6. Exterior Lighting:

a. Site Lighting. A site lighting plan has been included with this application that respects the residential neighborhood. We are proposing to provide bollard lights along the parking area, building mounted lights at the entrance and outdoor deck areas, and minimal landscape lighting in the garden to illuminate steps and pathways only.

7. Noise and Vibration: The building mechanical equipment will be located on the roofs of the buildings and be screened from view. Noise levels will meet applicable R-6 noise standards. Equipment specifications describing design noise levels will be submitted to the City once that equipment has been determined.

8. Signage and Way finding: The project signage is proposed to be building mounted and will meet the conditions of Division 22 of the City Code.

9. Zoning Related Design Standards: The project is subject to the R-6 Design Standards and the Applicant's response to those standards is included in this application.



M A R K
M U E L L E R
A R C H I T E C T S

May 18, 2011

City of Portland
Department of Planning
& Urban Development
Portland City Hall
389 Congress Street
Portland, Maine 04101

Re: 130 Eastern Promenade – Proposed renovations & addition
Fire Safety Summary

Members of the Planning & Urban Development Department,

The above referenced project has been reviewed and made compliant in regards to the applicable NFPA and City of Portland fire safety requirements. They include but are not limited to all current editions of NFPA 101, NFPA 13, NFPA 1, City of Portland Fire Department Technical Standards & City of Portland Technical Manual. Initial project meetings with Jeanie Bourke (Codes Enforcement) and Keith Gautreau (Fire Department) have been held to ensure the proper direction and relevant codes to be applied to this project.

Our client; (Fish House Realty, PO Box 15400, Portland, Maine 04112) has authorized our office to partially submit on their behalf, the related architectural aspects of their project at 130 Eastern Promenade. Carroll Associates Landscape Architects will be submitting material in tandem with our offices material.

The existing structure was a rental apartment building with three permitted units which has been vacant the past two years. Our proposal will convert those three apartment rental units into three condominiums. Per the 2009 edition of the IBC our proposed use group would be Residential (R-2) while per the 2009 NFPA 101 would fall under New Apartment Buildings. Each floor of our proposed building is +/- 2,250 SF for each of the 3 floors, totaling 6,750 SF. The basement level is separated from the first floor unit by a fire rating of 1 hour and accessible by a separate stair having a fire rating of 1 hour. Each floor would be separated from one another by a fire rating of 1 hour and will be protected throughout with a supervised automatic sprinkler system conforming to NFPA 13R. As outlined in the included letter from the Portland Water District a fire hydrant is located within 40' of the northern corner of the building and was last tested in June of 1991. In addition, PWD has indicated that a 6" cast iron water main is located on the south side of Wilson Street. Please refer to the included site plan by Carroll Associates in reference to street access to the building. There are two available access points to the building; one along Wilson Street and another along Eastern Promenade.

All of the proposed life safety and fire alarm systems shall be designed and installed per NFPA 72, by a separate permit and city approved contractor. Sprinkler system will be supervised by an off-site third party contractor certified by the City of Portland.

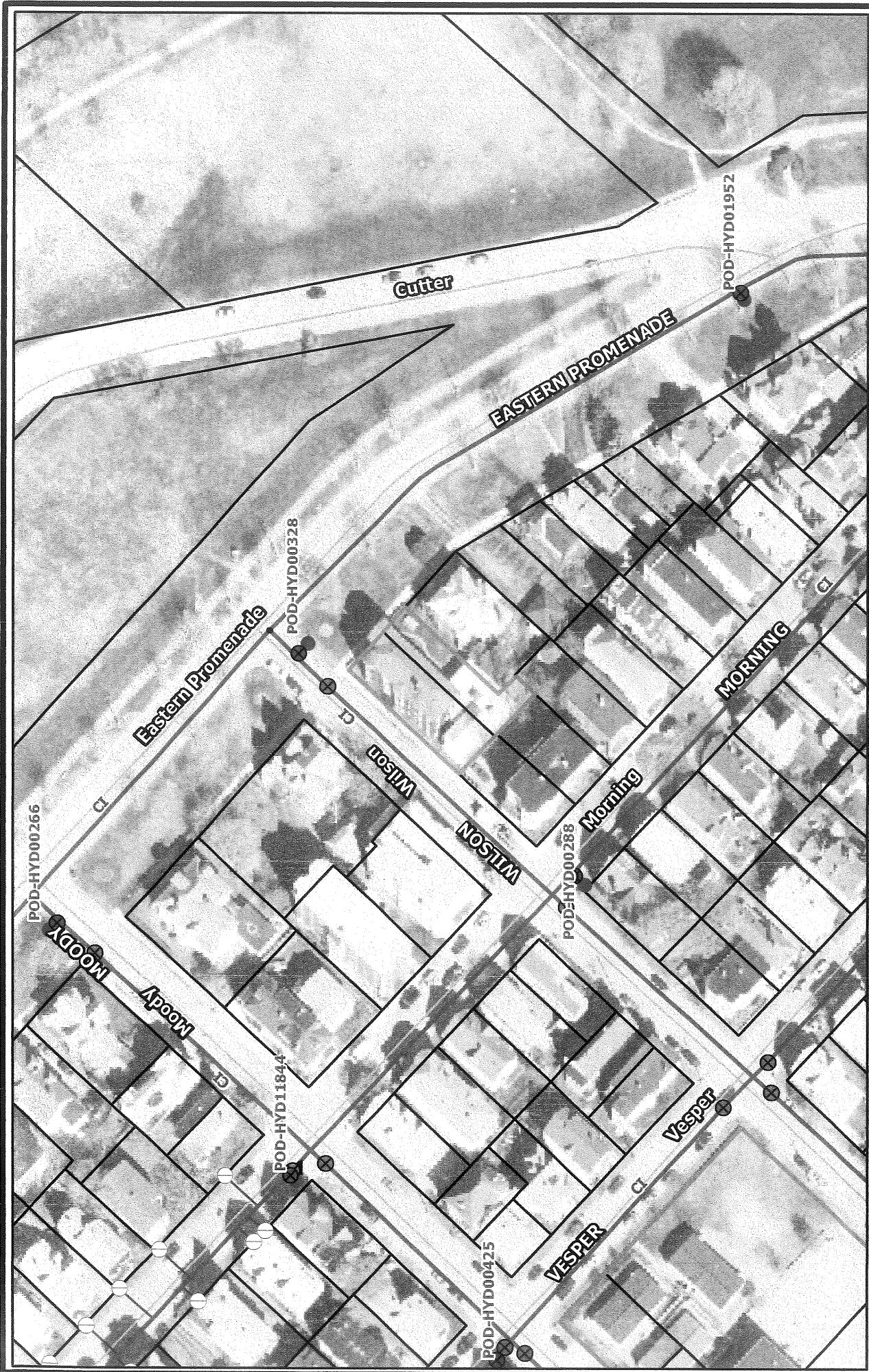
For any further questions or concerns please contact our office.

Sincerely,

A handwritten signature in black ink, appearing to read "Matthew Provencal". The signature is fluid and cursive, with the first name "Matthew" written in a larger, more prominent script than the last name "Provencal".

Matthew Provencal
Architectural Designer

Mark Mueller Architects
100 Commercial Street
Suite 205
Portland, Maine 04101



Disclaimer: This map is suitable for preliminary study and analysis and is based on PWD record information. PWD is not liable for any damages whatsoever resulting from inaccurate data or from errors made in the location and marking of its infrastructure.



Scale 0 25 50 100 150 200 Feet
1 inch = 100 feet

Legend

●	Blow Off	●	Fire Service	●	Air Valve	●	Sleeve
●	By Pass	●	Hydrant Control	●	Dale Change	●	Tee
●	Distribution	●	Service	●	Material Change	●	Hydrants
■	End of Main	●	Transmission	▲	Reducer		

130 Eastern Promenade
Portland
PORTLAND WATER DISTRICT
 225 Douglass Street
 Portland, ME 04104

Drawn By: GJH
 Scale: As Noted
 Prepared For: Mark Mueller Architects
 Date: April 27, 2011



**STORMWATER MANAGEMENT REPORT
130 EASTERN PROMENADE
PORTLAND, MAINE
May 17, 2011**

Introduction

130 Eastern Promenade is located on the southeast corner of the intersection of Eastern Promenade and Wilson Street in Portland, Maine overlooking the Eastern Promenade Park and Casco Bay. Existing Stormwater runoff from this project is surface flow and ultimately discharges to the curb and gutter systems of Wilson Street and the Eastern Promenade, which drain into the catch basin at the intersection of Eastern Promenade and Cutter Street.

The applicant plans to renovate the Building and Site, which includes complete renovation of the main 3-story structure and removal of the one-story additions along the side and rear of the building. Building additions include a small addition on the east side of the building and construction of an open carport area in the southeast corner of the structure. Site improvements include new driveway and off-street parking, sidewalks, and a small terrace/ garden along the east side of the property.

This report discusses the Site's hydrological conditions and quantifies the stormwater runoff generated in the existing and proposed conditions.

Data Collection and Assumptions

Site Data was gathered from field observations and AutoCAD files, drawings, and area takeoffs provided by Carroll Associates Landscape Architects. This data was used to create a HydroCAD stormwater model, which is based on the United States Department of Agriculture's (USDA) Technical Release 20 (TR-20) and Technical Release 55 (TR-55) hydraulic programs.

Curve numbers (CNS) assigned to differing land cover and soil types were taken from tables within the HydroCAD software, which are from the SCS TR-55 manual, revised 1986. 24-hour rainfall depths were taken from the City of Portland Ordinances. Time of concentrations were entered via direct entry and were assumed to be 5 minutes.

The limits of the property line were used as the existing and proposed watershed subcatchments. This area is shown on attached Drawing D1 entitled "Existing Conditions Drainage Map". Proposed conditions are shown on the Drawing L-3.0 entitled "Site Grading Plan, 130 Eastern Promenade, Portland Maine", dated May 16, 2011 by Carroll Associates. Modeling assumptions made for both conditions are summarized in the attached HydroCAD output.

Existing Site Conditions

The 0.18± acre Site currently hosts a multi-unit residential building and attached garage. Walkways and decks connect to these structures. The remainder of the property is mostly grassed. The Site currently has 5,112 square feet of impervious area, which includes roof, driveway, and walkways.

The Site generally slopes from east to west toward the Eastern Promenade. Slopes are generally mild. According to the United States Department of Agriculture and Soil Conservation Service Issued August 1974, on-Site soils include Hinckley Gravelly Sandy Loam, which have an "A" Hydrological Soil Grouping (HSG) classification.

Proposed Site Conditions

The renovations will include removing the existing one-story apartments and garage structure. The main structure will be renovated and slightly expanded to the southeast as shown on the plan. The building entrance is proposed to be relocated to the rear adjacent to the driveway and parking area.

Land cover changes are minimal. The bulk of the new pavement areas are located within the footprints of the existing buildings that are being removed. A landscaped garden area that includes a small paved terrace and walkway to the Eastern Promenade sidewalk is proposed along the east side of the building. The proposed Site will have 6,320 square feet of impervious area at completion, an increase of approximately 1,208 square feet over existing conditions.

Based on direction from the Assistant City Engineer, stormwater runoff from the Site has been designed to maintain surface flows across the Site and onto the Wilson Street and Eastern Promenade right-of-ways. The driveway, parking area, and gutter downspouts flow onto Wilson Street, and the eastern garden area flows onto the Eastern Promenade. No underground piping or discharge into the combined sewer system is proposed as part of this project.

Water Quantity

The table below compares peak flows leaving the Site for the 2, 10, and 25 year storm events.

**Table Comparing Peak Flows
130 Eastern Promenade – May 17, 2011**

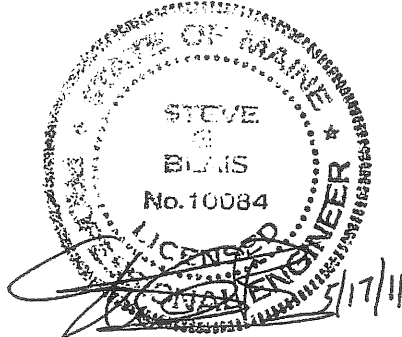
Storm Event	Existing Conditions Peak Flow (cfs)	Proposed Condition Peak Flow (cfs), Total
2-year	0.19	0.29
10-year	0.52	0.66
25-year	0.69	0.83

The proposed renovations to the Site will cause a slight increase in overall stormwater runoff. This increase is 0.24 cfs in the 25 year storm and is relatively insignificant and will not cause unreasonable negative impacts to downstream properties.

Conclusions

This project will not cause a significant increase in stormwater runoff as a result of the renovations described in this report and shown on the aforementioned Site Grading Plan. As requested by the Assistant City Engineer, all runoff from the Site will leave the property via surface flows. This project does not propose any direct stormwater connections to the City's combined sewer system.

BLAIS CIVIL ENGINEERS



Steve G. Blais, PE
Enclosures

07126-130 Eastern Promenade

Type III 24-hr 2-Yr Rainfall=2.60"

Prepared by BLAIS CIVIL ENGINEERS, PA

Printed 5/17/2011

HydroCAD® 8.50 s/n 003530 © 2007 HydroCAD Software Solutions LLC

Page 1

Summary for Subcatchment 1.1S: Proposed Conditions

Runoff = 0.29 cfs @ 12.08 hrs, Volume= 0.020 af, Depth= 1.33"

Runoff by SCS TR-20 method, UH=SCS, Time Span= 0.00-48.00 hrs, dt= 0.01 hrs
Type III 24-hr 2-Yr Rainfall=2.60"

Area (sf)	CN	Description
1,585	39	>75% Grass cover, Good, HSG A
6,320	98	Paved parking & roofs
7,905	86	Weighted Average
1,585		Pervious Area
6,320		Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0	32		0.11		Direct Entry,

Summary for Subcatchment 1S: Existing Conditions

Runoff = 0.19 cfs @ 12.08 hrs, Volume= 0.014 af, Depth= 0.91"

Runoff by SCS TR-20 method, UH=SCS, Time Span= 0.00-48.00 hrs, dt= 0.01 hrs
Type III 24-hr 2-Yr Rainfall=2.60"

Area (sf)	CN	Description
2,325	39	>75% Grass cover, Good, HSG A
5,112	98	Paved parking & roofs
* 468	77	Fallow, bare soil, HSG A - Ex. Deck
7,905	79	Weighted Average
2,793		Pervious Area
5,112		Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0	53		0.18		Direct Entry,

07126-130 Eastern Promenade

Prepared by BLAIS CIVIL ENGINEERS, PA

HydroCAD® 8.50 s/n 003530 © 2007 HydroCAD Software Solutions LLC

Type III 24-hr 10-Yr Rainfall=4.50"

Printed 5/17/2011

Page 2

Summary for Subcatchment 1.1S: Proposed Conditions

Runoff = 0.66 cfs @ 12.07 hrs, Volume= 0.045 af, Depth= 3.00"

Runoff by SCS TR-20 method, UH=SCS, Time Span= 0.00-48.00 hrs, dt= 0.01 hrs
Type III 24-hr 10-Yr Rainfall=4.50"

Area (sf)	CN	Description
1,585	39	>75% Grass cover, Good, HSG A
6,320	98	Paved parking & roofs
7,905	86	Weighted Average
1,585		Pervious Area
6,320		Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0	32		0.11		Direct Entry,

Summary for Subcatchment 1S: Existing Conditions

Runoff = 0.52 cfs @ 12.08 hrs, Volume= 0.036 af, Depth= 2.38"

Runoff by SCS TR-20 method, UH=SCS, Time Span= 0.00-48.00 hrs, dt= 0.01 hrs
Type III 24-hr 10-Yr Rainfall=4.50"

Area (sf)	CN	Description
2,325	39	>75% Grass cover, Good, HSG A
5,112	98	Paved parking & roofs
* 468	77	Fallow, bare soil, HSG A - Ex. Deck
7,905	79	Weighted Average
2,793		Pervious Area
5,112		Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0	53		0.18		Direct Entry,

Summary for Subcatchment 1.1S: Proposed Conditions

Runoff = 0.83 cfs @ 12.07 hrs, Volume= 0.058 af, Depth= 3.84"

Runoff by SCS TR-20 method, UH=SCS, Time Span= 0.00-48.00 hrs, dt= 0.01 hrs
Type III 24-hr 25-Yr Rainfall=5.40"

Area (sf)	CN	Description
1,585	39	>75% Grass cover, Good, HSG A
6,320	98	Paved parking & roofs
7,905	86	Weighted Average
1,585		Pervious Area
6,320		Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0	32		0.11		Direct Entry,

Summary for Subcatchment 1S: Existing Conditions

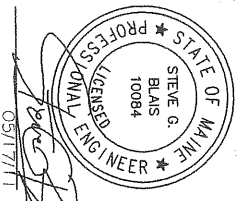
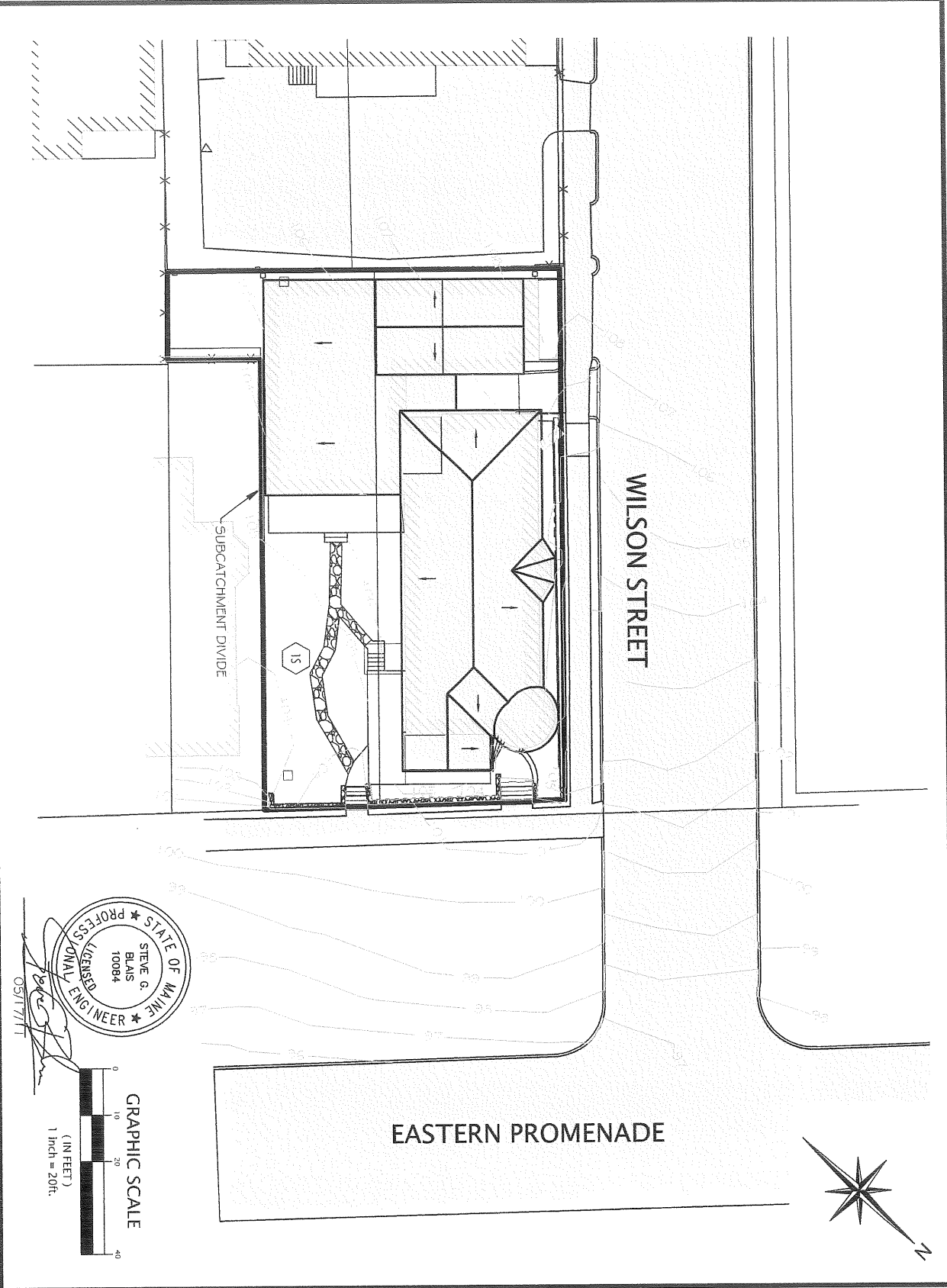
Runoff = 0.69 cfs @ 12.07 hrs, Volume= 0.048 af, Depth= 3.15"

Runoff by SCS TR-20 method, UH=SCS, Time Span= 0.00-48.00 hrs, dt= 0.01 hrs
Type III 24-hr 25-Yr Rainfall=5.40"

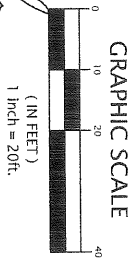
Area (sf)	CN	Description
2,325	39	>75% Grass cover, Good, HSG A
5,112	98	Paved parking & roofs
* 468	77	Fallow, bare soil, HSG A - Ex. Deck
7,905	79	Weighted Average
2,793		Pervious Area
5,112		Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0	53		0.18		Direct Entry,

1:00007 Registration Fee Excluded From Systemwide-2027 ICE Building 01 Existing Conditions Map 17-2011 - 21 Page



05/17/11



D1 DRAWING 11109	EXISTING CONDITIONS DRAINAGE MAP 130 EASTERN PROMENADE PORTLAND MAINE	 Blais civil engineers 780 BROADWAY, SO. PORTLAND, ME 04106 (207) 767-7300
	SCALE: 1" = 20' C.I.: 1' DATE: 05/17/11	

21 June 2011

Mr. Patrick J. Carroll, Principal
Carroll Associates
217 Commercial St.
Suite 200
Portland, ME 04101

RE: The Capacity to Handle an Anticipated Increase in Wastewater Flows, from the Proposed Project at 130 Eastern Promenade, Portland, Maine.

Dear Mr. Carroll:

The existing ten-inch vitrified clay pipe combined sewer, located in Eastern Promenade has adequate capacity to **transport**, while The Portland Water District sewage treatment facilities, located off Marginal Way, have adequate capacity to **treat** the anticipated wastewater flows of **540 GPD**, from your proposed project.

<u>Anticipated Wastewater Flows from the Proposed Project:</u>	
Three Proposed Two-Bedroom Condominiums @ 180 GPD/Unit	= <u>540 GPD</u>
Total Proposed Wastewater Flows for this Project	= 540 GPD

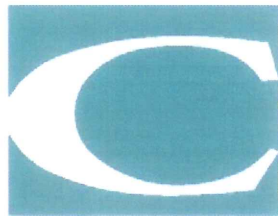
The City combined sewer overflow (C.S.O.) abatement consent agreement, with the U.S.E.P.A. and the Maine D.E.P., requires C.S.O. abatement, as well as storm water mitigation, in order to offset any increase in sanitary flows, from all projects.

If The City can be of further assistance, please call 874-8846.

Sincerely,
CITY OF PORTLAND

Charles M. Moore
Engineering Technician

cc: Barbara Barhydt, Development Review Services Manager, Department of Planning, and Urban Development, City of Portland
Shukria Wiar, Planner, Planning & Development, City of Portland
David Margolis-Pineo, Deputy City Engineer
Michael Farmer, P.E., Project Engineer, City of Portland
Bradley A. Roland, P.E., Environmental Projects Engineer, City of Portland
Stephen K. Harris, Assistant Engineer, City of Portland
Matthew Doughty, Field Inspections Coordinator, City of Portland
John Emerson, Wastewater Coordinator, City of Portland
Jane Ward, Administrative Assistant, City of Portland



CARROLL ASSOCIATES
LANDSCAPE ARCHITECTS

June 21, 2011

Ms. Shukria Wiar, Planner
Planning and Urban Development Department
City of Portland
389 Congress Street
Portland, ME 04101

RE: 130 Eastern Promenade, Project ID 2011-258

Dear Shukria,

Thanks to you and the City Staff for their favorable review of the proposed Condominium Conversion at 130 Eastern Promenade. We have reviewed the Preliminary Comments from Staff regarding the Level 2 Development Review, and have attached a memorandum that addresses all comments raised to this point.

In reviewing the Stormwater Comments, we took a closer look at the extent of impervious cover on the project (existing and proposed) and have determined that the increase is significantly less than we originally had calculated (512 SF increase). We have therefore updated the Application Project Data to reflect these quantities. Correspondingly, we have revised the Stormwater Management Plan resulting in a post development condition that treats some portion of the increased runoff through use of a small rain garden to treat the roof runoff from the deck and small addition to the building. This is described in detail in the Stormwater Management Plan and the rain garden is indicated on the revised site plans that are being submitted with this application.

As noted in the review, there are also several waivers to the Technical Standards are required, and so we formally request waivers to the following standards:

1.14. PARKING LOT AND PARKING SPACE DESIGN.

This Section indicates that any parking lot less than 10 spaces should contain all standard sized parking spaces. In the R-6 District 1 PS/DU is required. We are providing 2PS/DU on the proposed Site Plan, of which the required (3) are standard spaces and the other 3 are proposed to be compact spaces. We request a waiver to the Standards to allow the three compact spaces.

Also in this section the Standard Parking Space is defined to be 9 ft wide x 18 ft long. Because we are proposing the standard parking spaces as parallel parking, we have modified the dimensions to 8 ft wide x 20 ft long. This dimension allows for a longer space to parallel park into, and the 8 ft width is justified because there are no cars parking adjacent to the spaces restricting door access. This is a standard dimension utilized in much of the City where parallel parking occurs. We are requesting a waiver to the Standards to allow the modified dimensions for the standard parking spaces.

Parking Lot Aisle widths are indicated in Figures I-28 thru I-31. The proposed parking is a combination of parallel and perpendicular parking and does not meet the criteria indicated in the Figures. We are providing a 12 foot aisle width in the front part of the lot where there are 2 parallel spaces, which meet the criteria for one-way circulation. We are providing an aisle width of 23 feet in the rear where the 3 compact spaces are parked perpendicular to the aisle, with one parallel space on the other side. We believe that for the most part the users will be backing out onto Wilson Street. Given the low volume of use we believe this configuration of parking and aisle width provides adequate maneuvering room for the vehicles. We request a waiver to the aisle width standards to allow this proposed parking arrangement.

We also request a waiver from the Water Quality, Stormwater Management and Erosion Control Standard of the Land Use Ordinance, Section 14-526 (b) (3) (a).

(iii) Any increase in volume or rate of stormwater draining from the lot onto City property following the improvement can be handled without creating ponding, flooding or other drainage problems and that the owner of the lot being improved has the legal right to increase the flow of stormwater onto the City's property.

The very small increases in stormwater volume and rate as described in the enclosed stormwater report will not create any significant issues on City property. We request a waiver for the legal right to increase the flow of stormwater onto the City's property.

(iv) Any increase in volume or rate of stormwater draining from the lot into the City's separate storm sewer system can be accommodated in the system without creating downstream problems or exceeding the capacity of the storm sewer system.

We request a waiver from this standard for the very small increase we will be making to the City's stormwater system.

Please review the attached Response to Staff Comments, with attachments and revised plans. We look forward to final comments from your Department and are hopeful to begin work this summer. Please contact me if you have any further questions or need additional information.

Regards,



Patrick J. Carroll, Principal

Att. Revised Application Project Data Sheet
Fence Detail
Capacity Letter from City of Portland Department of Public Services
Letter of Financial Capacity
Lighting Cut Sheets and Photometrics
Roof Mounted Condenser Cut Sheet
Existing Conditions Photographs
Revised Stormwater Management Plan
Erosion and Sedimentation Control Plan and Narrative
Revised Site Plans

CC: Peter Wellin, Fish House Realty
Shannon Richards, Fish House Realty
Mark Mueller, MMA

PROJECT DATA

The following information is required where applicable, in order complete the application

Total Site Area	7,906	sq. ft.
Proposed Total Disturbed Area of the Site	7,906	sq. ft.
(If the proposed disturbance is greater than one acre, then the applicant shall apply for a Maine Construction General Permit (MCGP) with DEP and a Stormwater Management Permit, Chapter 500, with the City of Portland)		
IMPERVIOUS SURFACE AREA		
• Proposed Total Paved Area	2,735	sq. ft.
• Existing Total Impervious Area	5,639	sq. ft.
• Proposed Total Impervious Area	6,151	sq. ft.
• Proposed Total Impervious Area	6,151	sq. ft.
• Proposed Impervious Net Change	512	sq. ft.
BUILDING AREA		
• Proposed Building Footprint (inc carport)	3,035	sq. ft.
• Proposed Building Footprint Net change	(- 1,114)	sq. ft.
• Existing Total Building Floor Area	8,349	sq. ft.
• Proposed Total Building Floor Area	5,672	sq. ft.
• Proposed Building Floor Area Net Change	(-2,677)	sq. ft.
• New Building		(yes or no)
ZONING		
• Existing	R-6	
• Proposed, if applicable		
LAND USE		
• Existing	Residential Apartments	
• Proposed	Residential Condominiums	
RESIDENTIAL, IF APPLICABLE		
• Proposed Number of Affordable Housing Units	0	
• Proposed Number of Residential Units to be Demolished	0	
• Existing Number of Residential Units	3	
• Proposed Number of Residential Units	3	
• Subdivision, Proposed Number of Lots	NA	
PARKING SPACES		
• Existing Number of Parking Spaces	2	
• Proposed Number of Parking Spaces	6	
• Number of Handicapped Parking Spaces	0	
• Proposed Total Parking Spaces	6 (inc 3 compact)	
BICYCLE PARKING SPACES		
• Existing Number of Bicycle Parking Spaces	0	
• Existing Number of Bicycle Parking Spaces	0	
• Proposed Number of Bicycle Parking Spaces	3	
• Total Bicycle Parking Spaces	3	
ESTIMATED COST OF PROJECT		
	\$ 1,000,000	

Project Memo: 130 Eastern Promenade

To: Shukria Wiar
From: Patrick Carroll
Date: June 21, 2011

RE: Response to Staff Comments

A. Zoning

Marge Schmuckal, Zoning Administrator. This property has had a long history and a couple of owners. There have been previous approvals, but court cases have disturbed the finality of the work.

The current owner, Fish House Realty, is requesting to convert the legal use of the existing building from 11 vacant units (3 years) to 3 residential condominiums. The garage in the rear will be removed. The side addition will be removed and replaced within the same footprint, maintaining the legal nonconforming side setback. The rear setback will now be increased to 30' with the removal of the garage on the rear property line.

Parking requires a minimum of 3 parking spaces. 6 parking spaces are being shown. The lot coverage and open space ratios are being met.

Separate permits shall be required for the work and the condominium conversion. The replacement one-story addition shall begin within 1 year after the previous addition is demoed in order to maintain the legal nonconforming side setback.

Response: No response required.

B. Planning

1. Per 14-526 (3) (a), all development must demonstrate that the proposed site improvements are designed to minimize the amount of stormwater leaving the site. This must include consideration of the design and location of improvements to minimize the total area of impervious surface on the site and stormwater management techniques to minimize both the volume and rate of runoff from the lot. The stormwater management plan must demonstrate the four requirements (please refer to the stand for more details).

Response: The proposed development at 130 Eastern Promenade has been carefully designed to minimize the amount of stormwater leaving the site. The majority of site development occurs within the footprint of existing structure that is being removed. The low density of development which is proposed was designed to insure that the existing garden/ greenspace area is preserved as a key element of the site. The majority of increase in impervious cover from the existing conditions is located such that their respective runoff is directed in sheet flow across a landscaped area prior to discharge at the property line. Proposed collection/ infiltration of runoff from the deck and roof addition minimize the flows from runoff on the site. The Stormwater management Plan has been developed which meets the four requirements in Section 14-526(b).3. (a) of the Site Plan Standards as described below:

- i. This project will not impede or redirect pre-development stormwater flows that would create ponding or flooding on adjacent lots.
- ii. This project will not cause increase in stormwater volume or rate onto adjacent lots.
- iii. The very small increases in stormwater volume and rate as described in the enclosed stormwater report will not create any significant issues on City property. We are requesting a waiver for the legal right to increase the flow of stormwater onto the City's property.

iv. We are requesting a waiver from this standard for the very small increase we will be making to the City's stormwater system.

2. Retaining walls over four feet will need to have engineered details on the site plan.

Response: Proposed retaining walls do not exceed 3'-8" in height.

3. Provide more information on the proposed fence, i.e. color, material, typical, etc.

Response: The fencing is proposed to be Northern White Cedar, vertical board fence, 6 ft height, transitioning to 4 ft height within 20 feet of Wilson Street. See attached Fence detail.

4. Please submit utilities approved capacity letters.

Response: Letters from the Portland Water District and Unitil were submitted with the application. A letter from the City of Portland regarding Wastewater capacity is attached to this memo.

5. For the Final Application, please submit financial capacity letter. The applicant will be financing this project using private funds; we will still need a letter from their bank that they have the sufficient funds to cover the cost of the project.

Response: A letter from Mr. Wellin's Financial Management Company is attached to this response memo.

6. Submit photometric plans for review. We will need the catalog cuts for all proposed fixtures.

Response: Catalog cuts and photometrics for all proposed lighting are attached to this response m

7. The site plan shows two up-lights at the entrance of the building on Eastern Promenade, up-lighting is prohibited, please refer to 14-526 (d) (6) (b):

Up-lighting by any method is prohibited except for public buildings and parklands, clock towers and steeples, landscape features, designated historic landmarks, flags of state, federal or national jurisdictions, and public art. Such light fixtures, brackets, conduits and all other components shall be designed by a lighting professional and shall be scaled and placed to minimize their visibility and installed in accordance with the standards contained in Section 12 of the Technical Manual.

Response: We agree and the uplight has been removed from the proposal.

8. Show bike and motorcycle parking on the site plans.

Response: Bicycle storage is proposed to be located within the enclosed portion of the carport in front of the 3 parking spaces. It is identified as #17 on sheet A-1. No scooter parking is proposed for this project.

9. Noise levels for the mechanical equipment to be submitted for review.

Response: The Applicant is proposing roof mounted condensing units. They will be located on the roof in an area approximately 7'-6" x 23'-0" and 30 feet above the ground. Typical noise range for these units is 74-79dB. Given its location and the type of units proposed we believe the noise level has been effectively minimized for this project. A cut sheet of a typical cooling condenser unit is attached to this response memo.

10. Any proposed signage will need separate permits.

Response: The Applicant will be submitting a separate application for signage once it has been determined.

11. The responses to the R-6 Design Standards are not included in the application submittal. Please submit for review.

Response: This project is not an infill project and therefore the R-6 Infill Project Design Standards do not apply to this project...

12. The cover letter refers to photos of the site, but is not included in the application.

Response: Photos of the site are attached with this response letter.

C. Engineering

David Margolis-Pineo, Deputy Engineer. No comments.

Response: No response required.

D. Stormwater

1. The cover letter references Site Location of Development (SLOD) review under the City's The final site plans will need to be stamped by a professional engineer licensed to practice in the State of Maine (Section 14-527, sub-section (d) of the City of Portland Land Use Ordinance)

Response: Final Site Plans will be stamped by Steve Blais, the Project Civil Engineer.

2. In accordance with Section 5 of the City of Portland Technical Manual, Level II Site Plans are required to submit a stormwater management plan pursuant to Maine Department of Environmental Protection Chapter 500 Stormwater Management Rules addressing the Basic, General, and Flooding Standards:

a. Basic Standards: The submittal package does not address erosion and sediment controls, maintenance and inspection plans, and housekeeping measures required under the Basic Standards.

Response: Enclosed is a written erosion and sedimentation control plan, and inspection and maintenance of stormwater facilities plan which includes housekeeping measures required under the Maine Department of Environmental Protection (MDEP) Chapter 500 basic standards.

b. General Standards: The submittal package does not address stormwater quality measures required under the General Standards. Because of the nature of the site, it may be challenging to manage stormwater generated solely from new impervious surfaces. If the applicant is not able to manage stormwater generated from new impervious surfaces, we recommend evaluating the use of landscaped areas for bio-retention or potentially storage/reuse of roof water with rain barrels to manage an equivalent impervious surface area in lieu of direct treatment of new impervious areas, or the applicant may propose other stormwater management options for consideration.

Response: We have added a rain garden to treat the more impervious area than this project adds.

c. Flooding Standard: The applicant has included a Stormwater Management Report prepared by Blais Civil Engineers. The Stormwater Management Report indicates an increase in peak flow rate from the proposed site in the 2, 10 and 25 year storm events. If the applicant proposes to increase peak flow rate from the site, they will need to request a waiver from the flooding standard. This waiver will be evaluated by Department of Public Services, as runoff generated from the site will enter City Streets and the City's combined sewer infrastructure.

Response: We have requested a waiver from this standard for the very small increases in the rate of stormwater flow that are described in the enclosed stormwater report.

3. The HydroCAD model uses incorrect rainfall amounts for the 2, 10, and 25-year, 24 hour storm events. Refer to the MaineDEP Stormwater Best Practices Manual, Volume III, Chapter 2 – Hydrology, Table 2-1.

Response: We have updated the rainfall depths per the latest Portland standards, which are now in line with the MDEP standards. We have updated peak flow rates accordingly in the attached storm water report.

4. A new 4” water service for fire suppression is proposed within the City ROW. The applicant should include a typical pipe trench detail and pavement repair detail for work within the City Street in accordance with PWD and City Standard Details.

Response: A detail for Typical Pipe Trench and Pavement repair is attached to this Response Memo.

E. Traffic

1. The applicant should submit documentation that supports the needs for a 30-foot wide. The driveway width is proposed to be 12-feet wide and meets City standards.

Response: Based on communication with Shukria, no response is required for this comment.

2. Acceptable sight distances will be provided from the proposed driveway.

Response: No response required.

3. Adequate driveway separation will be provided.

Response: No response required.

4. The use of compact parking spaces for the proposed lot does not meet City standards. The applicant should formally request a waiver. I support use of compact spaces.

Response: The zoning requires 1 space per DU; the applicant is proposing 2 spaces per DU, 1 of which will be a compact space. As the compact spaces are in addition to the required parking spaces, we believe no waiver is required, but have requested one in the cover letter.

5. The standard parking spaces proposed for the site do not meet City standards. The spaces are proposed to be 8’x20’. The applicant should formally request a waiver and note why the standard can’t be met.

Response: The proposed parking space is 8 ft x 20 ft are proposed as parallel spaces along the side of the driveway. The proposed dimensions allows for a full 12 ft driveway width as well as a 2 foot landscaped zone between the parking and property line, which accommodates a wooden fence and bollard lighting. The dimensions indicated are standard dimensions for parallel parking. A formal waiver request is noted in the cover letter.

6. The proposed parking circulation aisle width does not meet City standards. The applicant should formally request a waiver.

7. **Response:** The driveway aisle is 12 feet wide with parallel spaces as it enters the property and extends past the proposed building entrance. At the carport the aisle width widens to 23 feet. We believe the drive and aisle provides adequate maneuvering room given the small number of vehicles it accommodates. A formal waiver request is noted in the cover letter.

8. Access into and out of the parking space near the trash enclosure will be very difficult. The applicant should provide information that the noted space is reasonably accessible.

Response: We have revised the location of the Trash Enclosure to provide additional maneuvering space around the end parking space, which now allows approximately 25 feet of length to pull up and back the vehicle into the space. We believe this provides a reasonably accessible parking arrangement and also makes the trash enclosure more accessible for residents. We will follow up with a turning diagram if desired by Staff.

9. The applicant should provide information noting how vehicles will circulate from parking spaces. Is it the intent that vehicles will back onto Wilson Street?

Response: The intent is that the parallel spaces will back onto Wilson Street, and the Compact spaces may either back out or be able to turn around if space allows. Given the limited use of this lot and the low volume of traffic on Wilson Street, we do not anticipate issues either on-site or onto Wilson Street.

F. City Arborist

Jeff Tarling, City Arborist.

1. I have reviewed the proposed 130 Eastern Promenade Conversion project, overall the landscape plan is acceptable as shown with the following conditions / recommendations: that the two 'Cleveland Pears' shown as street-trees on Wilson Street be changed to a different species, perhaps Amelanchier x grandiflora 'Princess Diana', single-stem, upright tree form or Malus x 'Adirondack', flowering Crabapple or similar type tree. We have had issues with all Callery Pears due to storm damage, especially on or near the Eastern Prom area.

Response: We agree that Cleveland Pear may be susceptible to storm damage and will modify the plan. We are proposing substituting Armstrong Red Maples to match trees planted along the Eastern Promenade (see response below)

2. The Eastern Promenade Master Plan specifies that an "Armstrong" Red Maple be planted along the Eastern Prom sidewalk across from, or near the corner of the existing building. The EP 'Street Tree Plan' acknowledges the balance between the historic alley of trees and desire for vistas. Thus tree selection for this area is "Armstrong" Red Maple that would have a narrow, upright form. The tree plan also considers the removal of existing Norway maple and replacement if desired. This could be worked out after the approval process.

Response: The Applicant would propose removing the existing Norway Maple and installing two Armstrong Red Maples along the Eastern Promenade, as recommended above by Mt. Tarling. Additionally, the Applicant would be amenable to replacing the next adjacent Red Norway Maple to the east, providing a total of 3 trees in the Promenade. This would provide a massing of new trees that gives some prominence and continuity to this corner.

G. Fire Department

Capt. Keith Gautreau has reviewed the site plan and is satisfied with the project as proposed.

Response: No response required.

End of Response Memo.



EROSION AND SEDIMENTATION CONTROL PLAN
130 EASTERN PROMENADE
PORTLAND, MAINE
June 21, 2011

Introduction

The following plan for controlling sedimentation and erosion in this project is based on conservation practices found in the Maine Erosion & Sediment Control BMPS Manual, Maine Department of Environmental Protection, latest edition. The contractor who implements this plan shall be familiar with this publication and adhere to it and the practices presented herein.

The project site is located at 130 Eastern Prom, in Portland, Maine. The property is approximately 0.18 acres ±. The applicant plans to renovate the Building and Site, which includes complete renovation of the main 3-story structure and removal of the one-story additions along the side and rear of the building. Building additions include a small addition on the east side of the building and construction of an open carport area in the southeast corner of the structure. Site improvements include new driveway and off-street parking, sidewalks, and a small terrace/garden along the east side of the property.

Please reference the Site Preparation Plan (L1.0), which shows the locations and types of proposed measures contained in this report.

General Erosion and Sedimentation Control Practices

The following is a list of general erosion control practices that will be used to prevent erosion and sedimentation before, during and after the construction of this project. In addition, special care shall be used at all times to:

- 1) Limit disturbance and, hence, erosion,
- 2) Correct any erosion problems immediately,
- 3) Regularly monitor the implemented practices, especially after every rainfall,
- 4) Revegetate disturbed areas as soon as possible after construction.

Silt Fence and/or Erosion Control Mix Berms

As noted on the plans silt fence and/or erosion control mix berms will be installed at the toe of slopes and at the toe of cleared areas.

Construction Phase

The following general practices will be implemented to prevent erosion during construction on this project:

1. Only those areas under active construction will be cleared and left in an untreated or unvegetated condition. Once construction of an area is complete, final grading, loaming and seeding shall occur immediately (refer to "Erosion Control Seeding Notes" section). If final grading, loaming and seeding cannot occur immediately, it shall be done prior to any storm event and within 7 days of completing construction in the area. If final grading, loaming, and seeding cannot occur within 7 days, or if the area is not under active construction for a period longer than 7 days, see Item No. 4 below.
2. Prior to the start of construction in a specific area, silt fencing and/or erosion control mix berms will be installed at the toe of slopes and cleared areas, and in areas as located on the plans to protect against any construction-related erosion.
3. Topsoil will be stockpiled when necessary in areas which have minimum potential for erosion and will be kept as far as possible from existing drainage areas and wetlands. All stockpiles expected to remain longer than 15 days shall be:
 - A. Treated with anchored mulch (within 5 days of the last deposit of stockpiled soil).
 - B. Seeded with conservation mix and mulched immediately.

Stockpiles expected to remain longer than 3 days shall be encircled with erosion control mix berms or silt fence at the toe of the pile.

4. All disturbed areas expected to remain longer than 15 days (7 days at stream crossings) shall be:
 - A. Treated with straw at a rate of 70-90 lbs. per 1000 square feet from 4/14 to 10/1, or at a rate of 150-200 lbs. per 1000 square feet from 10/1 to 4/15.
 - B. Seeded with conservation mix of perennial rye grass (1.0 lbs/1000 sq.ft.) and mulched immediately. From 10/1 to 4/15, follow the seeding rates as outlined below in sub-section 4.D. of the "Post Construction Revegetation" section.
 - C. Monitored every two weeks and before/after rain events until permanent seeding can occur and remulched as needed to protect slopes.

5. All grading will be held to a maximum 3:1 slope where practical. Greater slopes may be used where the banks are protected with soft armour matting, erosion control matting, or riprap. All slopes will be stabilized with permanent seeding immediately after final grading is complete. (It is understood that immediately means within 7 days of the completion of work. See Post-Construction revegetation for seeding specification.)

Post Construction Revegetation

The following general practices will be implemented to prevent erosion as soon as an area is ready to undergo final grading:

1. A minimum of 4" of loam will be spread over disturbed areas and graded to a uniform depth and natural appearance.
2. If final grading is accomplished during the normal growing season (4/15 to 10/1), permanent seeding will be done as specified below. Prior to seeding, limestone shall be applied at a rate of 100 lbs/1000 sq. ft. and 10:20:20 fertilizer at a rate of 18.4 lbs/1000 sq. ft. will be applied. Broadcast seeding at the following rates:

<u>Lawns</u>		<u>Swales</u>	
Kentucky Bluegrass	0.46 lbs/1000 sf	Creeping Red Fescue	0.46 lbs/1000 sf
Creeping Red Fescue	0.46 lbs/1000 sf	Red Top	0.05 lbs/1000 sf
Perennial Ryegrass	0.11 lbs/1000 sf	Tall Fescue	0.46 lbs/1000 sf

If permanent seeding areas that have received winter mulching, the top two inches of winter mulching should be removed.

3. An area shall be mulched immediately after it has been seeded. Mulching shall consist of hay mulch, hydro-mulch or any suitable substitute deemed acceptable by the Design Professional.
 - A. Hay mulch shall be applied at the rate of 2 tons per acre. Hay mulch shall be secured by one of the following:
 1. Drive over with tracked construction equipment on grades of 5% and less.
 2. Blanket with tacked photodegradable/biodegradable netting on grades greater than 5%.
 - B. Hydro-mulch shall consist of a mixture of asphalt, wood fibre or paper fibre and water which is sprayed over a seeded area. Hydro-mulch shall not be used between 10/1 and 4/15.

4. Construction shall be planned to eliminate the need for seeding between October 1st and April 15th. Should seeding be necessary between these dates, the following procedure shall be followed:
 - A. Only unfrozen loam shall be used.
 - B. Loaming, seeding and mulching will not be done over snow or ice cover. If snow exists, it must be removed prior to placement of seed.
 - C. Where permanent seeding is necessary, Annual Winter Rye (1.2 lbs/1000 s.f.) shall be sown instead of the previously noted seeding rate.
 - D. Where temporary seeding is required, Annual Winter Rye (2.5 lbs/1000 s.f.) shall be sown instead of the previously noted seeding rate.
 - E. Fertilizing, seeding and mulching shall be done on loam the day the loam is spread.
 - F. Hay mulch shall be secured with photodegradable/biodegradable netting. Tracking by machinery alone will not suffice. Winter mulching rates, as specified above in subsection 5.A. of the "Construction Phase" section, should be applied during this period.

5. Following final seeding, the site will be inspected every 30 days until 80% cover has been established. Reseeding will be carried out by the contractor within 10 days of notification by the design professional that the existing catch is inadequate.

Monitoring Schedule

The contractor shall be responsible for installing, monitoring, maintaining, repairing, replacing and removing all of the erosion and sedimentation controls or appointing a qualified subcontractor to do so.

Maintenance measures will be applied as needed during the entire construction cycle. Immediately following any significant rainfall, and at least once a week, a visual inspection will be made of all erosion and sedimentation controls as follows:

1. Erosion control mix berms and silt fence shall be inspected and repaired. Sediment trapped behind these barriers shall be excavated when it reaches a depth of 6" and redistributed to areas undergoing final grading.

Erosion Control Removal

An area is considered stable if it is paved or if 80% growth of planted seeds are established. Once an area is considered stable, the erosion control measures can be removed as follows:

1. **Erosion Control Mix Berms and Silt Fence**
The erosion control mix berms and silt fence shall be disposed of legally and properly off-site. All sediment trapped behind these controls shall be distributed to an area undergoing final grading or removed and relocated off-site.
2. **Miscellaneous**
Once all the trapped sediments have been removed from the temporary sedimentation devices, the disturbed areas must be regraded in an aesthetic manner to conform to the surrounding topography. Once graded these disturbed areas must be loamed (if necessary), fertilized, seeded and mulched in accordance with the rates previously stated.

The above erosion controls must be removed within 30 days of final stabilization of the site.

Conformance with this plan, and following these practices will result in a project that complies with the State Regulations and the Standards of the Natural Resources Protection Act, and will protect water quality in areas downstream from the project.



**STORMWATER MANAGEMENT REPORT
130 EASTERN PROMENADE
PORTLAND, MAINE
May 17, 2011
Revised June 21, 2011**

Introduction

130 Eastern Promenade is located on the southeast corner of the intersection of Eastern Promenade and Wilson Street in Portland, Maine overlooking the Eastern Promenade Park and Casco Bay. Existing Stormwater runoff from this project is surface flow and ultimately discharges to the curb and gutter systems of Wilson Street and the Eastern Promenade, which drain into the catch basin at the intersection of Eastern Promenade and Cutter Street.

The applicant plans to renovate the Building and Site, which includes complete renovation of the main 3-story structure and removal of the one-story additions along the side and rear of the building. Building additions include a small addition on the east side of the building and construction of an open carport area in the southeast corner of the structure. Site improvements include new driveway and off-street parking, sidewalks, and a small terrace/ garden along the east side of the property.

This report discusses the Site's hydrological conditions and quantifies the stormwater runoff generated in the existing and proposed conditions.

Data Collection and Assumptions

Site Data was gathered from field observations, drawings and AutoCAD files from Carroll, Associate, Landscape Architects. This data was used to create a HydroCAD stormwater model, which is based on the United States Department of Agriculture's (USDA) Technical Release 20 (TR-20) and Technical Release 55 (TR-55) hydraulic programs.

Curve numbers (CNs) assigned to differing land cover and soil types were taken from tables within the HydroCAD software, which are from the SCS TR-55 manual, revised 1986. 24-hour rainfall depths were taken from the Stormwater Management for Maine, Volume III BMPs Technical Design Manual, Dated January 2006 by the Maine

Department of Environmental Protection . Time of concentrations were entered via direct entry and were assumed to be 5 minutes.

The limits of the property line were used as the existing and proposed watershed subcatchments. This area is shown on attached Drawing D1 entitled "Existing Conditions Drainage Map". Proposed conditions are shown on the Drawing L-3.0 entitled "Site Grading Plan, 130 Eastern Promenade, Portland Maine", dated May 21, 2011 by Carroll Associates. Modeling assumptions made for both conditions are summarized in the attached HydroCAD output.

Existing Site Conditions

The 0.18± acre Site currently hosts a multi-unit residential building and attached garage. Walkways and decks connect to these structures. The remainder of the property is mostly grassed. The Site currently has 5,639 square feet of impervious area, which includes roof, driveway, and walkways.

The Site generally slopes from east to west toward the Eastern Promenade. Slopes are generally mild. According to the United States Department of Agriculture and Soil Conservation Service Issued August 1974, on-Site soils include Hinckley Gravelly Sandy Loam, which have an "A" Hydrological Soil Grouping (HSG) classification.

Proposed Site Conditions

The renovations will include removing the existing one-story apartments and garage structure. The main structure will be renovated and slightly expanded to the southeast as shown on the plan. The building entrance is proposed to be relocated to the rear adjacent to the driveway and parking area.

Land cover changes are minimal. The bulk of the new pavement areas are located within the footprints of the existing buildings that are being removed. A landscaped garden area that includes a small paved terrace and walkway to the Eastern Promenade sidewalk is proposed along the east side of the building. The proposed Site will have 6,151 square feet of impervious area at completion, an increase of approximately 512 square feet over existing conditions.

Based on direction from the Assistant City Engineer, stormwater runoff from the Site has been designed to maintain surface flows across the Site and onto the Wilson Street and Eastern Promenade right-of-ways. The driveway, parking area, and gutter downspouts flow onto Wilson Street, and the eastern garden area flows onto the Eastern Promenade. No underground piping or discharge into the combined sewer system is proposed as part of this project.

To mitigate increased impervious area, a rain garden will be constructed as shown on the Drawing L3.0. This rain garden will be a minimum of 50 square feet, holding 6 inches of stormwater at the surface. The HydroCAD model assumes that stormwater that collects in the rain garden will infiltrate at a rate of 4 inches per hour into the subsurface soils. Rain garden sizing calculations are attached to this report.

Water Quantity

The table below compares peak flows leaving the Site for the 2, 10, and 25 year storm events.

**Table Comparing Peak Flows
130 Eastern Promenade – June 21, 2011**

Storm Event	Existing Conditions Peak Flow (cfs)	Proposed Condition Peak Flow (cfs) Total
2-year	0.29	0.31
10-year	0.60	0.66
25-year	0.76	0.82

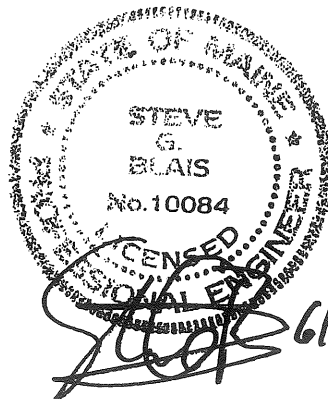
The proposed renovations to the Site will cause a slight increase in overall stormwater runoff. This increase is 0.06 cfs in the 25 year storm and is relatively insignificant and will not cause unreasonable negative impacts to downstream properties.

Conclusions

As requested by the Assistant City Engineer, all runoff from the Site will leave the property via surface flows. This project does not propose any direct stormwater connections to the City's combined sewer system. A rain garden will be constructed to mitigate stormwater impacts from this project. This project will not cause a significant increase in stormwater runoff as a result of the renovations described in this report and shown on the aforementioned Site Grading Plan.

BLAIS CIVIL ENGINEERS

Steve G. Blais, PE
Enclosures



NOTES

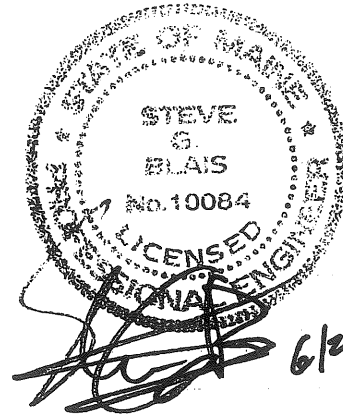
Date/Time: 6/21/11

BCE File: 11109

Re: RAIN GARDEN SIZING

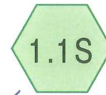
Notes By: SB

-
- IMPERVIOUS AREA TO BE TREATED : 600 SF
 - $600 \text{ SF} \times 1" = 50 \text{ FT}^3 \leftarrow \text{WATER QUALITY VOLUME.}$
 - $50 \text{ FT}^3 / 1 \text{ FT (TREATMENT DEPTH CAPACITY OF RAIN GARDEN)} = 50 \text{ FT}^2$
 - RAIN GARDEN MUST BE $50 \text{ FT}^2 \times 6" \text{ DEEP AT SURFACE.}$
 - 6" STORAGE WILL BE PROVIDED IN SOIL MEDIA PER MDEP BMP STANDARDS





Existing Conditions



Proposed Conditions



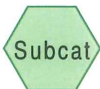
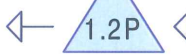
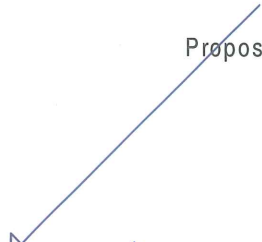
POA



Rain Garden



Proposed Conditions -
to Rain Garden



Drainage Diagram for 07126-130 Eastern Promenade
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Summary for Subcatchment 1.1S: Proposed Conditions

Runoff = 0.31 cfs @ 12.08 hrs, Volume= 0.021 af, Depth= 1.50"

Runoff by SCS TR-20 method, UH=SCS, Time Span= 0.00-48.00 hrs, dt= 0.01 hrs
Type III 24-hr 2-Yr Rainfall=3.00"

Area (sf)	CN	Description
1,754	39	>75% Grass cover, Good, HSG A
* 5,551	98	Paved parking & roofs & deck
7,305	84	Weighted Average
1,754		Pervious Area
5,551		Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0	32		0.11		Direct Entry,

Summary for Subcatchment 1.2S: Proposed Conditions - to Rain Garden

Runoff = 0.04 cfs @ 12.07 hrs, Volume= 0.003 af, Depth= 2.77"

Runoff by SCS TR-20 method, UH=SCS, Time Span= 0.00-48.00 hrs, dt= 0.01 hrs
Type III 24-hr 2-Yr Rainfall=3.00"

Area (sf)	CN	Description
* 600	98	Paved parking & roofs & deck
600		Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0	32		0.11		Direct Entry,

Summary for Subcatchment 1S: Existing Conditions

Runoff = 0.29 cfs @ 12.08 hrs, Volume= 0.020 af, Depth= 1.32"

Runoff by SCS TR-20 method, UH=SCS, Time Span= 0.00-48.00 hrs, dt= 0.01 hrs
Type III 24-hr 2-Yr Rainfall=3.00"

Area (sf)	CN	Description
2,266	39	>75% Grass cover, Good, HSG A
* 5,639	98	Paved parking & roofs & deck
7,905	81	Weighted Average
2,266		Pervious Area
5,639		Impervious Area

07126-130 Eastern Promenade

Type III 24-hr 2-Yr Rainfall=3.00"

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Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0	53		0.18		Direct Entry,

Summary for Pond 1.2P: Rain Garden

Inflow Area = 0.014 ac, 100.00% Impervious, Inflow Depth = 2.77" for 2-Yr event
 Inflow = 0.04 cfs @ 12.07 hrs, Volume= 0.003 af
 Outflow = 0.03 cfs @ 12.16 hrs, Volume= 0.003 af, Atten= 36%, Lag= 5.2 min
 Discarded = 0.01 cfs @ 12.16 hrs, Volume= 0.003 af
 Primary = 0.02 cfs @ 12.16 hrs, Volume= 0.000 af

Routing by Stor-Ind method, Time Span= 0.00-48.00 hrs, dt= 0.01 hrs
 Peak Elev= 100.52' @ 12.16 hrs Surf.Area= 60 sf Storage= 28 cf

Plug-Flow detention time= 26.6 min calculated for 0.003 af (100% of inflow)
 Center-of-Mass det. time= 26.6 min (783.4 - 756.8)

Volume	Invert	Avail.Storage	Storage Description
#1	100.00'	60 cf	Custom Stage Data (Prismatic) Listed below (Recalc)

Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
100.00	50	0	0
100.50	60	28	28
101.00	70	33	60

Device	Routing	Invert	Outlet Devices
#1	Discarded	100.00'	4.000 in/hr Exfiltration over Surface area
#2	Primary	100.50'	4.0' long x 2.0' breadth Broad-Crested Rectangular Weir Head (feet) 0.20 0.40 0.60 0.80 1.00 1.20 1.40 1.60 1.80 2.00 2.50 3.00 3.50 Coef. (English) 2.54 2.61 2.61 2.60 2.66 2.70 2.77 2.89 2.88 2.85 3.07 3.20 3.32

Discarded OutFlow Max=0.01 cfs @ 12.16 hrs HW=100.52' (Free Discharge)
 ↳ **1=Exfiltration** (Exfiltration Controls 0.01 cfs)

Primary OutFlow Max=0.02 cfs @ 12.16 hrs HW=100.52' (Free Discharge)
 ↳ **2=Broad-Crested Rectangular Weir** (Weir Controls 0.02 cfs @ 0.32 fps)

Summary for Link 1.0L: POA

Inflow Area = 0.181 ac, 77.81% Impervious, Inflow Depth = 1.41" for 2-Yr event
 Inflow = 0.31 cfs @ 12.08 hrs, Volume= 0.021 af
 Primary = 0.31 cfs @ 12.08 hrs, Volume= 0.021 af, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-48.00 hrs, dt= 0.01 hrs

07126-130 Eastern Promenade

Type III 24-hr 10-Yr Rainfall=4.70"

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Summary for Subcatchment 1.1S: Proposed Conditions

Runoff = 0.60 cfs @ 12.07 hrs, Volume= 0.042 af, Depth= 2.98"

Runoff by SCS TR-20 method, UH=SCS, Time Span= 0.00-48.00 hrs, dt= 0.01 hrs
Type III 24-hr 10-Yr Rainfall=4.70"

Area (sf)	CN	Description
1,754	39	>75% Grass cover, Good, HSG A
* 5,551	98	Paved parking & roofs & deck
7,305	84	Weighted Average
1,754		Pervious Area
5,551		Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0	32		0.11		Direct Entry,

Summary for Subcatchment 1.2S: Proposed Conditions - to Rain Garden

Runoff = 0.07 cfs @ 12.07 hrs, Volume= 0.005 af, Depth= 4.46"

Runoff by SCS TR-20 method, UH=SCS, Time Span= 0.00-48.00 hrs, dt= 0.01 hrs
Type III 24-hr 10-Yr Rainfall=4.70"

Area (sf)	CN	Description
* 600	98	Paved parking & roofs & deck
600		Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0	32		0.11		Direct Entry,

Summary for Subcatchment 1S: Existing Conditions

Runoff = 0.60 cfs @ 12.07 hrs, Volume= 0.041 af, Depth= 2.73"

Runoff by SCS TR-20 method, UH=SCS, Time Span= 0.00-48.00 hrs, dt= 0.01 hrs
Type III 24-hr 10-Yr Rainfall=4.70"

Area (sf)	CN	Description
2,266	39	>75% Grass cover, Good, HSG A
* 5,639	98	Paved parking & roofs & deck
7,905	81	Weighted Average
2,266		Pervious Area
5,639		Impervious Area

07126-130 Eastern Promenade

Type III 24-hr 10-Yr Rainfall=4.70"

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Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0	53		0.18		Direct Entry,

Summary for Pond 1.2P: Rain Garden

Inflow Area = 0.014 ac, 100.00% Impervious, Inflow Depth = 4.46" for 10-Yr event
 Inflow = 0.07 cfs @ 12.07 hrs, Volume= 0.005 af
 Outflow = 0.07 cfs @ 12.08 hrs, Volume= 0.005 af, Atten= 0%, Lag= 0.4 min
 Discarded = 0.01 cfs @ 12.08 hrs, Volume= 0.004 af
 Primary = 0.06 cfs @ 12.08 hrs, Volume= 0.001 af

Routing by Stor-Ind method, Time Span= 0.00-48.00 hrs, dt= 0.01 hrs
 Peak Elev= 100.53' @ 12.08 hrs Surf.Area= 61 sf Storage= 29 cf

Plug-Flow detention time= 24.0 min calculated for 0.005 af (100% of inflow)
 Center-of-Mass det. time= 24.0 min (772.1 - 748.1)

Volume	Invert	Avail.Storage	Storage Description
#1	100.00'	60 cf	Custom Stage Data (Prismatic) Listed below (Recalc)

Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
100.00	50	0	0
100.50	60	28	28
101.00	70	33	60

Device	Routing	Invert	Outlet Devices
#1	Discarded	100.00'	4.000 in/hr Exfiltration over Surface area
#2	Primary	100.50'	4.0' long x 2.0' breadth Broad-Crested Rectangular Weir Head (feet) 0.20 0.40 0.60 0.80 1.00 1.20 1.40 1.60 1.80 2.00 2.50 3.00 3.50 Coef. (English) 2.54 2.61 2.61 2.60 2.66 2.70 2.77 2.89 2.88 2.85 3.07 3.20 3.32

Discarded OutFlow Max=0.01 cfs @ 12.08 hrs HW=100.53' (Free Discharge)
 ↳ **1=Exfiltration** (Exfiltration Controls 0.01 cfs)

Primary OutFlow Max=0.06 cfs @ 12.08 hrs HW=100.53' (Free Discharge)
 ↳ **2=Broad-Crested Rectangular Weir** (Weir Controls 0.06 cfs @ 0.46 fps)

Summary for Link 1.0L: POA

Inflow Area = 0.181 ac, 77.81% Impervious, Inflow Depth = 2.83" for 10-Yr event
 Inflow = 0.66 cfs @ 12.07 hrs, Volume= 0.043 af
 Primary = 0.66 cfs @ 12.07 hrs, Volume= 0.043 af, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-48.00 hrs, dt= 0.01 hrs

07126-130 Eastern Promenade

Type III 24-hr 25-Yr Rainfall=5.50"

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Summary for Subcatchment 1.1S: Proposed Conditions

Runoff = 0.75 cfs @ 12.07 hrs, Volume= 0.052 af, Depth= 3.71"

Runoff by SCS TR-20 method, UH=SCS, Time Span= 0.00-48.00 hrs, dt= 0.01 hrs
Type III 24-hr 25-Yr Rainfall=5.50"

Area (sf)	CN	Description
1,754	39	>75% Grass cover, Good, HSG A
* 5,551	98	Paved parking & roofs & deck
7,305	84	Weighted Average
1,754		Pervious Area
5,551		Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0	32		0.11		Direct Entry,

Summary for Subcatchment 1.2S: Proposed Conditions - to Rain Garden

Runoff = 0.08 cfs @ 12.07 hrs, Volume= 0.006 af, Depth= 5.26"

Runoff by SCS TR-20 method, UH=SCS, Time Span= 0.00-48.00 hrs, dt= 0.01 hrs
Type III 24-hr 25-Yr Rainfall=5.50"

Area (sf)	CN	Description
* 600	98	Paved parking & roofs & deck
600		Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0	32		0.11		Direct Entry,

Summary for Subcatchment 1S: Existing Conditions

Runoff = 0.76 cfs @ 12.07 hrs, Volume= 0.052 af, Depth= 3.44"

Runoff by SCS TR-20 method, UH=SCS, Time Span= 0.00-48.00 hrs, dt= 0.01 hrs
Type III 24-hr 25-Yr Rainfall=5.50"

Area (sf)	CN	Description
2,266	39	>75% Grass cover, Good, HSG A
* 5,639	98	Paved parking & roofs & deck
7,905	81	Weighted Average
2,266		Pervious Area
5,639		Impervious Area

07126-130 Eastern Promenade

Type III 24-hr 25-Yr Rainfall=5.50"

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Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0	53		0.18		Direct Entry,

Summary for Pond 1.2P: Rain Garden

Inflow Area = 0.014 ac, 100.00% Impervious, Inflow Depth = 5.26" for 25-Yr event
 Inflow = 0.08 cfs @ 12.07 hrs, Volume= 0.006 af
 Outflow = 0.08 cfs @ 12.08 hrs, Volume= 0.006 af, Atten= 0%, Lag= 0.4 min
 Discarded = 0.01 cfs @ 12.08 hrs, Volume= 0.004 af
 Primary = 0.07 cfs @ 12.08 hrs, Volume= 0.002 af

Routing by Stor-Ind method, Time Span= 0.00-48.00 hrs, dt= 0.01 hrs
 Peak Elev= 100.54' @ 12.08 hrs Surf.Area= 61 sf Storage= 30 cf

Plug-Flow detention time= 23.6 min calculated for 0.006 af (100% of inflow)
 Center-of-Mass det. time= 23.6 min (769.1 - 745.5)

Volume	Invert	Avail.Storage	Storage Description
#1	100.00'	60 cf	Custom Stage Data (Prismatic) Listed below (Recalc)
Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
100.00	50	0	0
100.50	60	28	28
101.00	70	33	60

Device	Routing	Invert	Outlet Devices
#1	Discarded	100.00'	4.000 in/hr Exfiltration over Surface area
#2	Primary	100.50'	4.0' long x 2.0' breadth Broad-Crested Rectangular Weir Head (feet) 0.20 0.40 0.60 0.80 1.00 1.20 1.40 1.60 1.80 2.00 2.50 3.00 3.50 Coef. (English) 2.54 2.61 2.61 2.60 2.66 2.70 2.77 2.89 2.88 2.85 3.07 3.20 3.32

Discarded OutFlow Max=0.01 cfs @ 12.08 hrs HW=100.54' (Free Discharge)
 ↳ **1=Exfiltration** (Exfiltration Controls 0.01 cfs)

Primary OutFlow Max=0.07 cfs @ 12.08 hrs HW=100.54' (Free Discharge)
 ↳ **2=Broad-Crested Rectangular Weir** (Weir Controls 0.07 cfs @ 0.48 fps)

Summary for Link 1.0L: POA

Inflow Area = 0.181 ac, 77.81% Impervious, Inflow Depth = 3.54" for 25-Yr event
 Inflow = 0.82 cfs @ 12.07 hrs, Volume= 0.054 af
 Primary = 0.82 cfs @ 12.07 hrs, Volume= 0.054 af, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-48.00 hrs, dt= 0.01 hrs



Inspection and Maintenance Plan For Stormwater Management Facilities

**130 Eastern Prom
Portland, Maine**

June 2011

Stormwater management facilities include paved surfaces and the rain garden. During construction activities, the maintenance of all stormwater measures will be the direct responsibility of the Contractor. After acceptance by the Owner, the maintenance of all stormwater management facilities, the establishment of any contract services required for implementing the program, and the keeping of records and maintenance log book will be the responsibility of the owner at 130 Eastern Prom. At a minimum, the following maintenance activities for each stormwater management system shall be performed on the prescribed schedule.

PAVED SURFACES

Accumulations of sediment, wood debris, and winter sand along paved surfaces shall be cleared at least once a month, and periodically during the year on an as-needed basis, to minimize transportation of sediment during rainfall events. Accumulations on pavement may be removed by pavement sweeping or vacuuming. Accumulations of sand along road shoulders may be removed by grading excess sand to the pavement edge and removing it manually or by a front-end loader. Grading of gravel roads, or grading of the gravel shoulders of gravel or paved roads, must be routinely performed to ensure that stormwater drains immediately off the road surface to adjacent buffer areas or stable ditches, and is not impeded by accumulations of graded material on the road shoulder or by excavation of false ditches in the shoulder.

RAIN GARDEN

The rain garden should be inspected after every major storm in the first few months to ensure proper function. Thereafter, the filter should be inspected at least once every six months to ensure that it is draining within 48 hours. The top several inches of the surface shall be replaced with fresh material when water ponds on the surface of the bed for more than 72 hours. The removed sediments should be disposed of in an acceptable manner.

Fertilization of rain garden area should be avoided unless absolutely necessary to establish vegetation. Harvesting and pruning of excessive growth will need to be done occasionally. Weeding to control unwanted or invasive plants may also be necessary.

HOUSEKEEPING

As part of the construction and post-construction controls, the following housekeeping general procedures will apply:

Spill Prevention

A. Material Management Practices:

The following are the material management practices that will be used to reduce the risk of spills or other accidental exposure of materials and substances to storm water runoff:

~~Good Housekeeping – The following good housekeeping practices will be followed onsite during the construction project:~~

- An effort will be made to store only enough product required to do the job;
- All materials stored onsite will be sorted in a neat orderly manner in their appropriate containers and, if possible, under a roof, plastic or other weatherproof enclosure;
- Products will be kept in their original containers with the original manufacturer's label;
- Substances will not be mixed with one another unless recommended by the manufacturer's;
- Whenever possible, all of a product will be used up before disposing of the container;
- Manufacturer's recommendations for proper use and disposal will be followed; and
- The contractor will inspect daily to ensure proper use and disposal of materials.

~~Hazardous Products – These practices are used to reduce the risks associated with hazardous materials:~~

- Products will be kept in original containers unless they are not re-sealable;
- Original labels and material safety data will be retained; they contain important product information; and
- If surplus product must be disposed of, follow manufacturer, State or Federal recommended methods for proper disposal (whichever is most stringent)

B. Product Specific Practices

The following product specific practices will be followed onsite:

- Petroleum Products: All onsite vehicles will be monitored for leaks and receive regular preventative maintenance to reduce the chance of leakage. Petroleum products will be stored in tightly sealed containers which are clearly labeled. Any asphalt substances used onsite will be applied according to the manufacturer's recommendations.
 - Fertilizers: Fertilizers used will be applied in the amounts as required by the project specifications. Once applied, fertilizer will be worked into the soil to limit exposure to stormwater. Onsite storage will be under plastic or weatherproof enclosure. The contents of any partially used bags of fertilizer will be transferred to a sealable container to avoid spills.
 - Paints: All containers will be tightly sealed and stored when not required for use. Excess paint will not be discharged to the ground, ditches or storm sewer system but will be properly disposed of according to manufacturer's instructions in compliance with federal, state and local regulations.
- C. Spill Control Practices - In addition to the good housekeeping and material management practices discussed in the previous sections of this plan, the following practices will be followed for spill prevention and cleanup:
- Manufacturer's recommended methods for spill cleanup will be clearly posted and site personnel will be made aware of the procedures and the location of the information and cleanup supplies;
 - Materials and equipment necessary for spill cleanup will be kept in the material storage area onsite. Equipment and materials will also include but not limited brooms, dust pans, mops, rags, gloves, goggles, kitty litter, sand, sawdust, and plastic and metal trash containers specifically for this purpose;
 - All spills will be cleaned up immediately after discovered;
 - The spill area will be kept well ventilated and personnel wear appropriate protective clothing to prevent injury from contact with a hazardous substance;
 - The spill prevention plan will be adjusted to include measures to prevent this type of spill from reoccurring and how to clean up the spill if there is another one. A description of the spill, what caused it, and the cleanup measures will also be included; and
 - The Contractor's Superintendent will act as spill prevention and cleanup coordinator. He/she will designate at least personnel who will receive spill prevention and cleanup training. These individuals will each become responsible for a particular phase of prevention and cleanup. The names and responsible spill personnel will be posted in the office trailer onsite.

DISPOSAL

Any sediment or debris removed during maintenance of the stormwater system must be disposed of in accordance with the Maine Solid Waste Disposal Rules.

RECORDKEEPING

The owner of 130 Eastern Prom will keep a written maintenance log that summarizes inspections, maintenance, and any corrective actions taken. The log shall include the date on which each inspection or maintenance task was performed, a description of the inspection findings or maintenance completed, and the name of the inspector or maintenance personnel performing the task. If a maintenance task requires the clean-out of any sediment or debris, the location where the sediment or debris was disposed after removal will be indicated. This log shall be made available to the Maine Department of Environmental Protection and Design Engineer upon request.

Maintenance Log
Sample Inspection Report:

130 EASTERN PROM
STORMWATER FACILITIES INSPECTION REPORT

NAME: _____ SIGNATURE: _____

TITLE: _____ COMPANY: _____

DATE: _____

OBSERVATIONS:

<u>BMP</u>	<u>Defects</u>	<u>Location(s)</u>	<u>Repair/Action Needed</u>	<u>Date/Action taken</u>
Paved Surfaces	Yes/no			
Rain Garden	Yes/no			

130 Eastern Promenade
Existing Site Photographs



View of Existing Building from Eastern Promenade



View of Existing Building from Wilson Street



View of Casco Bay from rear of Existing Property across Green Space



View of existing building from corner of Wilson Street and Eastern Promenade

21 June 2011

Mr. Patrick J. Carroll, Principal
Carroll Associates
217 Commercial St.
Suite 200
Portland, ME 04101

RE: The Capacity to Handle an Anticipated Increase in Wastewater Flows, from the Proposed Project at 130 Eastern Promenade, Portland, Maine.

Dear Mr. Carroll:

The existing ten-inch vitrified clay pipe combined sewer, located in Eastern Promenade has adequate capacity to **transport**, while The Portland Water District sewage treatment facilities, located off Marginal Way, have adequate capacity to **treat** the anticipated wastewater flows of **540 GPD**, from your proposed project.

<u>Anticipated Wastewater Flows from the Proposed Project:</u>	
Three Proposed Two-Bedroom Condominiums @ 180 GPD/Unit	= <u>540 GPD</u>
Total Proposed Wastewater Flows for this Project	= 540 GPD

The City combined sewer overflow (C.S.O.) abatement consent agreement, with the U.S.E.P.A. and the Maine D.E.P., requires C.S.O. abatement, as well as storm water mitigation, in order to offset any increase in sanitary flows, from all projects.

If The City can be of further assistance, please call 874-8846.

Sincerely,
CITY OF PORTLAND

Charles M. Moore
Engineering Technician

CC: Barbara Barhydt, Development Review Services Manager, Department of Planning, and Urban Development, City of Portland
Shukria Wiar, Planner, Planning & Development, City of Portland
David Margolis-Pineo, Deputy City Engineer
Michael Farmer, P.E., Project Engineer, City of Portland
Bradley A. Roland, P.E., Environmental Projects Engineer, City of Portland
Stephen K. Harris, Assistant Engineer, City of Portland
Matthew Doughty, Field Inspections Coordinator, City of Portland
John Emerson, Wastewater Coordinator, City of Portland
Jane Ward, Administrative Assistant, City of Portland



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590 Madison Avenue
23rd floor
New York, NY 10022-2526
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Fax 212-333-8949
Tel. 212-333-8849

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Vice President
brian.mcloughlin@ubs.com

www.ubs.com

June 20, 2011

Shukria Wiar
Planner
City of Portland
389 Congress Street
Portland, Maine 04101

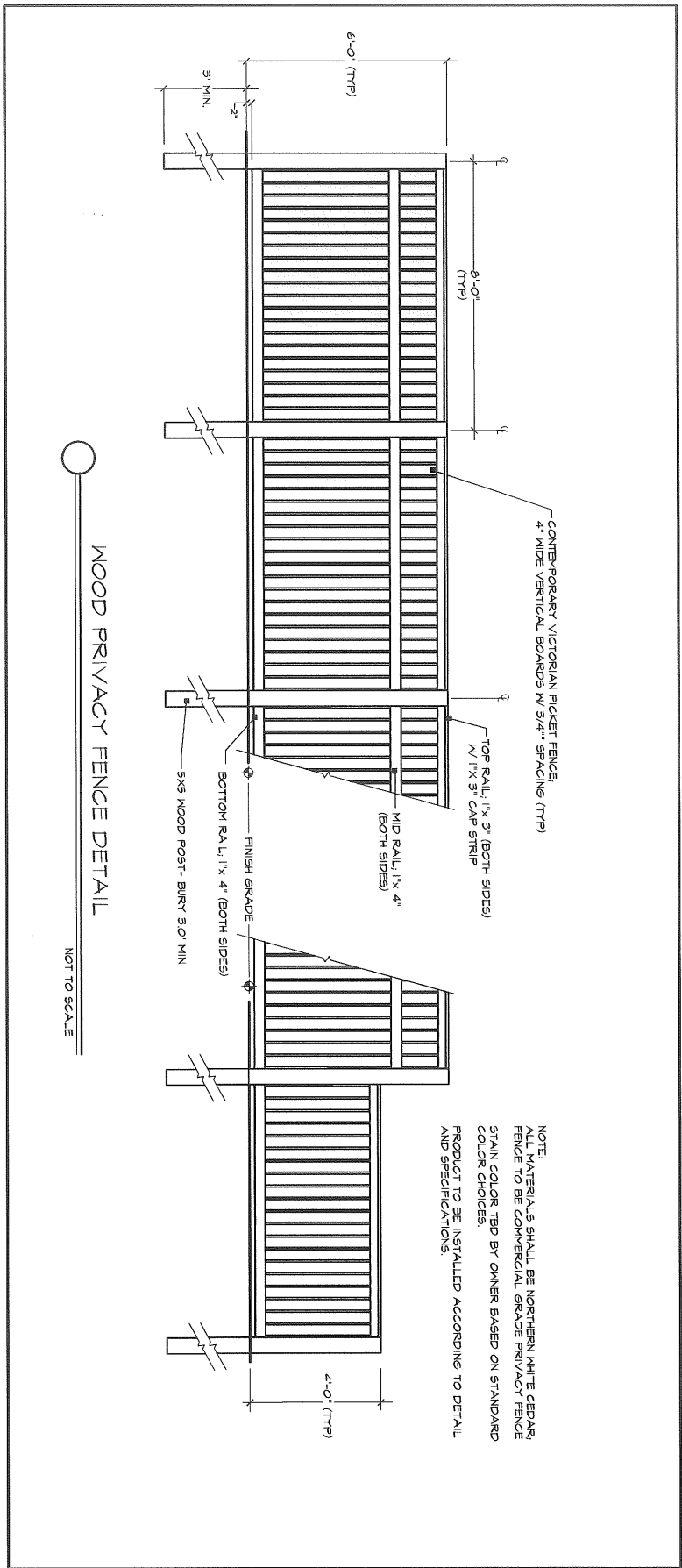
Dear Ms. Wiar,

This letter confirms Wellin & Co (dba Fish House Realty LLC) holds an account with us in excess of \$1,000,000.00 in liquid assets.

Sincerely,

A handwritten signature in cursive script that reads "Andrew duPont".

Andrew duPont



CONTEMPORARY VICTORIAN PICKET FENCE
4" WIDE VERTICAL BOARDS W/ 3/4" SPACING (TYP)

TOP RAIL: 1" x 3" (BOTH SIDES)
W/ 1" x 3" CAP STRIP

MID RAIL: 1" x 4" (BOTH SIDES)

BOTTOM RAIL: 1" x 4" (BOTH SIDES)

FINISH GRADE

5x5 WOOD POST - BURY 3' MIN

NOTE:
ALL MATERIALS SHALL BE NORTHERN WHITE CEDAR;
FENCE TO BE COMMERCIAL GRADE PRIVACY FENCE
STAIN COLOR TBD BY OWNER BASED ON STANDARD
COLOR CHOICES.
PRODUCT TO BE INSTALLED ACCORDING TO DETAIL
AND SPECIFICATIONS.

PROJECT: 130 EASTERN PROMENADE - PORTLAND, MAINE

DRAWING TITLE: **PROPOSED PRIVACY FENCING AT P.L.**

DATE: JUNE 21, 2011

SCALE: N.T.S.

CARROLL ASSOCIATES
Landscape Architects
217 Commercial St. Portland, ME
Ph: 207.772.1552 Fax: 207.772.0712

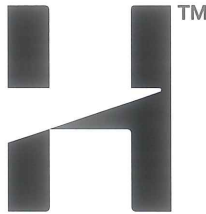
SHEET NO.
L-SK-1

Border Lite

Cat. No. BL

Cat. No. BL/R

Cat. No. BLG9

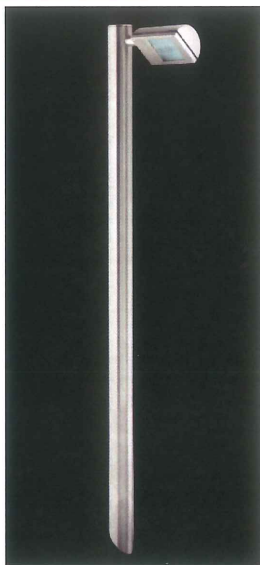
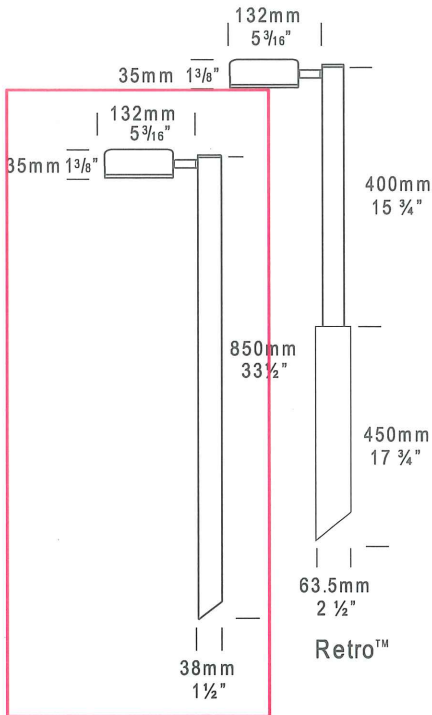


The Border Lite is ideal for path lighting giving a wide spread of light with no upward projection. This luminaire has a fully adjustable arm allowing 360 degree rotation and 0 - 90 degree elevation.

The Retro™, which is a mains option, avoids the need to bury a transformer. The 110/240-12 volt electronic transformer is built into the pole and is a double insulated safety isolating transformer, this changes the luminaire to an IP56 rating.

This luminaire is equipped with Hunza's Anti-Syphon™ (not Retro luminaires) system which has been designed to counter the problem of wicking (siphoning) of water through the supply cable into the lamp housing, causing water to condense and dramatically shorten the life of the lamp, lamp holder and luminaire.

A G9 version of this luminaire is also available for line voltage lamps.



Ordering Information

Luminaire Type

BL - Border Lite

Material/Finish

BK - Black
 BZ - Bronze
 GN - Green
 STAR - Silver Star
 WH - White
 WB - Birch
 DG - Dark Grey
 OG - Olive Green
 RG - Beige
 PR - Primrose
SBZ - Solid Bronze
 SS - 316 Stainless Steel

Accessories

CJK150 - Cable Joint Kit
 LENSBLC - Clear Lens
 /R - Retro™ Transformer
 110/240-12 volt
 G9 - G9 option
 For LED refer to page 10.4

Ordering Example: BL BZ - Border Lite in Bronze
 BL/R BK - Border Lite Retro™ Black
 BLTG9 BK - Border Lite Twin G9 in Black
 (Accessories ordered separately)

HUNZA™ PURE
 OUTDOOR
 LIGHTING

HUNZA FACTORY
 130 Felton Mathew Ave
 Glen Innes
 Auckland 1072
 New Zealand

Ph: 64-9-528 9471
 Fax: 64-9-528 9361
 hunza@hunza.co.nz
 www.hunza.co.nz

INTERNATIONAL CONTACTS:
www.hunza.co.nz/contacts.php

Specifications may change without notice.
 Manufactured in New Zealand.
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Ver 1.4

Luminaire Construction

Head:

Cast from either 316 Stainless Steel, LG2 Bronze or virgin high corrosion resistant CC401 low copper aluminium alloy, with chromate substrate and high UV resistant polyester powder coat.

Colours Black, Bronze, Green, Silver Star, White, Birch, Dark Green, Olive Green, Beige, Primrose.

Poles: Aluminium, Copper, 316 Stainless Steel 38mm (1½") x 850mm (33½") tube.

Retro™: Pole - 38mm (1½") x 410mm (16") tube.

Transformer Pole: 63.5mm (2½") x 440mm (17½").

Mounting

Pole 850mm (33½") directly mounted into the earth. Retro™ - set in concrete.

Features

Cable:

Water resistant rubber with HUNZA™ Anti-Syphon™ water barrier system.

Lens:

3mm Frosted tempered shatter resistant glass with a Lifetime Warranty.

Gaskets:

Silicone, 150°C (302°F).

Lamp Holder:

G4 - 350°C (662°F) ceramic multi contact lamp holder with 250°C (480°F) teflon cables.

G9 - 280°C (536°F) ceramic lamp holder with 250°C (480°F) teflon cables.

Accessories:

Cable Joint Kit (Cat. CJK150). Not approved for USA /Canada.

Clear Lens (Cat. LENSBLC).

Retro™ transformer 110/240-12 volt (Cat. /R) IP56.

G9 Option (Cat. G9).

Note: The Hunza Super Spike is not compatible with the 38mm pole.

Swivels: Aluminium and Solid Bronze luminaires - 360° rotation and 0 - 90° elevation, solid brass with anti rust spring.

Stainless Steel luminaires - 360° rotation and 0 - 90° elevation, full stainless steel construction.

Standards

IP56/IP66  UL1838

Luminaire Weight

12 volt:

Alum .800kg (1lb 8oz)

SS 1.6kg (3lb 8oz)

BRZ 1.7kg (3lb 12oz)

Retro™:

Alum 2.00kg (4lb 6oz)

SS 3.15kg (6lb 15oz)

BRZ 3.4kg (7lb 8oz)

Power Supply

HUNZA™ Inground or Wall Mount Transformer: not included.

RETRO™ IP56

HUNZA™ 110/240-12 volt ac potted electronic transformer is built into the pole. Dimmable with a suitable Leadingedge dimmer. *Note see page 9.3 for details.

USA and Canada:

HUNZA™ Wall Mount Transformer: not included.

Luminaire: supplied with

G4 Bi - Pin 20 watt lamp max.

G9 - 25 watt lamp max.

LED - Refer sheet no. 10.4

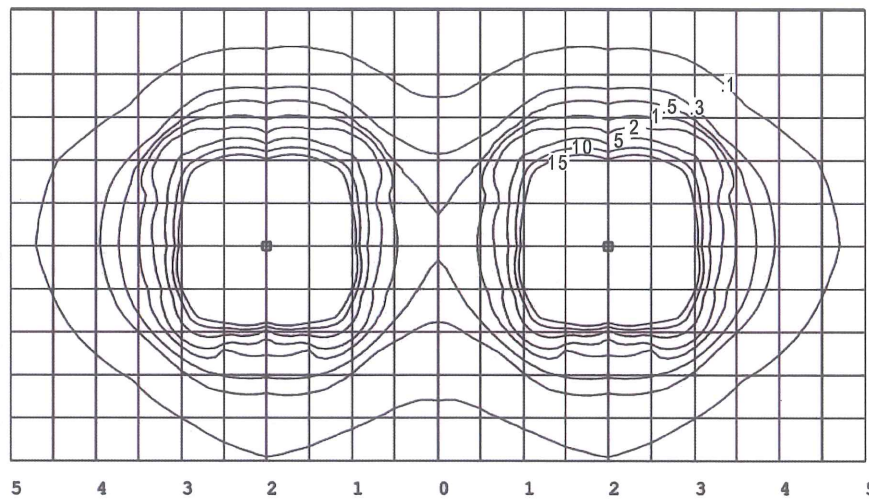
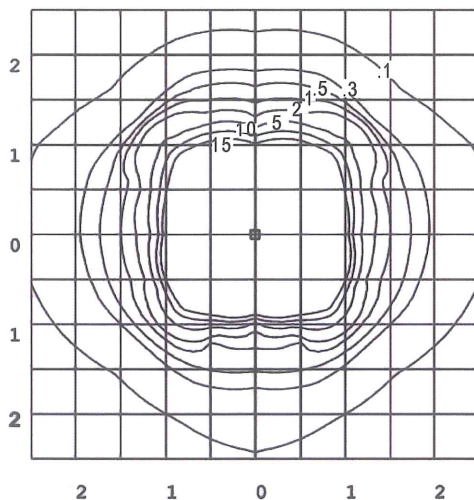
USA and Canada:

G4 Bi - Pin 20 watt lamp max.

G9 - 25 watt lamp max.

LED - Refer sheet no. 10.4

Border Lite G4 20 watt lamp lens height 600mm (24")



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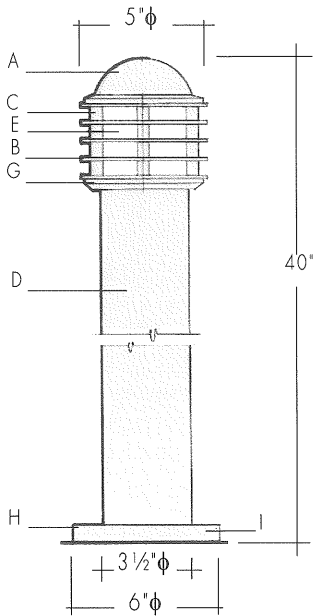
Specifications may change without notice.
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Ver 1.4

TEKA

ILLUMINATION

T-6
Beacon Dome Top



Description

Exterior bollard luminaire

Materials and Construction

- A. Cast bronze cap
- B. Stainless steel or copper on stainless steel ring baffles
- C. Brass spacers, .5" diameter
- D. Heavy, .125" wall, pure copper post - 3.5" O.D.
- E. Etched clear glass cylinder
- F. Stainless steel fasteners
- G. Cast bronze housing
- H. Cast bronze base
- I. Stainless steel and cast bronze anchor plate
- J. 13W PLC models supplied with HPF electronic 120V ballast, -1.5° starting temperature

Mounting

TEKA mounting kit #34 - supplied, allows for (2) 3/4" maximum trade

Product Number	Lamp	Rings	Finish Option
BDT-2546 / Natural	60W A19	SS	Brown Patina
BDT-2516 / Natural	60W A19	Copper	Brown Patina
BDT-2566 / Nickel*	60W A19	SS	None
BDT-2542 / Natural	13W PLC	SS	Brown Patina
BDT-2512 / Natural	13W PLC	Copper	Brown Patina
BDT-2562 / Nickel*	13W PLC	SS	None

*Nickel Plate

Options available at additional cost...

- A. Add suffix # 277 to PLC models for integral 277V electronic ballast, -1.5°F starting temperature
- B. Add suffix BP for brown patina
- C. Higher or lower overall heights available, consult factory
- D. Add suffix HS for 180° external, copper, house-side shield

Note

ETL Listed to ANSI/UL Standard 1598 and Certified to CAN/CSA Standard C22.2 No. 250

XL15i

Super Efficiency Air Conditioner

The Industry's Highest Performing Single-Stage System*

1 WEATHERGUARD II™ TOP

Made of a durable polycarbonate material, it's attractive, functional and built to last. The top shields the unit from leaves, ice and other debris, and directs noise and hot air upward away from plants.

2 ALL NEW OUTDOOR FAN BLADE AND MOTOR

Trane's quietest airflow system saves energy.

3 QUICK-SESS™ CABINET FOR QUICK ACCESS TO ELECTRICAL AND REFRIGERANT CONTROLS

All electrical and refrigeration components are easily accessed for fast installation and service.

4 REFRIGERANT FILTER DRIER

Prolongs unit life and system reliability by keeping refrigerant clean and dry.

5 CLIMATUFF® COMPRESSOR

Every Trane compressor is tested for quality assurance. Backed by a 10-year limited warranty.

6 ALL NEW COMPRESSOR SOUND INSULATOR

Wraps the compressor in insulation to reduce operating noise and provide for quieter operation.

7 INTEGRATED FAN ORIFICE

Trane's unique mounting of the shaft down fan motor and integrated fan orifice improves airflow and enhances performance. This innovative design also provides quieter operation.

8 ALL-ALUMINUM SPINE FIN™ COIL

Internally grooved, continuous tubes in each circuit help prevent refrigerant leaks while providing low airflow resistance and efficient heat transfer. So corrosion resistant, we back it with a 10-year limited warranty.

9 GALVANIZED STEEL LOUVERS

Designed for maximum coil protection and long-lasting durability.

10 POWDER PAINT FINISH

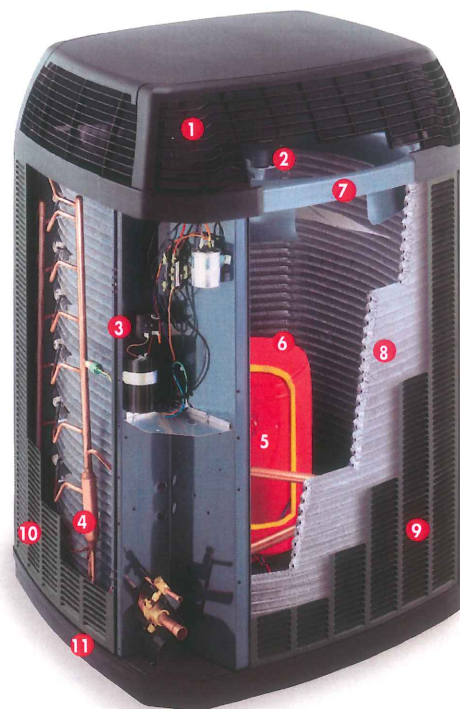
Blends well with any architectural style. Baked-on, porcelain-like powder paint covers all louvered panels uniformly, increasing protection from rust and corrosion.

11 DURATUFF™ BASEPAN

Duratuff basepan is designed with a unique construction technique for extra support. Made with a durable composite material, it will not crack, warp, corrode or rust.

10-YEAR LIMITED PARTS WARRANTY

Industry-leading, 10-year limited warranty on compressor, coil and all internal functional parts.



Features and components may vary by model and are for illustration purposes only.



UP TO
16.50
SEER

Seasonal Energy Efficiency Ratio. Ratings are established according to Air Conditioning & Refrigeration Institute procedures and will vary depending on the indoor blower/coil installed as part of your system.



It's Hard To Stop A Trane.®

*XL15i heat pump available February 2005.



Introducing The XL15i: The Industry-Leading Single-Stage System

Trane continues its leadership role in outdoor systems with the introduction of the XL15i super efficiency air conditioner, which features a new fan blade and motor system, as well as a new compressor sound enclosure. The XL15i bridges the gap between the 14 SEER offering and the XL16i two-step air conditioner, giving you and your customers the highest performing single-stage system in the industry with a SEER of up to 16.50.

BENEFITS:

- **Lowest operating cost of any Trane single-stage comfort system**
- **Highest utility rebates available for any Trane single-stage system**
- **Lowest operating sound level of all Trane single-stage families**

XL15i Air Conditioner

Model Number	Capacity	Nominal Tonnage	SEER*	Sound Level	Height (Inches)	Width (Inches)	Length (Inches)
2TTX5024A	25400	2.0	15.75	72	46	37	34
2TTX5030A	29000	2.5	15.25	73	46	37	34
2TTX5036A	34600	3.0	15.25	72	50	37	34
2TTX5042A	40500	3.5	15.00	74	50	37	34
2TTX5048A	47500	4.0	15.25	72	50	37	34

*FTC Label



It's Hard To Stop A Trane.®



2 — 4 Ton 2TTX5018 - 048A

XL 15i Split System Cooling

Specifications: 1 Phase

Model Number	Power Supply	Nom. Cap. Cooling (BTUH)	Uncrated Dimensions(in.)			Mfg. Plant	Shipping Weight
			H	W	D		
2TTX5024A1000A	208/230/1/60	24,000	46	37	34	TY	283
2TTX5030A1000A	208/230/1/60	30,000	46	37	34	TY	284
2TTX5036A1000A	208/230/1/60	36,000	50	37	34	TY	300
2TTX5042A1000A	208/230/1/60	42,000	50	37	34	TY	307
2TTX5048A1000A	208/230/1/60	48,000	50	37	34	TY	337

Accessories:

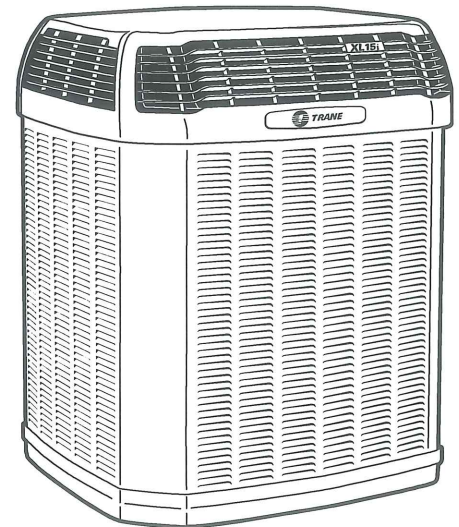
Model Number	Description	Used With	Mfg. Plant	Shipping Weight
Extended Warranties – (See Extended Warranty Section)				
TAYSTAT300C	XT 300C Prog., 7Day, A/M, 1Htg/1Clg	All Cooling Models	TY	2
TAYSTAT302C	XT 302C Prog., 7Day, A/M, 2Htg/2Clg	All Cooling Models	TY	1
TAYSTAT375	Electronic, 2 Htg/2Clg (Non Prog)	All Cooling Models	TY	1
TAYSENS100A	Outdoor Temp. Sensor (With Case)	TAYSTAT300C, 302C, 375	TY	1
TAYSTAT340	Prog., 5/2 Day, Manual, 1Htg/1 Clg	All Cooling Models	TY	1
TAYSTAT350	Prog., 5/2 Day, Manual, 2(Gas) Htg/1 Clg	All Cooling/Gas Models	TY	1
TCONT200AN11AA	Electronic, 1Htg/1Clg (Non Prog.)	All Cooling/(Gas or Elec)	TY	1
TAYSTAT380	Electronic, 2 Htg (Gas)/1 Clg (Non Prog.)	All Cooling/Gas Models	TY	1
TAYSTAT241	Manual 2 Stg Htg/1 Clg	All Cooling Models	TY	1
TAYSTAT250B	Outdoor Thermostat	Cooling & Heat Pump Models	TY	1
AY28X079	Evap. Defrost Control Kit	All Cooling Models	TY	1
BAY24X045	ID Fan Delay Relay Kit	All Cooling Models	TY	1
TAYASCT501A [Ⓞ]	5 Minute Delay Relay	All Cooling Models	TY	1
BAYKSKT260	Start Kit	2 - 4 Ton Models	TY	1
BAYECMT001	Extreme Condition Mounting Kit	All Cooling Models	TY	2
BAYCCHT301	Crankcase Heater Kit	2 - 4 Ton Models	TY	1
BAYISLT101	Rubber Isolators	All Cooling Models	TY	1

[Ⓞ] Not for use with programmable thermostats.

Features:

- Climatuff® compressor
- Efficiency up to 16.50 SEER
- All aluminum Spine Fin™ coil
- WeatherGuard™ II top shields unit
- DuraTuff™ base, fast complete drain, weather proof
- WeatherGuard™ fasteners
- XL seacoast shield
- Industry leading appearance
- Tarpaulin gray cabinet with anthracite gray top
- Low sound with advanced fan system
- Compressor sound insulator
- Quick-Sess™ cabinet, service access and refrigerant connections with full coil protection
- Glossy corrosion resistant finish
- Internal high/low pressure & temperature protection

- All models have designed startability
- Liquid line filter-drier
- Comfort"R"™ mode approved
- Multi-use service valves
- Easy top & fan removal
- Full length control and service valve cover
- R-22 refrigerant
- **10 Year limited warranty on compressor, coil, and internal functional parts (Residential use)**
- **Extended warranties available**
- Low ambient cooling to 55°F as shipped
- Low ambient cooling to 40°F with EDC accessory AY28X079
- Low ambient cooling to 30°F with EDC accessory AY28X079 and TXV





Split System Cooling Condensers

Model: 2TTX5024-048A1000A

It's Hard To Stop A Trane.™

PRODUCT SPECIFICATIONS

OUTDOOR UNIT ①②	2TTX5024A1000A	2TTX5030A1000A	2TTX5036A1000A	2TTX5042A1000A	2TTX5048A1000A
PWR.CONNS. — V/Ph/Hz	208/230/1/60	208/230/1/60	208/230/1/60	208/230/1/60	208/230/1/60
Min. Brch. Cir. Ampacity ③	14	16	18	23	26
Br. Cir. — Max. (Amps)	20	25	30	35	40
Prot. Rtg. — Min. (Amps)	20	20	30	30	40
COMPRESSOR	CLIMATUFF® - SCROLL	CLIMATUFF® - SCROLL	CLIMATUFF® - SCROLL	CLIMATUFF® - SCROLL	CLIMATUFF® - SCROLL
No. Used — Speeds	1 - 1	1 - 1	1 - 1	1 - 1	1 - 1
Volts/Ph/Hz	208/230/1/60	208/230/1/60	208/230/1/60	208/230/1/60	208/230/1/60
R.L. Amps ⑦ — L.R. Amps	10.3 - 56	12.2 - 61.0	13.5 - 73.0	16.5 - 95.0	18.3 - 109
Factory Installed					
Start components ⑧	NO	NO	NO	NO	NO
Insulation/Sound Blanket	YES	YES	YES	YES	YES
Compressor Heat	YES	YES	YES	YES	YES
OUTDOOR FAN	PROPELLER	PROPELLER	PROPELLER	PROPELLER	PROPELLER
Dia. (in.) — No. Used	27.6 - 1	27.6 - 1	27.6 - 1	27.6 - 1	27.6 - 1
Type Drive — No. Speeds	DIRECT - 1	DIRECT - 1	DIRECT - 1	DIRECT - 1	DIRECT - 1
CFM @ 0.0 in. w.g. ④	3475	3475	3700	3700	4300
No. Motors — HP	1 - 1/8	1 - 1/8	1 - 1/8	1 - 1/3	1 - 1/3
Motor Speed R.P.M.	825	825	825	825	825
Volts/Ph/Hz	200/230/1/60	200/230/1/60	200/230/1/60	200/230/1/60	200/230/1/60
F.L. Amps	.90	.90	.90	2.80	2.80
OUTDOOR COIL — Type	SPINE FIN™	SPINE FIN™	SPINE FIN™	SPINE FIN™	SPINE FIN™
Rows — F.P.I.	1 - 24	1 - 24	1 - 24	1 - 24	2 - 24
Face Area (sq. ft.)	24.93	24.93	27.86	27.86	26.37
Tube Size (in.)	3/8	3/8	3/8	3/8	3/8
REFRIGERANT					
Lbs. — HCFC-22 (O.D. Unit) ⑤	7 LBS., 11 OZ.	7 LBS., 9 OZ.	8 LBS., 9 OZ.	8 LBS., 6 OZ.	11 LBS., 6 OZ.
Factory Supplied	YES	YES	YES	YES	YES
Line Size — in. O.D. Gas ⑥	3/4	3/4	7/8	7/8	1 1/8
Line Size — in. O.D. Liq. ⑥	5/16	5/16	3/8	3/8	3/8
FCCV					
Restrictor Orifice Size	N/A	N/A	N/A	N/A	N/A
DIMENSIONS	H X W X D	H X W X D	H X W X D	H X W X D	H X W X D
Crated (in.)	46.4 x 35.1 x 38.7	46.4 x 35.1 x 38.7	53.4 x 35.1 x 38.7	53.4 x 35.1 x 38.7	53.4 x 35.1 x 38.7
WEIGHT					
Shipping (lbs.)	283	284	300	307	337
Net (lbs.)	237	238	252	259	289

- ① Certified in accordance with the Unitary Air-Conditioner Equipment certification program, which is based on ARI Standard 210/240.
- ② Rated in accordance with A.R.I. standard 270.
- ③ Calculated in accordance with Nati. Elec. Codes. Only use with HACR circuit breakers or fuses.
- ④ Standard Air -- Dry Coil -- Outdoor
- ⑤ This value is approximate. For more precise value see unit nameplate and service instruction.
- ⑥ Max. linear length 80 ft. with reciprocating compressor and 60 ft. with scroll compressor; Max. lift - Suction 60 ft.; Max lift - Liquid 60 ft. For greater length consult refrigerant piping software Pub. No. 32-3312-0* (the position of the * denotes latest revision number).
- ⑦ The value shown for compressor RLA on the unit nameplate and on this specification sheet is used to compute minimum branch circuit ampacity and maximum fuse size. The value shown is the branch circuit selection current.
- ⑧ No means no start components. Yes means quick start kit components. PTC means positive temperature coefficient starter.



130 EPRAM PRE-APP. Pat canoll R-6.

SHORT + LONG TERM RENTALS?

PARKING: must be 5ft from prop line
↓ applicable in R-6

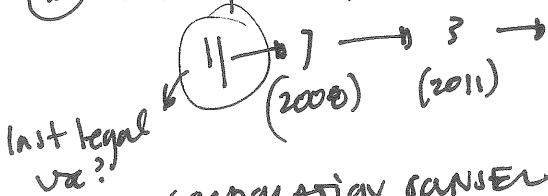
↓ Ms. can't be weekly

flexibility on requirement? In-lieu only in business zone

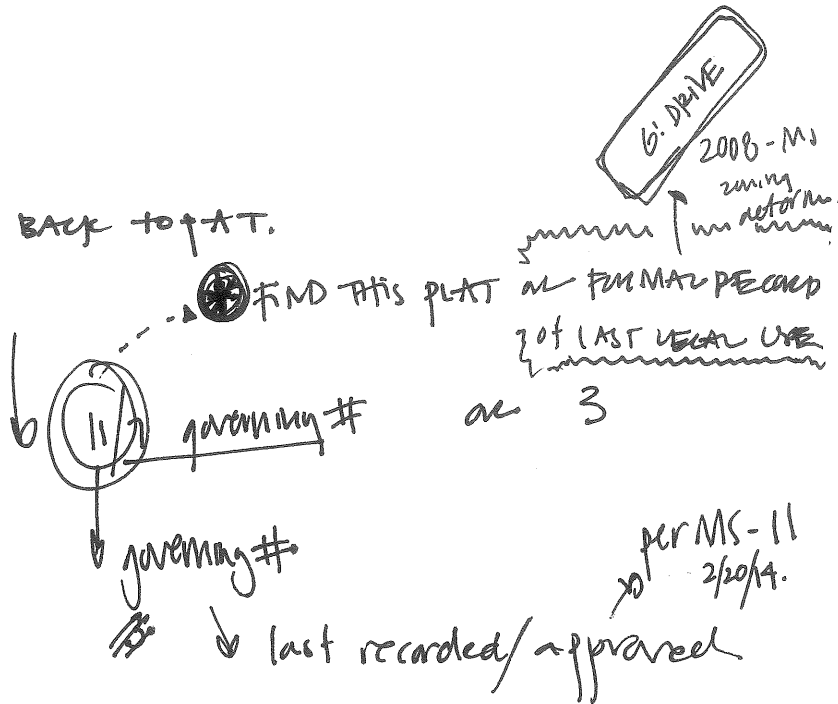
SNOW REMOVAL: haul away

allowance for rental elsewhere

* LEVEL OF REVIEW: new structure - trigger for subdivision?



HP:



per MS-11 2/20/14.
Since decreasing doesn't matter if it's 3 or 4.

if 3 for 5 years, going to 4 anyway
3.6-1.2

∴ NO SUBDIVISION

CITY OF PORTLAND, MAINE
PLANNING BOARD

Janice E. Tevanian, Chair
Thatcher Freund
Bill Hall
Lee Lowry, III
Shalom Odokara
Michael J. Patterson
David Silk

February 12, 2008

Wally Geyer
Casco Bay Ventures
233 Woodville Road
Falmouth, ME 04105

Scott Teas
TFH Architects
100 Commercial Street
Portland, ME 04101

RE: The Estates at Longfellow Inn. 130 Eastern Promenade
Chart: 3 **Block:** C **Lots:** 1 and 2
Application ID: 2007-0123

Dear Mr. Geyer and Mr. Teas:

On January 22, 2008 the Portland Planning Board voted unanimously (7-0) on the following motions regarding the Estates at Longfellow Inn subdivision proposed at 130 Eastern Promenade:

1. That the plan was in conformance with the Subdivision Review Ordinance of the City Land Use Code with the following condition(s):
 - i. The final recording plat meeting the requirements of Portland's Subdivision Ordinance and listing conditions imposed by the Planning Board will be submitted for the Planning Board's Signature.
 - ii. The applicant will provide written evidence that the owners of the title to 130 Eastern Promenade are the same as the applicant, Casco Bay Ventures. This evidence must be reviewed and approved by the Planning Authority prior to recording of the recording plat.
 - iii. The City of Portland Zoning Administrator shall determine that the development proposal meets the open space requirements of Section 14-139(h)(1) of the City Code prior to recording of the recording plat.

2. That the plan is in conformance with the site plan standards of the land use code with the following condition(s):

- i. The revised boundary survey submitted by the applicant must be reviewed and approved by Public Works prior to the issuance of a building permit.
- ii. All final plan sheets must be stamped and signed by a professional engineer.
- iii. All comments submitted by Public Works in their memorandum dated January 16, 2008 (attached) must be addressed and approved by Public Works prior to the issuance of a building permit.
- iv. All comments submitted by Jeff Tarling, City Arborist pertaining to the submitted landscaping plan and identified in his review letter dated January 18, 2008 (attached) must be addressed and approved by Jeff prior to the issuance of a building permit.
- v. The proposed street tree along the Eastern Promenade shall be revised to show an Autumn Blaze Maple (*Acer freemanii*). This change to the plans must be reviewed and approved by Jeff Tarling, City Arborist prior to the issuance of a building permit.
- vi. The proposed trash bins as depicted on the site plans, which are to be located within a stockade fence area, shall be further enclosed including the back, sides and top of the area to be encompassed by the trash bins. The applicant shall submit a plan depicting the enclosure to the Planning Authority for their review and approval prior to the issuance of a building permit.
- vii. The Planning Board finds that Section 14-526(28) of the Land Use Code does not apply to this R-6 property because it is not a vacant lot.

Further, the Planning Board finds that, with respect to any zoning determinations that have been made by the City Zoning Administrator, that those are decisions that she has to make with respect to the zoning ordinance and it is not within the Planning Board's purview to second guess or revisit those zoning determinations.

Further, the Planning Board finds that site plan standard 526(a)(15) of the City Code requires the Board to determine that the design of the proposed building, including architecture style, façade materials, roof pitch, building form and height, are designed to provide positive visual interest and to compliment and enhance the nearest residential neighborhood. Site plan standards also require the Board to look at, among other things, buffering, open space, ample light and air, off-street parking and traffic and pedestrian circulation.

The Board finds that the applicant has done a careful job at fashioning a design that is consistent and compliments the nearest residential neighborhood. The Board finds that the submitted landscape plan demonstrates a fair amount of screening.

These findings are based on the submitted plans, Planning Board Report #05-08 and the presentation boards that have been presented to the Planning Board by the applicant and the Planning Authority.

3. The Planning Board finds that the plan is in conformance with Division 29 – Preservation and Replacement of Housing Units by meeting criteria (6) of the criteria for exemption based on evidence submitted by the applicant that the building, built in 1903, originally contained three (3) dwelling units.

The approval is based on the submitted plan and the findings related to site plan review standards, as contained in Planning Board Report # 05-08 (attached).

Please note the following provisions and requirements for all site plan and subdivision approvals:

1. The above approvals do not constitute approval of building plans, which must be reviewed and approved by the City of Portland's Inspection Division.
2. A performance guarantee covering the site improvements as well as an inspection fee payment of 2.0% of the guarantee amount and seven (7) final sets of plans must be submitted to and approved by the Planning Division and Public Works prior to the release of the subdivision plat for recording at the Registry of Deeds or prior to the release of a building permit, street opening permit or certificate of occupancy for site plans. If you need to make any modifications to the approved plans, you must submit a revised subdivision or site plan application for staff review and approval.
3. The site plan approval will be deemed to have expired unless work in the development has commenced within one (1) year of the approval or within a time period agreed upon in writing by the City and the applicant. Requests to extend approvals must be received before the expiration date.
4. Final sets of plans shall be submitted digitally to the Planning Division, on a CD or DVD, in AutoCAD format (*.dwg), release AutoCAD 2005 or greater.
5. Mylar copies of the construction drawing for the subdivision must be submitted to the Public Works Department prior to the release of the plat.
6. The subdivision approval is valid for three (3) years.
7. A defect guarantee, consisting of 10% of the performance guarantee, must be posted before the performance guarantee will be released.
8. Prior to construction, a pre-construction meeting shall be held at the project site with the contractor, development review coordinator, Public Work's representative and owner to review the construction schedule and critical aspects of the site work. At that time, the site/building contractor shall provide three (3) copies of a detailed construction schedule to the attending City representatives. It shall be the contractor's responsibility to arrange a mutually agreeable time for the pre-construction meeting.
9. If work will occur within the public right-of-way such as utilities, curb, sidewalk and driveway construction, a street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)

The Development Review Coordinator must be notified five (5) working days prior to date required for final site inspection. The Development Review Coordinator can be reached at the Planning Division at 874-8632. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

If there are any questions, please contact Molly Casto at 874-8901

Sincerely,



Janice Tevanian, Chair
Portland Planning Board

Attachments:

1. Applicable staff memo's
2. Planning Board Report # 03-08

Electronic Distribution:

cc: Lee D. Urban, Planning and Development Department Director
Alexander Jaegerman, Planning Division Director
Barbara Barhydt, Development Review Services Manager
Molly Casto, Planner
Philip DiPietro, Development Review Coordinator
Marge Schmuckal, Zoning Administrator
Michael Bobiasky, Public Works Director
Jeanie Bourke, Inspections Division
Kathi Earley, Public Works
Bill Clark, Public Works
Jim Carmody, City Transportation Engineer
Michael Farmer, Public Works
Jeff Tarling, City Arborist
Captain Greg Cass, Fire Prevention
Assessor's Office
Approval Letter File

MEMORANDUM



TO: Molly Casto
FROM: Dan Goyette, PE, and Lauren Swett, EIT
DATE: January 16, 2008
RE: Estates of Longfellow Inn

Woodard & Curran has reviewed the response to comments provided for The Estates of Longfellow Inn. The project proposes to renovate and add to an existing multifamily residential building located at 130 Eastern Promenade in Portland. The garage for the existing building will be demolished and replaced with paved parking, and an expansion will be added to the building to provide room for seven units.

Documents Reviewed

- Response to Comments Letter and additional information for 130 Eastern Promenade, Portland, Maine, prepared by Land Consulting Engineers, PA, on behalf of Casco Bay Ventures, dated January 2, 2008.
- Plan Sheets for The Estates of Longfellow Inn, including C1.2, C1.4, and D3 prepared by TFH Architects and Land Consulting Engineers on behalf of Casco Bay Ventures, dated January 2, 2008.

Comments

- All plan sheets must be stamped and signed by a professional engineer.
- An engineering details sheet was not included with this submission. The response letter from Land Consulting Engineers references a TFH detail sheet, however this has not been included. Woodard & Curran sent a review memo on August 13, 2007 with comments regarding details, however updated and additional details have never been reviewed.
- The utilities detail sheet includes catch basin and casco trap details. The casco trap should also be included on the catch basin detail to show proper installation.
- The PVC line directing surface and roof drainage to the combined sewer line should connect directly into the combined sewer line and not into the existing sewer manhole.

Please contact our office if you have any questions.
DRG/LJS
203943

From: Jeff Taring
To: Molly Casto
Date: 1/18/2008 2:00:49 PM
Subject: 130 Eastern Prom Landscapes Plan Review

Hi Molly -

I reviewed the landscape plan for the 130 Eastern Prom Project and offer the following review & comment:

The proposed plan shows 2 new street-trees to be planted along Wilson Street. (The tree locations can be adjusted due to window spacing etc within the building footprint along the Wilson Street frontage.) An additional street-tree on the Eastern Prom side, following the recent species recommendation of the Eastern Prom master plan recommendations. This would complete the specified number of trees and spacing along the Eastern Prom frontage of the project. On the project property one additional ornamental crabapple is proposed on the South side of the project near the addition. Overall the landscape treatment of ornamental shrubs and landscape beds fits into the character of the nearby residential landscape.

Recommendations / Conditions -

1) To meet the 2-trees per residential unit guidelines a contribution for 10 additional trees to be planted in the project vicinity is recommended. The project unit calculations would require 14 trees and the project is placing four with the project area. The new trees would help fill gaps or replace missing trees in the surrounding neighborhood of the project.

2) That impact to the Eastern Prom lawn area be limited during construction. This would include: no storage of trucks, equipment, materials on the lawn area. All damaged areas to be repaired in a timely manner, the sidewalk pedestrian way along the Eastern Prom be maintained in good condition during construction work.

The project team or contractor shall contact Parks & Recreation concerning construction activities that might effect the Eastern Prom and park areas.

CC: Barbara Barhydt

PLANNING BOARD REPORT #: 05-08

**THE ESTATES AT LONGFELLOW INN
130 EASTERN PROMENADE**

CASCO BAY VENTURES, APPLICANT

SITE PLAN AND SUBDIVISION REVIEW

Submitted to:
Portland Planning Board
Portland, Maine

Submitted by:
Molly Casto, Planner

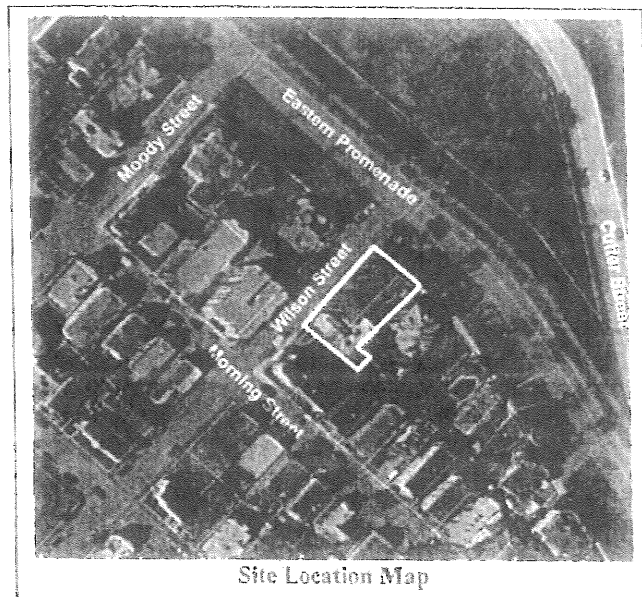
Prepared on: January 18, 2008
Meeting Date: January 22, 2008

I. INTRODUCTION

Casco Bay Ventures has requested subdivision and site plan review and approval for their proposal to renovate and add a three-story addition to the existing building at 130 Eastern Promenade. The project is to be reviewed according to the City of Portland standards for subdivision and for major site plan. The site is located within an R-6 Residential zone.

Notice of the public hearing was sent to 111 area property owners and was advertised in the Portland Press Herald and on the City website.

Representatives for the applicant include TFH Architects and Back Bay Boundary, Inc., both of Portland, Maine.



II. FINDINGS FOR 130 EASTERN PROMENADE

Total Land area:	7,905.9 square feet (.18 acres)
Tax Map:	Tax Map 3-C Lots 1 and 2
Zone:	R-6 Residential
Existing Use:	11-unit apartment building with 2-car garage.
Proposed Use:	7-unit apartment building with paved 7-car parking lot.
Parking:	Proposal to remove garage and construct a seven-car parking lot on site.

III. SITE DESCRIPTION

The site, located at the corner of Eastern Promenade and Wilson Street contains a vacant, eleven (11) unit residential structure composed of a three-story frame building containing nine (9) units, with a single story addition containing two (2) units and a two-car garage.

IV. PROPOSED DEVELOPMENT

The applicant proposes to renovate the existing three-story frame building, demolish the one-story addition and add a three story, three-unit addition on the southeast side. The proposed building will contain seven (7) apartments ranging in size from 1,123 to 1,442 gross sq. ft (excluding porches, decks and balconies). The



applicant proposes to demolish the existing garage in order to accommodate a seven (7) car parking lot including covered parking for five (5) full-size cars and two (2) additional outside parking spaces for compact size vehicles (see submitted plans- [Attachment 14\(e\)](#)).

The total square footage of the proposed building footprint is 3,891 sq. ft. The total gross square footage of the proposed development is 10,534 gross sq. ft. The proposal includes a remaining 2,006 sq. ft of landscaped open space.

V. WAIVER REQUEST- SECTION 14-483

The applicant has submitted a letter to the Planning and Inspections Divisions requesting that the Planning Board grant an exemption from the requirements of Section 14-483- Preservation and Replacement of Housing Units (see [Attachment 13](#)). Section 14-483 requires the review and approval of the Planning Authority. The applicant is seeking to reduce the number of units in this building from eleven (11) to seven (7).

Section 14-483 is intended to limit the net loss of housing units caused by the demolition, consolidation or conversion of residential property. The provisions of this section apply in all zoning districts in cases where three or more lawfully existing dwellings, including dwelling units within multi-family buildings, are demolished, converted to non-residential uses, or eliminated through the reduction or consolidation of units within a residential property within a five (5) year period. The applicant has submitted documentary evidence that they meet exemption criteria (6) as outlined in this section of the Ordinance. Criteria 6 states:

(6) Existing residential structure which, exclusive of additions thereto, contain more dwelling units than they were originally designed and built to accommodate and which are being modified to contain fewer dwelling units, subject to the condition that the number of dwelling units originally intended to be accommodated in such structures can be established by documentary evidence.

The applicant is seeking to reduce the number of units from eleven (11) to seven (7). The applicant has submitted documentation to support their determination that the building at 130 Eastern Promenade was originally built and occupied as a building with three (3) dwelling units in 1903 (see [Attachment 13](#)). The number of dwelling units subsequently increased when the building was converted to hotel use as the *Ye Longfellow Inn* in 1916.

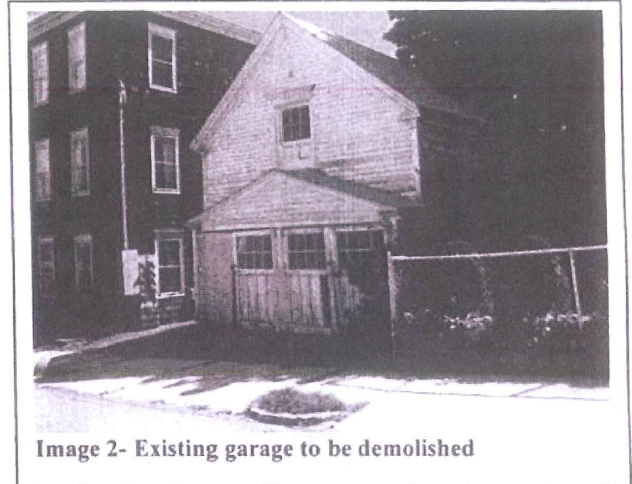


Image 2- Existing garage to be demolished

VI. ZONING

Marge Schmuckal, Zoning Administrator, has reviewed this project for compliance with the City's zoning requirements. Her memo is attached as Attachment 9 and contains the following conclusions:

- The seven (7) requested dwelling units would meet the land area per dwelling unit requirements of the R-6 zone.
- The seven (7) units would require a minimum lot size of 7,800 sq ft of land area. Currently the lot is 7,905.9 square feet, which is in excess of the minimum lot size required.
- The applicant is not prohibited from enlarging the building under section 14-388.
- The enlargement can meet the R-6 zone setbacks as currently shown.

Two abutters to the project have raised concerns about Marge's interpretation of Section 14-382(d) of the City Code with the Planning Board. Those concerns, including a request that the Board table this matter, are included as Attachment 13 (Public Comment). Corporation Counsel's Office indicated at the December 11, 2007 workshop that the Planning Board does not have the authority to make zoning determinations. Such determinations are exclusively within the purview of the Zoning Administrator and the Zoning Board of Appeals.

Parking requirements:

The applicant is not required by zoning (Section 14-332) to incorporate additional parking into their proposal because the proposal does not increase the number of units. The only requirement is that they not reduce off-street parking to less than what exists currently. At present, the property can accommodate approximately two parking spaces in the existing garage. The applicant proposes to increase off-street parking to seven (7) parking spaces, providing one parking space for each unit.

The following chart compares the dimensional requirements of the R-6 zone to the proposed development:

Standard	R-6 Requirements	Proposed Development
Min. Lot Size	4,500 sq. ft.	7,905.9 sq. ft.
Min. Area per Unit	1000 sq. ft./DU for existing building. 1,200 sq. ft. after first 3 DU's = <u>7,800</u> sq. ft minimum for 7 units	7,905.9 sq. ft.
Min. Street Frontage	40 ft	Approx. 65 ft
Min. Front Yard	10 ft	5 ft- existing bldg / <u>15 ft</u> - bldg addition
Min. Side Yard	10 ft	Approx. 2.5 ft- existing bldg/ <u>10 ft</u> - bldg addition
Min. Rear Yard	20 ft	20 ft
Max. Lot Coverage	50%	49.20%
Min. Lot Width	50 ft	Approx. 65 ft
Min. Structure Height	Min. of 2 stories of living space	3 stories of living space
Max. Structure Height	45 ft	Approx. 39 ft.
Open Space Req.	Min width/length = min. 15 ft and slope = <10%.	Approx. (15.7 x 29.3 ft.) + 18.6 x 10 ft.) Open space (25.4%). Slope = < 10%

VII. RIGHT, TITLE OR INTEREST

The applicant submitted a warranty deed as appropriate evidence of ownership of the property (see Attachment 2).

VIII. FINANCIAL CAPACITY

Casco Bay Ventures submitted a letter from Bangor Savings Bank, dated January 2, 2008 stating that the applicant has the financial capacity to complete the project (see Attachment 3).

IX. NEIGHBORHOOD MEETING

Casco Bay Ventures held a neighborhood meeting, a required by City ordinance, on December 27, 2007. Documentation from that meeting is included as Attachment 6

X. SUBDIVISION AND SITE PLAN REVIEW

The proposed development has been reviewed by Planning staff for conformance with the relevant review standards of the subdivision and site plan ordinances. Staff comments are highlighted in this report.

3. Final sets of plans shall be submitted digitally to the Planning Division, on a CD or DVD, in AutoCAD format (*.dwg), release AutoCAD 2005 or greater.
4. A performance guarantee covering the site improvements as well as an inspection fee payment of 2.0% of the guarantee amount and seven (7) final paper sets of plans must be submitted to and approved by the Planning Division and Public Services Dept. prior to the release of the subdivision plat for recording at the Registry of Deeds or prior to the release of a building permit, street opening permit or certificate of occupancy for site plans. If you need to make any modifications to the approved plans, you must submit a revised subdivision or site plan application for staff review and approval.
5. The site plan approval will be deemed to have expired unless work has commenced within one (1) year of the approval or within a time period agreed upon in writing by the City and the applicant. Requests to extend approvals must be received before the expiration date.
6. A defect guarantee, consisting of 10% of the performance guarantee, must be posted before the performance guarantee will be released.
7. Prior to construction, a pre-construction meeting shall be held at the project site with the contractor, development review coordinator, Public Service's representative and owner to review the construction schedule and critical aspects of the site work. At that time, the site/building contractor shall provide three (3) copies of a detailed construction schedule to the attending City representatives. It shall be the contractor's responsibility to arrange a mutually agreeable time for the pre-construction meeting.
8. If work will occur within the public right-of-way such as utilities, curb, sidewalk and driveway construction, a street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)

The Development Review Coordinator must be notified five (5) working days prior to date required for final site inspection. The Development Review Coordinator can be reached at the Planning Division at 874-8632. All site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

If there are any questions, please contact Shukria Wiar at 756-8083 or via shukriaw@portlandmaine.gov

Sincerely,

Alexander Jaegerman
Planning Division Director

Attachments:

1. David Senus memorandum dated 06.27.2011
2. Performance Guarantee Packet

4. Traffic, Parking and Pedestrian Circulation

As stated in the zoning section of this memorandum, the applicant is not required to increase the number of off-street parking spaces due to an overall reduction in the number of units. The applicant, however, has chosen to incorporate seven (7) parking spaces into their proposal. Five (5) of these are standard sized spaces (approx. 9' x 19') located under a building overhang. The remaining two (2) are compact-sized surface parking spaces (7'6" x 15').

Jim Carmody, Traffic Engineer, has reviewed parking and circulation and submitted the following comments:

I have reviewed the plan showing the parking layout. The layout is sufficient in dimensions of the parking spaces including 2 compact spaces, and the aisle width meets city standards. There is adequate width for vehicles to maneuver and able to exit the parking area going forward.

A buffer of arborvitae has been proposed around the parking area. The two existing cedar trees and two existing elms between the proposed lot and the abutter's parking lot at 14 Wilson Street will be preserved, providing additional screening (see submitted landscape plan. Sheet C1.4-Attachment 14(g)).

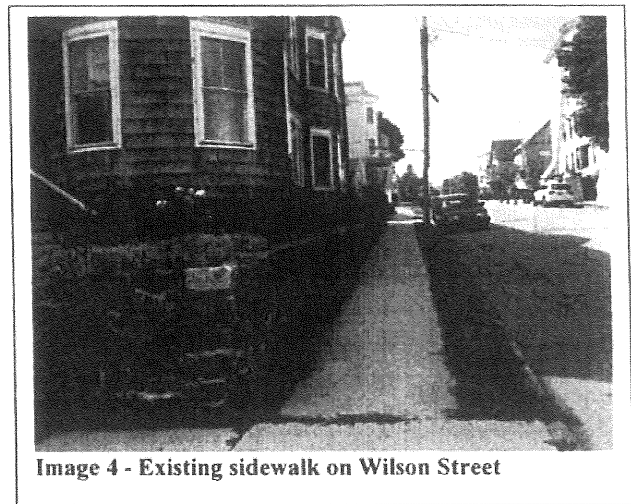


Image 4 - Existing sidewalk on Wilson Street

Continuation of the Wilson Street Sidewalk:

Section 14-498- *Technical and Design Standards*, of the Subdivision Ordinance grants Public Works the authority to promulgate technical and design standards for subdivisions and site plans. Section 14-498 (8) – *sidewalks and curbs* states:

Sidewalks shall be constructed on each side of each street in accordance with article III of chapter 25. Sidewalks to be used by pedestrians are to be so located as to minimize contacts with normal automotive traffic, with preference given to interior walks away from streets in common open space in block interiors.

Section 14-499 of the Subdivision Ordinance lists required improvements for all subdivisions. 14-499 (d) states:

Sidewalks and curbs shall be constructed as required in section 14-498.

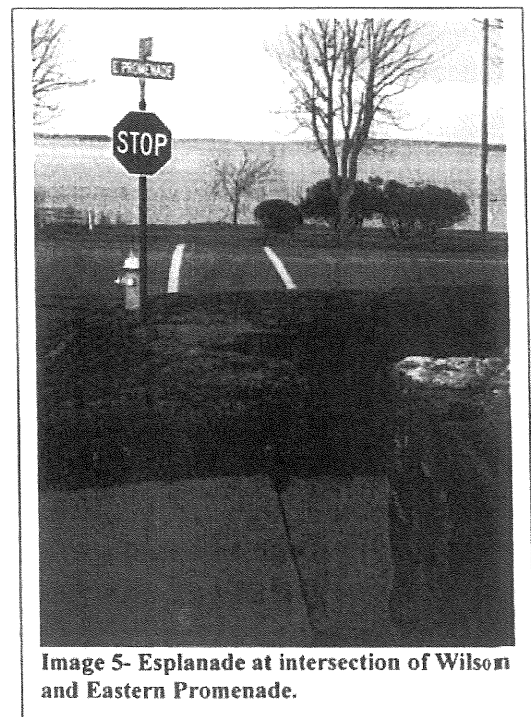


Image 5- Esplanade at intersection of Wilson and Eastern Promenade.

The applicant proposes to repair a portion of and to add street trees to the existing concrete sidewalk along Wilson Street. Currently, there is concrete sidewalk on both sides of Wilson Street and along the frontage on the Eastern Promenade. There is a crosswalk across the E. Prom on the right east side of Wilson Street, however there is no sidewalk linking to it across the Prom's grass esplanade. With the exception of the intersection at Moody Street and Eastern Prom, which has a similarly disconnected pedestrian system, all remaining intersections along the Prom (Congress; Turner; Quebec; Melbourne; Montreal and Walnut) include sidewalks along the edge of curb on the esplanade connecting to at least one crosswalk across the Prom (Congress Street has crosswalks on both sides).

The 2004 Eastern Promenade Master Plan states, under *Priority One* in the Introduction to the *Implementation* section:

On Eastern Promenade, it is recommended to expand the walk and crosswalk system.

The Report's Summary Recommendations section addresses appropriate pavement materials. It states that sidewalks on both sides of the Eastern Promenade should be replaced with brick as required for consistency with the City's sidewalk material policy for historic parks (Eastern Promenade Master Plan (2004) pp. 4). The City's Sidewalk Replacement Material Policy map from District 1 corresponds to this, indicating that brick sidewalks should be used in this area.

Based on the above information, the applicant has revised their proposal to include new brick sidewalk connecting the sidewalk at Wilson Street to the crosswalk along Eastern Promenade. Public Works has reviewed the proposal to leave the existing sidewalk as concrete and determined that, so long as any disturbance is less than 10 feet and kept within two sections of concrete sidewalk, the disturbed area may be repaired with concrete. For a larger disturbance, the applicant must replace disturbed sections with brick sidewalk (see Attachment 8). This could apply for the proposed sewer connection on the Eastern Promenade side. The applicant proposes to dig pits on both sides and jack a pipe under the existing retaining wall and concrete sidewalk. The depth of the wall footing and the pipe elevation, however, remain uncertain until they actually dig into the ground.

The applicant has included this requirement as a note on the plans.

5. Stormwater-

The submitted stormwater plan is included as Attachment 5. Engineering review comments from Dan Goyette, Consulting Development Review Engineer, are included as Attachment 7. Dan recommends minor revisions to the site plans pertaining to stormwater management. City Technical Standards stipulate that the rate of runoff of stormwater leaving the site after development shall not exceed the pre development rate. The City recognizes the difficulties that on-site detention poses to urban development. As the amount of impervious coverage increases, the quantity of water leaving the site will inevitably increase with it. The rate and quality of runoff, however, must be regulated. The submitted stormwater report shows that there will be a slight increase in flow for the post development site conditions. The capacity of the existing combined sewer system and the effect of the proposal's stormwater and sanitary sewer flows on the system must be verified and taken into account in the design prior to approval. The applicant submitted revisions addressing Dan's comments on January 2, 2008 (see Attachments 16 and 17). These revisions have been submitted to but have not yet been approved by Public Works.

Planning staff recommends including a condition of approval that revisions to the stormwater management plan must be reviewed and approved by Public Works prior to the issuance of a building permit.

6. Public Utilities

The applicant has submitted a letter, dated September 18th, from Public Works stating that they have adequate capacity to handle wastewater flows from the proposed development. The applicant has also submitted a letter from Portland Water District (PWD) dated August 1, 2007 stating that they have adequate capacity to serve the development. The applicant has also submitted letters from both Central Maine Power (CMP), dated August 17, 2007 and Northern Utilities dated August 7, 2007 indicating that there is both sufficient electrical capacity and availability of natural gas in that location to service the proposed project. These letters have been included as Attachment 4. The applicant proposes to install all electric utility connections underground.

7. Solid Waste Disposal

The applicant proposes locating trash bins with wheels at the rear of the proposed parking area enclosed behind a gated stockade fence. There will be a row of arborvitae along three sides of the trash storage area, providing additional screening.

8. Groundwater

This proposed development will be served by public water and sewer, thus it will not adversely affect the quality or quantity of ground water.

9. Flood Hazard/Shoreland

The proposed development is not located within a flood plain zone or a shoreland zone.

10. Wetlands

No wetlands have been identified on this proposed site.

11. Comprehensive Plan

The components of the Comprehensive Plan relevant to this residential subdivision include:

- Eastern Promenade Master Plan – Adopted November 2003
- Housing: Sustaining Portland's Future – Adopted November 2002

The above two elements of Portland's Comprehensive Plan encourage housing to be created in Portland near neighborhood assets and to develop in a way that supports goals related to landscape character and public infrastructure along the Eastern Promenade. The Estates at Longfellow Inn is an infill redevelopment project located near businesses, services, mass transit and open space (Eastern Promenade park).

12. Exterior Lighting

The applicant has submitted a detailed lighting plan showing 3 exterior lighting fixtures (Sheet C-1.5- Attachment 14(h)). Proposed lighting is positioned to illuminate the parking area and entrance on the Wilson Street-side of the building. The Portland Technical and Design Standards and Guidelines stipulate that exterior lighting shall be adequate for the safety of users of the site but shall not cause glare or direct spillover to adjacent properties or create visual distraction to motorists on adjacent streets. According to the submitted photometric plan, the illumination

levels of the proposed lighting meet the standards of the Portland Technical and Design Standards, Section XV (4).

13. Fire Safety

The applicant submitted a life safety plan (Sheet G-1.2- Attachment 14(b)) and fire department checklist for review. Captain Greg Cass of the Portland Fire Department has reviewed and approved these materials.

14. Landscaping

The applicant has submitted a revised landscaping plan for review (Sheet C1.4- Attachment 14(g)). The applicant proposes to add assorted perennials and a weeping cherry (*prunus snowfocam*) above the retaining wall along Eastern Promenade. The plans include measures to both enhance and preserve the existing planting beds along the Eastern Prom and Wilson Street frontages with summer annuals and perennial species. As previously stated, the applicant proposes to plant forty five (45) arborvitaes around the parking area as screening. In addition there are two mature cedar and two mature elm trees along the southwest property boundary, between the proposed parking area and an abutter's existing parking lot. The submitted landscaping plan identifies measures to preserve these trees during construction.

The applicant proposes two street trees along Wilson Street as required by Section VI .5.B (1) of the Technical and Design Standards (see submitted landscape plan - Attachment 14(g)). In addition, the applicant has met with Jeff Tarling, City Arborist concerning proposed landscaping along the Eastern Promenade frontage and has designed their landscaping to coincide with landscaping improvements currently being designed and implemented along the Eastern Promenade

Jeff submitted review comments for the most recent plans (see Attachment 10). In summary, Jeff notes that the landscape treatment of ornamental shrubs and landscape beds fits into the character of the nearby residential landscape. Jeff noted that the proposed Elm tree along the Eastern Promenade should be revised to an Autumn Blaze Maple in order to reflect revisions to the Eastern Promenade Street Tree Plan, Atlantic Street to Wilson Street segment, as designed by Regina S. Leonard, Landscape Architect and submitted by Woodard and Curran for the Eastern Promenade Master Plan Improvements. Jeff also suggests the following conditions of approval:

1. To meet the 2-trees per residential unit guidelines as required by the Technical and Design Standards, a contribution for 10 additional trees to the City Tree Fund is recommended. The project unit calculations would require 14 trees and the project is placing four with the project area. The new trees would help fill gaps or replace missing trees in the surrounding neighborhood of the project.
2. That impact to the Eastern Prom lawn area be limited during construction. This would include: no storage of trucks, equipment, or materials on the lawn area. All damaged areas to be repaired in a timely manner, the sidewalk pedestrian way along the Eastern Prom be maintained in good condition during construction work.
3. The project team or contractor shall contact Parks & Recreation concerning construction activities that might affect the Eastern Prom and park areas.

15. Relationship to existing development

The proposed building is shown in context with the surrounding structures on the submitted site plan. In terms of preservation of views, the applicable Site Plan Standard reads as follows:

View corridors: The placement and massing of proposed development shall not substantially obstruct those public views to landmarks and natural features from those locations identified on the View Corridor Protection Plan, a copy of which is on file in the department of planning and urban development;

The proposed development is not located in an area identified in the View Corridor Protection Plan. As requested by the Board at the December workshop, Corporation Counsel has provided a memorandum advising the Board on their review of potential view diminution (see [Attachment 15](#)).

16. Urban Design

The proposal shall be evaluated in terms of Section 14-526 (15) of the Site Plan standards. This section states:

Two-family, special needs independent living unit, multiple-family development, lodging houses, bed and breakfasts, and emergency shelters shall meet the following standards:

a. Proposed structures and related site improvements shall meet the following standards:

- 1. (a) The exterior design of the proposed two-family structures, lodging houses and emergency shelters, including architectural style, facade materials, roof pitch, building form and height, shall be designed to complement and enhance the nearest residential neighborhood;*

Carrie Marsh, Urban Designer for the City of Portland reviewed the submitted site plan and elevation drawings and has submitted the following comments (see Carrie's email- [Attachment 11](#))

The building design is consistent with the nearest residential neighborhood in terms of architectural style, facade materials, roof pitch, building form and height. The elevations indicate a building that is similar in scale to the structure across Wilson Street, and other buildings along the Prom. The design therefore appears to be consistent with the Site Plan Standards.

XI. STAFF RECOMMENDATION

Staff recommends that the Planning Board approve the Estates at Longfellow Inn subdivision and site plan with the proposed waivers and conditions of approval.

XII. MOTIONS FOR THE BOARD TO CONSIDER

On the basis of plans and materials submitted by the applicant, public comment received at the public hearing and the information contained in Planning Report # 05-08 relevant to standards for subdivision and site plan regulations, and the Portland Planning Board finds:

1. That the subdivision plan The Estates at Longfellow Inn at 130 Eastern Promenade [is / is not] in conformance with the subdivision standards of the land use code, subject to the following conditions:

Potential Conditions of Approval

1. The final recording plat meeting the requirements of Portland's Subdivision Ordinance and listing conditions imposed by the Planning Board will be submitted for the Planning Board's Signature.
2. That the plan [is / is not] in conformance with the site plan standards of the land use code, subject to the following waivers and conditions:
 1. That the revised boundary survey submitted by the applicant be reviewed and approved by Public Works prior to the issuance of a building permit.
 2. All final plan sheets must stamped and signed by a professional engineer.
 3. All comments submitted by Public Works in their memorandum dated January 16, 2008 must be addressed and approved by Public Works prior to the issuance of a building permit.
 4. All comments submitted by Jeff Tarling, City Arborist pertaining to the submitted landscaping plan and identified in his review letter dated January 18, 2008 must be addressed and approved by him prior to the issuance of a building permit.
 5. The proposed street tree along the Eastern Promenade should be revised to show an Autumn Blaze Maple (*Acer freemanii*). This change to the plans must be reviewed and approved by Jeff Tarling, City Arborist prior to the issuance of a building permit.

XIII. ATTACHMENTS:

1. Site Plan application and cover letter
2. Evidence of Right, Title or Interest- Warranty Deed
3. Letter from Bangor Savings Bank - dated January 2, 2008
4. Utility Capacity Letters
 - a. Letter from Central Maine Power - dated August 17, 2007
 - b. Letter from Northern Utilities - dated August 7, 2007
 - c. Letter from Portland Water District - dated August 1, 2007
 - d. Letter from Portland Public Works - dated September 18, 2007
5. Revised Stormwater management report - dated November 19, 2007
6. Evidence of Neighborhood Meeting
7. Memorandum from Dan Coyette, Consulting Engineer from Woodard and Curren - dated December 4, 2007

8. Memorandum from Dan Goyette dated December 19, 2007
9. Memorandum from Marge Schmuckal - dated November 2, 2007
10. Memorandum from Jeff Tarling, City Arborist – dated January 18, 2008
11. Memorandum from Carrie Marsh – dated January 18, 2008
12. Zoning determination addressed to Wally Geyer and Anthony Salem of Casco Bay Ventures from Marge Schmuckal- dated September 26, 2007
13. Letter from Wally Geyer, Casco Bay Ventures requesting exemption from Section 14-483 of the City Code - dated October 22, 2007
14. Revised Plans with cover sheet - dated November 20, 2007
 - a. General Notes- Sheet G-1.1
 - b. Life Safety Plan- Sheet G-1.2
 - c. Boundary Survey
 - d. Subdivision Plan – Sheet C-1.1
 - e. Site Plan – Sheet C-1.2
 - f. Details – Sheet C-1.3
 - g. Landscaping Plan – Sheet C-1.4
 - h. Lighting Plan – Sheet C-1.5
 - i. Basement and Roof Plan – Sheet A-1.1
 - j. First Floor Plan – Sheet A-1.2
 - k. Second Floor Plan – Sheet A-1.3
 - l. Third Floor Plan – Sheet A-1.4
 - m. Exterior Elevations – Sheet A-2.1
15. Memorandum from Penny Littell, Associate Corporation Counsel re: property rights in view preservation. – Dated January 16, 2008
16. Letter of response to Public Works comments, from LCE, PA dated January 2, 2008
17. Revised drainage plan and pipe calculations- January 2, 2008
18. Public Comment
 - a. Letter from Bruce McGlauffin, Esq. Petrucelli, Martin & Haddow, LLP. Dated September 4, 2007
 - b. Letter from Bruce McGlauffin, Esq. Petrucelli, Martin & Haddow, LLP. Dated December 6, 2007
 - c. Letter from Bruce McGlauffin, Esq. Petrucelli, Martin & Haddow, LLP. Dated December 17, 2007
 - d. Letter from Bruce McGlauffin, Esq. Petrucelli, Martin & Haddow, LLP. Dated January 8, 2008
 - e. Letter from Bruce McGlauffin, Esq. Petrucelli, Martin & Haddow, LLP. Dated January 17, 2008



December 19, 2013

Eileen Simko-Minte
130 Eastern Promenad LLC
110 Marginal Way #212
Portland, ME 04101

Patrick Carroll
Carroll Associates
217 Commercial Street #200
Portland, ME 04101

Project Name: 130 Eastern Promenade Plan Amendments
Address: 130 Eastern Promenade
Applicant: Eileen Simko-Minte
Planner: Nell Donaldson

Project ID: 2013-236
CBL: 003 C001001

Dear Ms. Simko-Minte:

On December 19, 2013, the Planning Authority approved with conditions the proposed amendments to the approved Level II site plan for renovation and conversion of the existing three-story residential structure at 130 Eastern Promenade. This decision is based upon the plans as submitted by Carroll Associates on December 4, 2013 and dated November 20, 2013. For reference, the original approval letter, dated June 30, 2011, is attached. The amendments have been reviewed subject to the Site Plan Ordinance, Article V of the Land Use Code.

SITE PLAN REVIEW

The Planning Authority found that the plan is in conformance with the Site Plan Standards of the Land Use Code subject to the following conditions of approval, which must be met prior to the issuance of a building permit:

1. The applicant shall provide specifications relating to noise generated from condensing units and rooftop mechanicals for review and approval by the zoning administrator, and
2. The applicant shall set all property corner pins for review and approval by the Department of Public Services.

The approval is based on the plans submitted December 4, 2013. If you need to make any modifications to the approved site plan, you must submit a revised site plan for staff review and approval.

STANDARD CONDITIONS OF APPROVAL

Please note the following standard conditions of approval and requirements for all approved site plans:

1. **Stormwater Management** The developer/contractor/subcontractor must comply with conditions of the construction stormwater management plan and sediment and erosion control plan based on City standards and state guidelines. The owner/operator of the approved stormwater management system and all assigns shall comply with the conditions of Chapter 32 Stormwater including Article III, Post Construction Stormwater

Management, which specifies the annual inspections and reporting requirements. A maintenance agreement for the stormwater drainage system shall be submitted and signed prior to the issuance of a building permit with a copy to the Department of Public Services.

2. Develop Site According to Plan The site shall be developed and maintained as depicted on the site plan and in the written submission of the applicant. Modification of any approved site plan or alteration of a parcel which was the subject of site plan approval after May 20, 1974, shall require the prior approval of a revised site plan by the Planning Board or Planning Authority pursuant to the terms of Chapter 14, Land Use, of the Portland City Code.
3. Separate Building Permits Are Required This approval does not constitute approval of building plans, which must be reviewed and approved by the City of Portland's Inspection Division.
4. Site Plan Expiration The site plan approval will be deemed to have expired unless work has commenced within one (1) year of the approval or within a time period up to three (3) years from the approval date as agreed upon in writing by the City and the applicant. Requests to extend approvals must be received before the one (1) year expiration date.
5. Performance Guarantee and Inspection Fees A performance guarantee covering the site improvements, inspection fee payment of 2.0% of the guarantee amount and seven (7) final sets of plans must be submitted to and approved by the Planning Division and Public Services Department prior to the release of a building permit, street opening permit or certificate of occupancy for site plans. If you need to make any modifications to the approved plans, you must submit a revised site plan application for staff review and approval.
6. Defect Guarantee A defect guarantee, consisting of 10% of the performance guarantee, must be posted before the performance guarantee will be released.
7. Preconstruction Meeting Prior to the release of a building permit or site construction, a pre-construction meeting shall be held at the project site. This meeting will be held with the contractor, Development Review Coordinator, Public Service's representative and owner to review the construction schedule and critical aspects of the site work. At that time, the Development Review Coordinator will confirm that the contractor is working from the approved site plan. The site/building contractor shall provide three (3) copies of a detailed construction schedule to the attending City representatives. It shall be the contractor's responsibility to arrange a mutually agreeable time for the pre-construction meeting.



Planning & Urban Development Department

8. **Department of Public Services Permits** If work will occur within the public right-of-way such as utilities, curb, sidewalk and driveway construction, a street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)
9. **As-Built Final Plans** Final sets of as-built plans shall be submitted digitally to the Planning Division, on a CD or DVD, in AutoCAD format (*.dwg), release AutoCAD 2005 or greater.

The Development Review Coordinator must be notified five (5) working days prior to the date required for final site inspection. The Development Review Coordinator can be reached at the Planning Division at 874-8632. All site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

If there are any questions, please contact Nell Donaldson at (207) 874-8723.

Sincerely,

A handwritten signature in black ink, appearing to read "Alexander Jaegerman".

Alexander Jaegerman, FAICP
Planning Division Director

Attachments

1. 130 Eastern Promenade Approval Letter to Fish House Realty, June 30, 2011

Electronic Distribution

Alexander Jaegerman, Planning Division Director
Barbara Barhydt, Development Review Services Manager
Jennifer Thompson, Associate Corporation Counsel
Marge Schmuckal, Zoning Administrator
Katherine Earley, City Engineer, Public Services
David Margolis-Pineo, Deputy City Engineer
Captain Chris Pirone, Fire
Jeff Tarling, City Arborist
Tom Errico, P.E., TY Lin Associates
David Senus, P.E., Woodard & Curran

JUNE 30, 2011

PETER WELLIN
FISH HOUSE REALTY, LLC
PO BOX 15400
PORTLAND, ME 04112

PATRICK CARROLL
CARROLL ASSOCIATES
217 COMMERCIAL STREET #200
PORTLAND, ME 04101

Project Name:	CONDOMINIUM CONVERSION	Project ID:	2011-258
Address:	130 EASTERN PROMENADE	CBL:	003-C-001
Applicant:	FISH HOUSE REALTY, LLC		
Planner:	SHUKRIA WIAR		

Dear Mr. Wellin:

On June 30, 2011, the Portland Planning Authority approved a Level II Site Plan Application for renovation and conversion of the existing three story residential structure from eleven (11) apartments into a three (3) unit condominium located at 130 Eastern Promenade. The project will include demolition of an existing one story structure on the rear and side of the main building, and the construction of an addition to the south side of the building and of an open-air attached carport for three compact cars. Additional site improvements include relocating the existing driveway, additional surface parking behind the building, and landscaping improvements. The approval was based upon the applicant's submittal, including but not limited to the site survey by Robert Greenlaw of Ocean Park Land Surveying, LLC, and the approved site plan prepared by Carroll Associates and dated 06.21.2011, with the following waivers and conditions as presented below:

WAIVERS

The Planning Authority waives the Water Quality, Stormwater Management and Erosion Control Standard, Section 14-526 (b)(3)(a) of the Zoning Ordinance. The total runoff from the site in the 2, 10, and 25 year storm events is small, and the increase in runoff due to this project will be minor. The Applicant's request meets the waiver criteria outlined in the Land Use Ordinances referenced above and under the stormwater standards contained in the City's Technical Manual, specifically Chapter 500, Section 4, E. Flooding Standard, (2) Waiver of the flooding standard, (b) Insignificant increases in peak flow rates from a project site.

The Planning Authority waives the Technical Standard, Section 1.14 for the following modifications:

- a. To allow the two parallel parking spaces to be 8' x 20' along the driveway instead of standard parking size of 9' x 18'.
- b. To allow compact parking spaces under the canopy.
- c. To allow a reduced aisle widths of 12' and 23' instead of the required width of 24' for two-way traffic.

SITE PLAN REVIEW

1. That the applicant must comply with the conditions of Chapter 32 Stormwater including Article III, Post-Construction Stormwater Management, which specifies the annual inspections and reporting requirements. The developer/contractor/subcontractor must comply with conditions of the construction stormwater management plan and sediment & erosion control plan based on our standards and state guidelines. A maintenance agreement for the rain gardens acceptable to Corporation Council must be submitted and signed prior to the issuance of a certificate of occupancy.
2. That all comments submitted by David Senus in his memorandum dated 06.27.2011 must be addressed and approved prior to the issuance of a building permit.
3. That the parking space near the trash enclosure shall be eliminated for improved on-site circulation and egress movements.
4. The proposed condensing units and any roof top mechanicals shall be screened by an architectural structure wall and shall have noise suppression mechanism. The applicant shall provide documentation of the projected noise levels at the property line and any mitigation measures prior to building permit issuance.
5. That the applicant shall coordinate their work in the right-of-way with the City's Department of Public Services.
6. The applicant shall submit an approved capacity letter from Portland Water District before the issuance of the building permit.
7. That all property corner pins shall be set prior to the issuance of building permit.
8. That all final plan sheets must stamped and signed by a professional engineer.

The approval is based on the submitted site plan. If you need to make any modifications to the approved site plan, you must submit a revised site plan for staff review and approval.

STANDARD CONDITIONS OF APPROVAL

Please note the following standard conditions of approval and requirements for all approved site plans:

1. The site shall be developed and maintained as depicted in the site plan and the written submission of the applicant. Modification of any approved site plan or alteration of a parcel which was the subject of site plan approval after May 20, 1974, shall require the prior approval of a revised site plan by the Planning Board or the Planning Authority pursuant to the terms of Chapter 14 of the Portland City Code.
2. This approval does not constitute approval of building plans, which must be reviewed and approved by the City of Portland's Inspection Division.

3. Final sets of plans shall be submitted digitally to the Planning Division, on a CD or DVD, in AutoCAD format (*.dwg), release AutoCAD 2005 or greater.
4. A performance guarantee covering the site improvements as well as an inspection fee payment of 2.0% of the guarantee amount and seven (7) final paper sets of plans must be submitted to and approved by the Planning Division and Public Services Dept. prior to the release of the subdivision plat for recording at the Registry of Deeds or prior to the release of a building permit, street opening permit or certificate of occupancy for site plans. If you need to make any modifications to the approved plans, you must submit a revised subdivision or site plan application for staff review and approval.
5. The site plan approval will be deemed to have expired unless work has commenced within one (1) year of the approval or within a time period agreed upon in writing by the City and the applicant. Requests to extend approvals must be received before the expiration date.
6. A defect guarantee, consisting of 10% of the performance guarantee, must be posted before the performance guarantee will be released.
7. Prior to construction, a pre-construction meeting shall be held at the project site with the contractor, development review coordinator, Public Service's representative and owner to review the construction schedule and critical aspects of the site work. At that time, the site/building contractor shall provide three (3) copies of a detailed construction schedule to the attending City representatives. It shall be the contractor's responsibility to arrange a mutually agreeable time for the pre-construction meeting.
8. If work will occur within the public right-of-way such as utilities, curb, sidewalk and driveway construction, a street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)

The Development Review Coordinator must be notified five (5) working days prior to date required for final site inspection. The Development Review Coordinator can be reached at the Planning Division at 874-8632. All site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

If there are any questions, please contact Shukria Wiar at 756-8083 or via shukriaw@portlandmaine.gov

Sincerely,

Alexander Jaegerman
 Planning Division Director

Attachments:

1. David Senus memorandum dated 06.27.2011
2. Performance Guarantee Packet

Electronic Distribution:

Penny St. Louis Littell, Director of Planning and Urban Development
Alexander Jaegerman, Planning Division Director
Barbara Barhydt, Development Review Services Manager
Shukria Wiar, Planner
Philip DiPierro, Development Review Coordinator
Marge Schmuckal, Zoning Administrator
Tammy Munson, Inspections Division
Lannic Dobson, Administrative Assistant
Michael Bobinsky, Public Services Director
Katherine Earley, Public Services
Bill Clark, Public Services
David Margolis-Pineo, Deputy City Engineer
Jane Ward, Public Services
Keith Gautreau, Fire
Jeff Tarling, City Arborist
Tom Errico, T Y Lin International
David Senus, Woodard & Curran
Assessor's Office
Approval Letter File
Hard Copy: Project File