

3-c-1

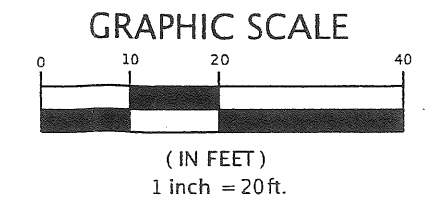
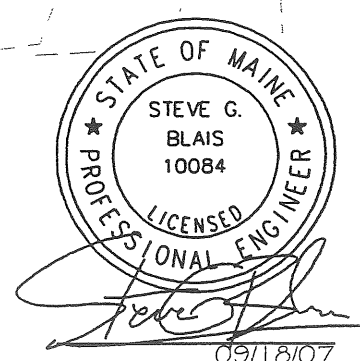
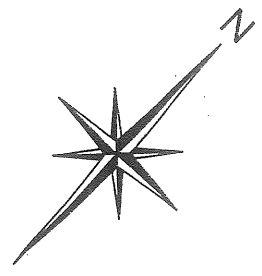
2007-0123

130 E. Prom


Estates at Longfellow Inn

Casco Bay Ventures

on Spreadsheet

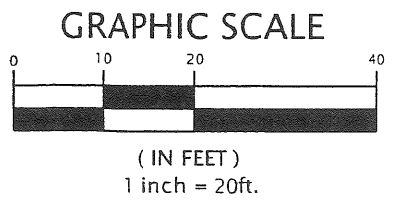
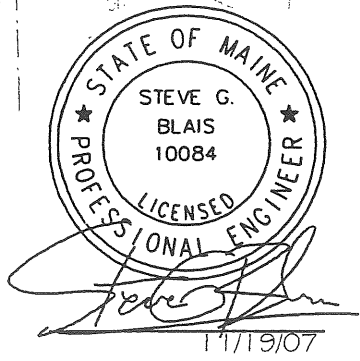


LAND CONSULTING ENGINEERS, PA
 967 BROADWAY
 SOUTH PORTLAND, MAINE 04106
 (207) 767-7300



EXISTING CONDITIONS DRAINAGE MAP
THE ESTATES OF LONGFELLOW INN
 130 EASTERN PROMENADE
 PORTLAND
 MAINE
 SCALE: 1" = 20' C.I.: 1' DATE: 09/18/07

DRAWING
D1
 © 2007 LAND CONSULTING ENGINEERS, PA
 LCE07126

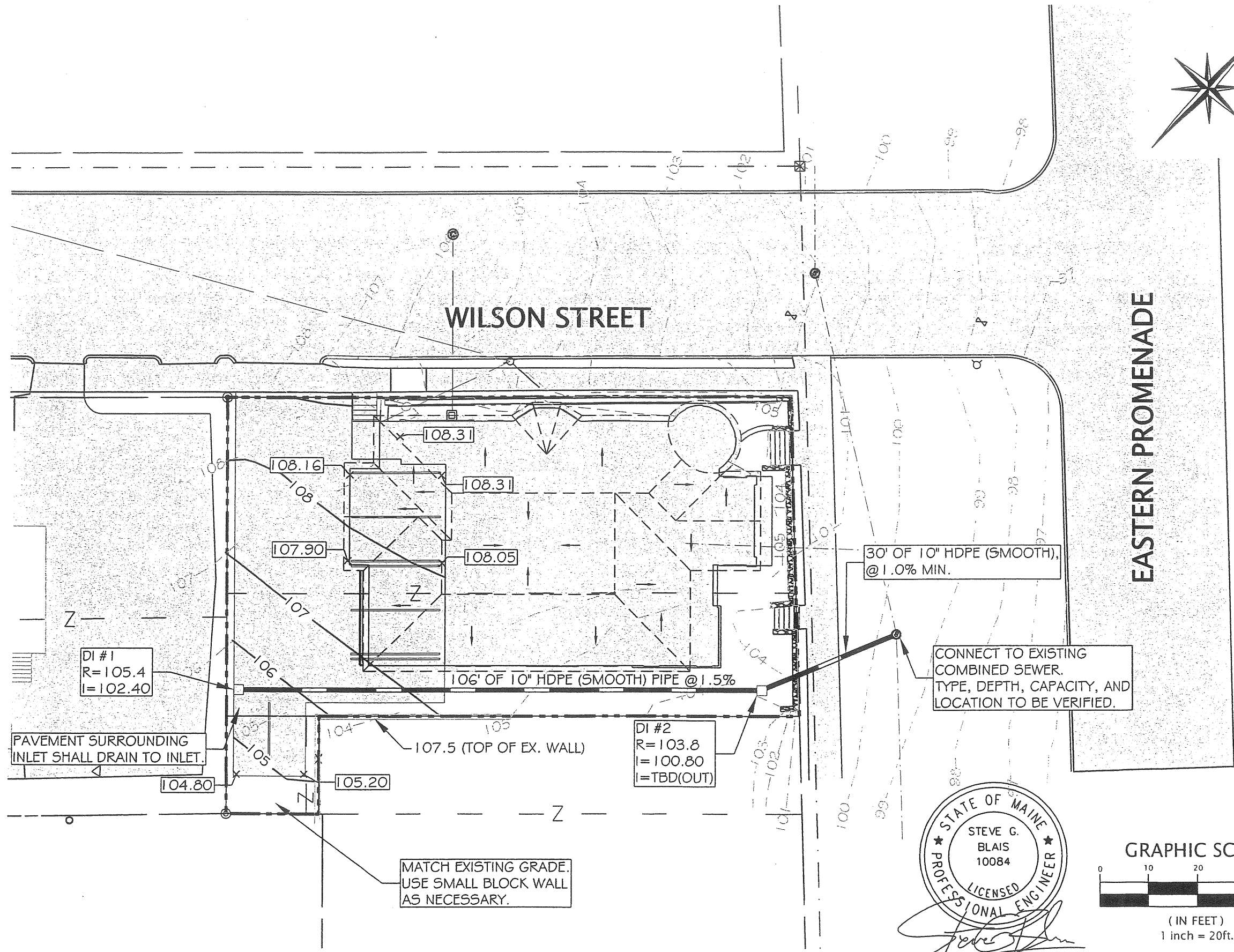


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 967 BROADWAY
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 (207) 767-7300

PROPOSED CONDITIONS DRAINAGE MAP
THE ESTATES OF LONGFELLOW INN
 130 EASTERN PROMENADE
 PORTLAND
 MAINE

SCALE: 1"=20' C.I.: 1' DATE: 11/19/07

DRAWING
D2
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 LCE07126



DI #1
R=105.4
I=102.40

PAVEMENT SURROUNDING
INLET SHALL DRAIN TO INLET.

MATCH EXISTING GRADE.
USE SMALL BLOCK WALL
AS NECESSARY.

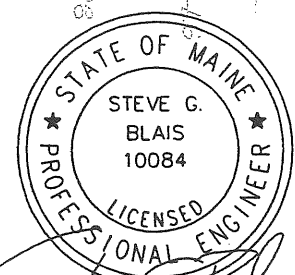
DI #2
R=103.8
I=100.80
I=TBD(OUT)

30' OF 10" HDPE (SMOOTH),
@ 1.0% MIN.

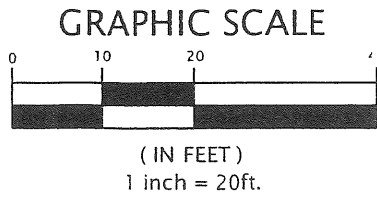
CONNECT TO EXISTING
COMBINED SEWER.
TYPE, DEPTH, CAPACITY, AND
LOCATION TO BE VERIFIED.

WILSON STREET

EASTERN PROMENADE



11/19/07



LAND CONSULTING ENGINEERS, PA
967 BROADWAY
SOUTH PORTLAND, MAINE 04106
(207) 767-7300



DRAINAGE IMPROVEMENTS PLAN
THE ESTATES OF LONGFELLOW INN
130 EASTERN PROMENADE
PORTLAND
MAINE
SCALE: 1"=20'
C.I.: 1'
DATE: 11/19/07

DRAWING
D3

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LCE07126

11(a)

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THE ESTATES OF LONGFELLOW INN
130 EASTERN PROMENADE, PORTLAND, ME
CASCO BAY VENTURES

TFH ARCHITECTS
100 COMMERCIAL STREET
PORTLAND MAINE 04101
TELEPHONE 207 775 8141
ARCHITECTURE PLANNING

CONSULTANTS:

REVISIONS:

DATE:

PROJECT No. 0610

DRAWN BY: SA

CHECKED BY: TST

SCALE: AS NOTED

SHEET TITLE:
GENERAL NOTES

G-1.1



THE ESTATES OF LONGFELLOW INN

AT 130 EASTERN PROMENADE IN PORTLAND, MAINE

BY

CASCO BAY VENTURES

223 WOODVILLE ROAD

FALMOUTH, ME 04105

(207)-797-7752

SITE PLAN REVIEW SET
Not for Construction
NOV 20, 2007

DRAWING LIST


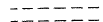
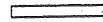


- G-1.1 COVER SHEET
- G-1.2 LIFE SAFETY PLAN
- EXISTING CONDITIONS SURVEY
- C-1.1 SUBDIVISION PLAN
- C-1.2 SITE PLAN
- C-1.4 LANDSCAPING PLAN
- C-1.5 SITE LIGHTING
- A-1.1 BASEMENT AND ROOF PLAN
- A-1.2 FIRST FLOOR PLAN
- A-1.3 SECOND FLOOR PLAN
- A-1.4 THIRD FLOOR PLAN
- A-2.1 EXTERIOR ELEVATIONS

11(b)





SPRINKLER SYSTEM:

PROVIDE NFPA 13A SPRINKLER SYSTEM IN ACCORDANCE WITH IBC 903.3.1.2, NFPA, AND ALL APPLICABLE CODES & REGULATIONS. SPRINKLER SYSTEM TO BE DESIGNED AND INSTALLED BY QUALIFIED SPRINKLER CONTRACTOR.

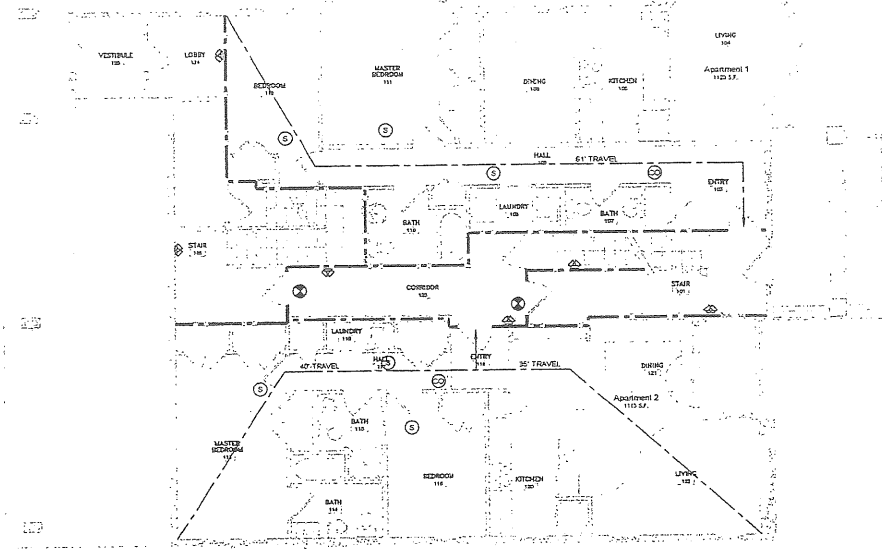
LEGEND

-  EXISTING CONSTRUCTION TO REMAIN
-  DEMOLITION
-  NEW CONSTRUCTION
-  1 HOUR RATED NEW CONSTRUCTION
-  1 HOUR RATED EXISTING CONSTRUCTION

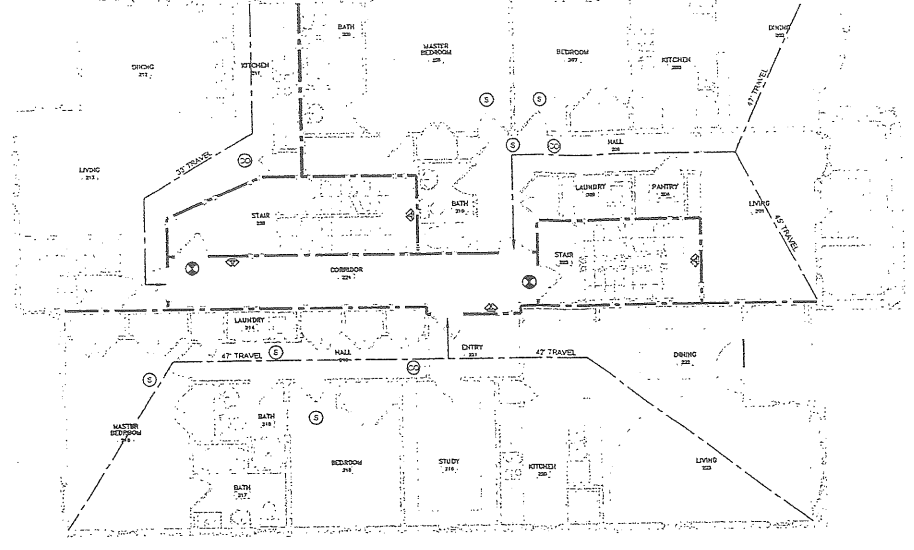
NOTE: SEE A-3.1 FOR CONSTRUCTION ASSEMBLIES

-  ILLUMINATED EXIT SIGN
-  EMERGENCY LIGHT
-  SMOKE DETECTOR
-  CARBON MONOXIDE

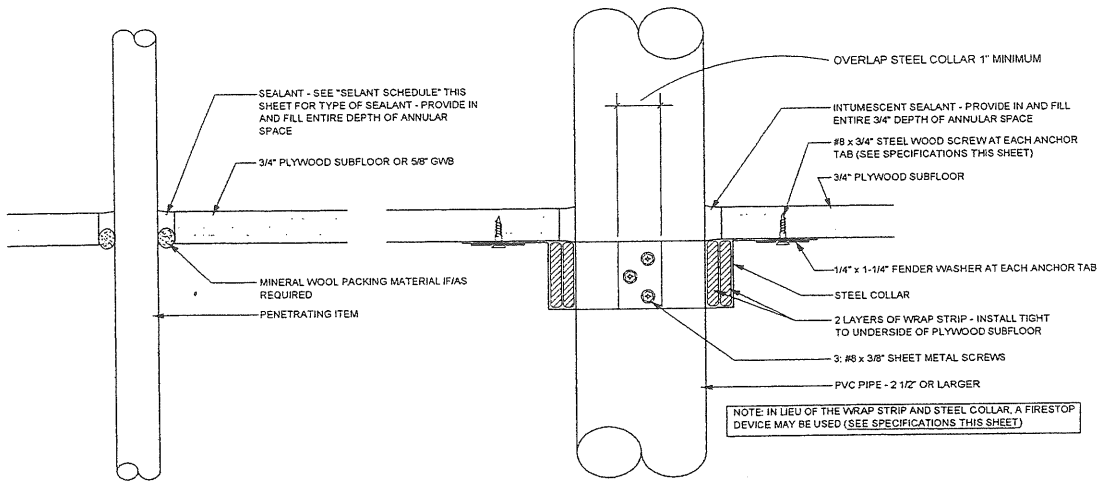
NOTE: ALL SMOKE DETECTORS TO BE 120V WITH BATTERY BACK-UP; ALL DETECTORS WITHIN ANY ONE APARTMENT TO BE INTERCONNECTED



1 FIRST FLOOR LIFE SAFETY PLAN
G1.2 1/8" = 1'-0"

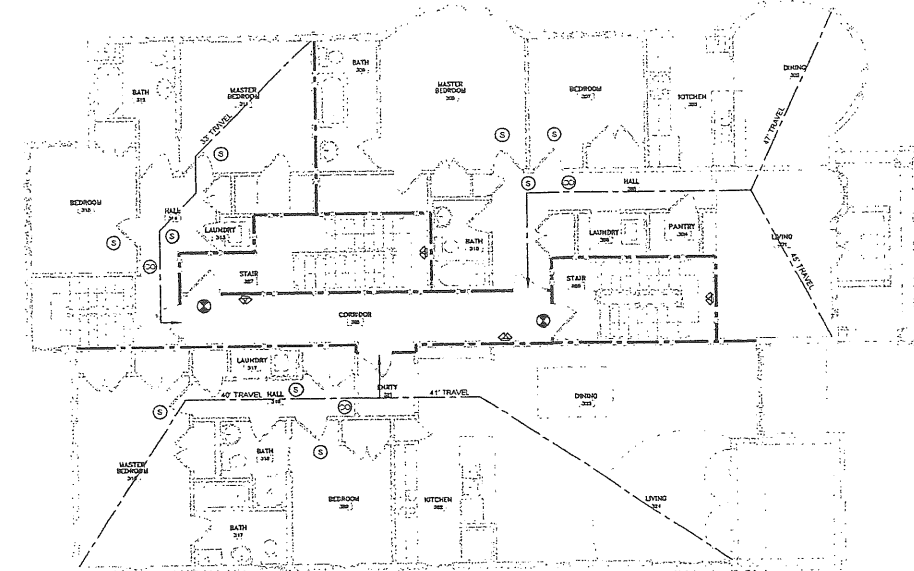


2 SECOND FLOOR LIFE SAFETY PLAN
G1.2 1/8" = 1'-0"



4 TYPICAL PENETRATION
G1.2 6" = 1'-0"

5 DETAIL FOR 2 1/2" AND LARGER PVC PIPE
G1.2 6" = 1'-0"



3 THIRD FLOOR LIFE SAFETY PLAN
G1.2 1/8" = 1'-0"

SPECIFICATIONS

WRAP STRIP: 1/4" THICK x 1 1/2" MINIMUM WIDTH INTUMESCENT MATERIAL WITH PLASTIC FILM FACING BOTH SIDES. TEMPORARILY SECURE WITH MAKING TAPE. SPECIFIED TECHNOLOGIES INC. (STI) "SpecSeal RED Wrap Strip" OR "SpecSeal BLU Wrap Strip" OR EQUAL.

FIRESTOP DEVICE: IN LIEU OF THE WRAP STRIP AND STEEL COLLAR, A FIRESTOP DEVICE MAY BE USED AS FOLLOWS:

FOR 3" PVC PIPE (3 1/2" O.D.): STI "SpecSeal LCC" COLLAR #LCC300

FOR 4" PVC PIPE (4 1/2" O.D.): STI "SpecSeal LCC" COLLAR #LCC400

DO NOT USE FIRESTOP DEVICE AT JOINTS (JOINT FLANGES) IN PIPE; PROVIDE WRAP STRIP AND STEEL COLLAR

STEEL COLLAR: WRAP STRIP MANUFACTURER'S STEEL COLLAR, FABRICATED FROM .016 INCH THICK GALVANIZED SHEET STEEL, WIDTH TO MATCH WRAP STRIP (1 1/2" MINIMUM), WITH 1 INCH x 2 INCH ANCHOR TABS AND RETAINER TABS. ANCHOR TABS TO BE SYMMETRICALLY OPPOSED AROUND COLLAR; PROVIDE 3 TABS FOR 2 1/2" AND 3" PIPE; PROVIDE 4 TABS FOR 4" PIPE.

INTUMESCENT SEALANT: ONE-PART, INTUMESCENT, LATEX ELASTOMER TESTED TO ASTM E 814. MINIMUM EXPANSION OF 3x AT 1000°F. 3M "FIRE BARRIER SEALANT CP 25V6B" OR EQUAL.

FIRESTOP SEALANT: SINGLE COMPONENT NONCOMBUSTIBLE FIRE RATED SEALANT TESTED TO ASTM E 814. TESTED TO 3000°F. "BOSS 136 FIRESTOP/DRAFT SEALANT" MANUFACTURED BY ACCUMETRIC, LLC, OR EQUAL.

SEALANT SCHEDULE:

INTUMESCENT SEALANT: PROVIDE AT ALL PENETRATIONS THROUGH RATED CONSTRUCTION FOR PENETRATING ITEMS INCLUDING BUT NOT LIMITED TO: PVC PIPE; ROOF LEADER PIPES; GAS PIPES & LINES; SPRINKLER PIPES; ELECTRICAL & COMMUNICATIONS CABLES & WIRES; AND ALARM SYSTEM WIRES. DO NOT USE INTUMESCENT SEALANT AT DOMESTIC HOT WATER OR HYDRONIC HEATING SYSTEM PIPES.

FIRESTOP SEALANT: PROVIDE AT ALL PENETRATIONS THROUGH RATED CONSTRUCTION FOR PENETRATING ITEMS INCLUDING DOMESTIC HOT AND COLD WATER PIPES AND HYDRONIC HEATING SYSTEM PIPES.

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THE ESTATES OF LONGFELLOW INN
 130 EASTERN PROMENADE, PORTLAND, ME
 CASCO BAY VENTURES

TFH ARCHITECTS
 100 COMMERCIAL STREET
 PORTLAND MAINE 04101
 TELEPHONE 207 775 6141
 ARCHITECTURE PLANNING

CONSULTANTS:

REVISIONS:

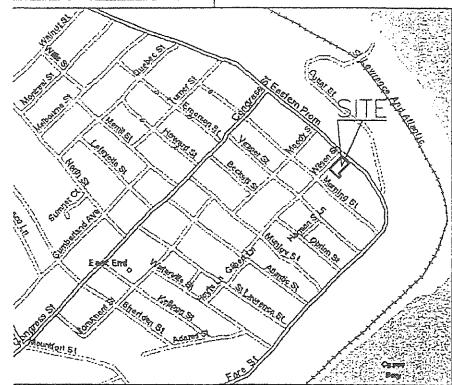
DATE:
 PROJECT No. 0610
 DRAWN BY: SA
 CHECKED BY: TST
 SCALE: AS NOTED
 SHEET TITLE:
 LIFE SAFETY PLAN

SITE PLAN REVIEW SET
 Not for Construction
 NOV 20, 2007

G1.2

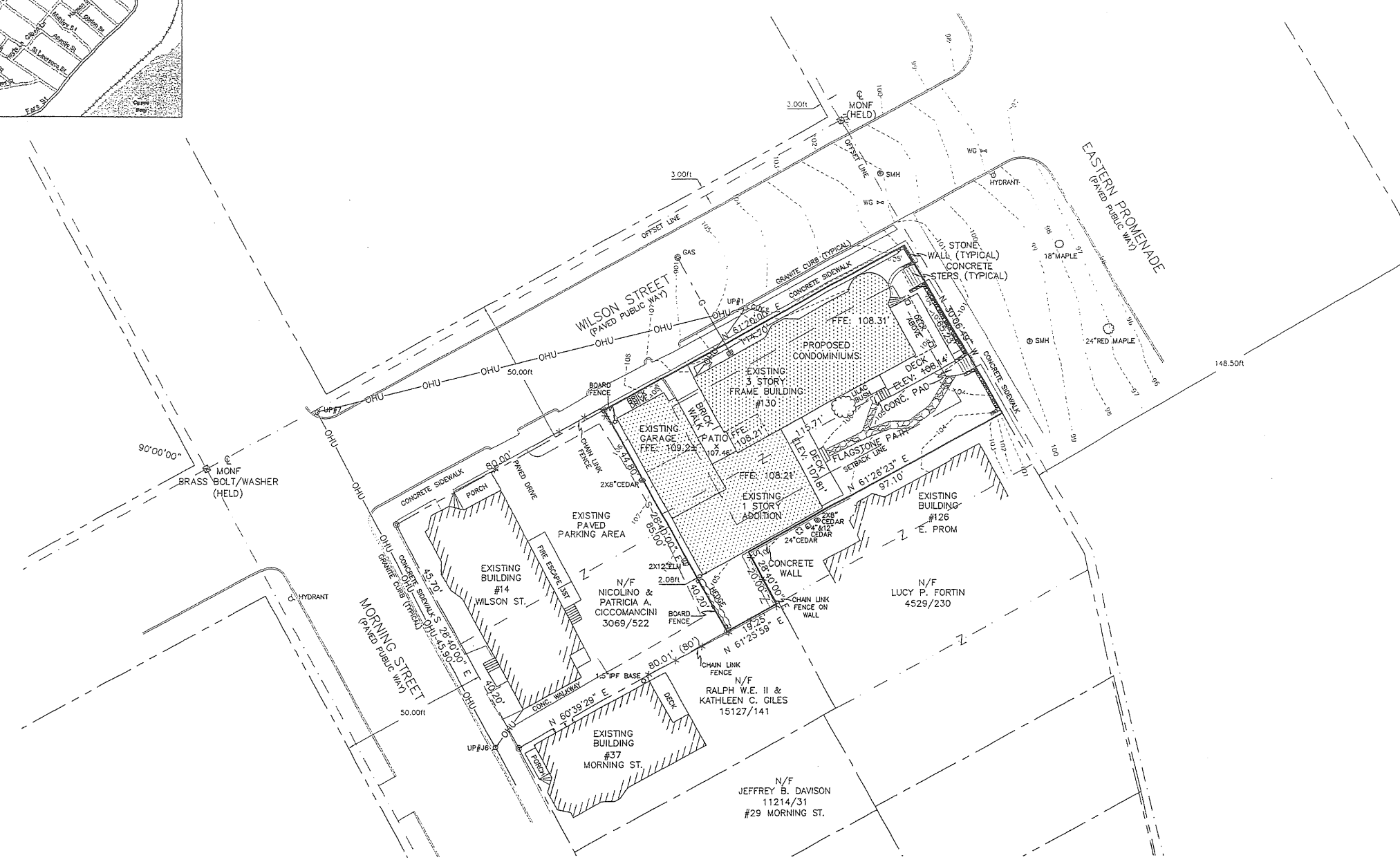
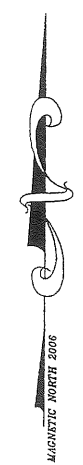
11(c)

LOCATION MAP:



GENERAL NOTES:

- RECORD OWNER OF PARCEL: 130 EASTERN PROM, LLC, BOOK 14078 PAGE 001 AS RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS (C.C.R.D.).
- BEARINGS ARE BASED UPON A MAGNETIC OBSERVATION TAKEN AT THE TIME OF THIS SURVEY, UTILIZING THE FOLLOWING EQUIPMENT:
LIETZ SOKKISHA SET 4 TOTAL STATION, LIETZ SDR 33 DATA COLLECTOR, HAND-HELD MAGNETIC COMPASS.
- AREA OF SUBJECT PARCEL: 7,905.9 SQ. FT., 0.18 ACRES
- REFERENCE IS MADE TO THE FOLLOWING PLANS:
a.) CITY OF PORTLAND TAX ASSESSOR PLAN NO. 3, BLOCK C, LOTS 1&2, PORTLAND, MAINE, DATED RETRACED 09/30/1965.
b.) EXISTING CONDITIONS PLAN AT 172 EASTERN PROMENADE, PORTLAND, MAINE, FOR CASCO BAY VENTURES, DATED , BY BACK BAY BOUNDARY, INC., NO. 2005111, NOT RECORDED.
c.) CONDOMINIUM PLAT, PROMENADE ESTATES CONDOMINIUMS, AT 108 EASTERN PROMENADE, PORTLAND, MAINE, FOR WALLY GEYER, DATED 10/11/2005, BY BACK BAY BOUNDARY, INC., NO. 2005122, NOT RECORDED.
d.) PROMENADE ESTATES CONDOMINIUM, AT 108 EASTERN PROMENADE, PORTLAND, MAINE, FOR ANTHONY W. SALEM, JOB NUMBER: 2005122 REVISION 1, BY BACK BAY BOUNDARY, INC., DATED NOVEMBER 29, 2005, NOT RECORDED.
- THERE WERE NO APPARENT EASEMENTS OR RESTRICTIONS BURDENING OR BENEFITING SUBJECT PROPERTY AT THE TIME OF THIS SURVEY.
- BENCHMARK = HIGHEST POINT ON 'M' MONUMENT @ NORTHWEST CORNER OF ST. LAWRENCE AND FORE STREETS (ELEVATION = 69.35') BASED ON N.G.V.D. 1929 CITY OF PORTLAND DATUM.



ZONING:

ZONE: R-6 RESIDENTIAL ZONE
 SETBACKS: FRONT - 10 FT (< AVERAGE OF ADJUTING LOTS)
 REAR - 20 FT
 SIDE - 1-3 STORIES - 10 FT; 4 STORIES - 12 FT
 MINIMUM LOT SIZE: 4500 SQ FT
 MINIMUM LOT WIDTH: 50 FT
 MAXIMUM BUILDING HEIGHT: 45 FT
 MAXIMUM LOT COVERAGE: 40%

FLOOD NOTE:

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE C OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 230051 14B, WHICH BEARS AN EFFECTIVE DATE OF JULY 07, 1986, AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.

LEGEND:

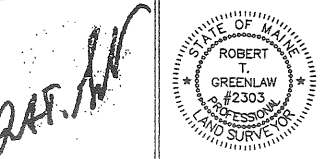
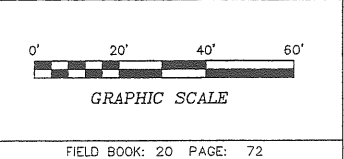
CRF	Granite Monument Found 6"x6"	(50.00')	Distance from reference Plan or deed.
CRF	Capped 5/8" Rebar Found Name # 2303.	N/F	Now Or Formerly
IPF	Iron Pipe Found	12345/99	Deed Book/Page of Local Registry
SMH	Sewer Manhole	---	Street 3' Offset Line
WG	Water Gate	---	Edge of traveled way
GAS	Gas Valve	---	Overhead Utility
---	Abutter Line	---	Utility Pole
---	Property Line	---	Contour Line
---	Street Line	---	Indicates Ownership in Common
---	Setback Line	---	
---	Old Lot Line	---	

EXISTING CONDITIONS SURVEY
 THE ESTATE OF THE LONGFELLOW INN
 AT 130 EASTERN PROMENADE, PORTLAND, MAINE

REVISIONS:

REVISION 2: 11/15/2007 - Changed Title per client request
REVISION 1: 08/29/2007 - Miscellaneous changes per client request
LOCATION: 130 EASTERN PROMENADE, PORTLAND, MAINE

STATE OF MAINE, CUMBERLAND SS REGISTRY OF DEEDS
RECEIVED 2007
AT : H M. AND RECORDED IN
PLAN BOOK PAGE



CERTIFICATE:

I HEREBY CERTIFY THAT THIS SURVEY CONFORMS TO THE MAINE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS' STANDARDS OF PRACTICE AS ADOPTED APRIL 01, 2001 WITH THE FOLLOWING EXCEPTIONS:

- NO WRITTEN REPORT
- NO NEW DESCRIPTION
- NO NEW CORNERS WERE SET

ROBERT T. GREENLAW P.L.S., #2303
 V. PRESIDENT BACK BAY BOUNDARY, INC.

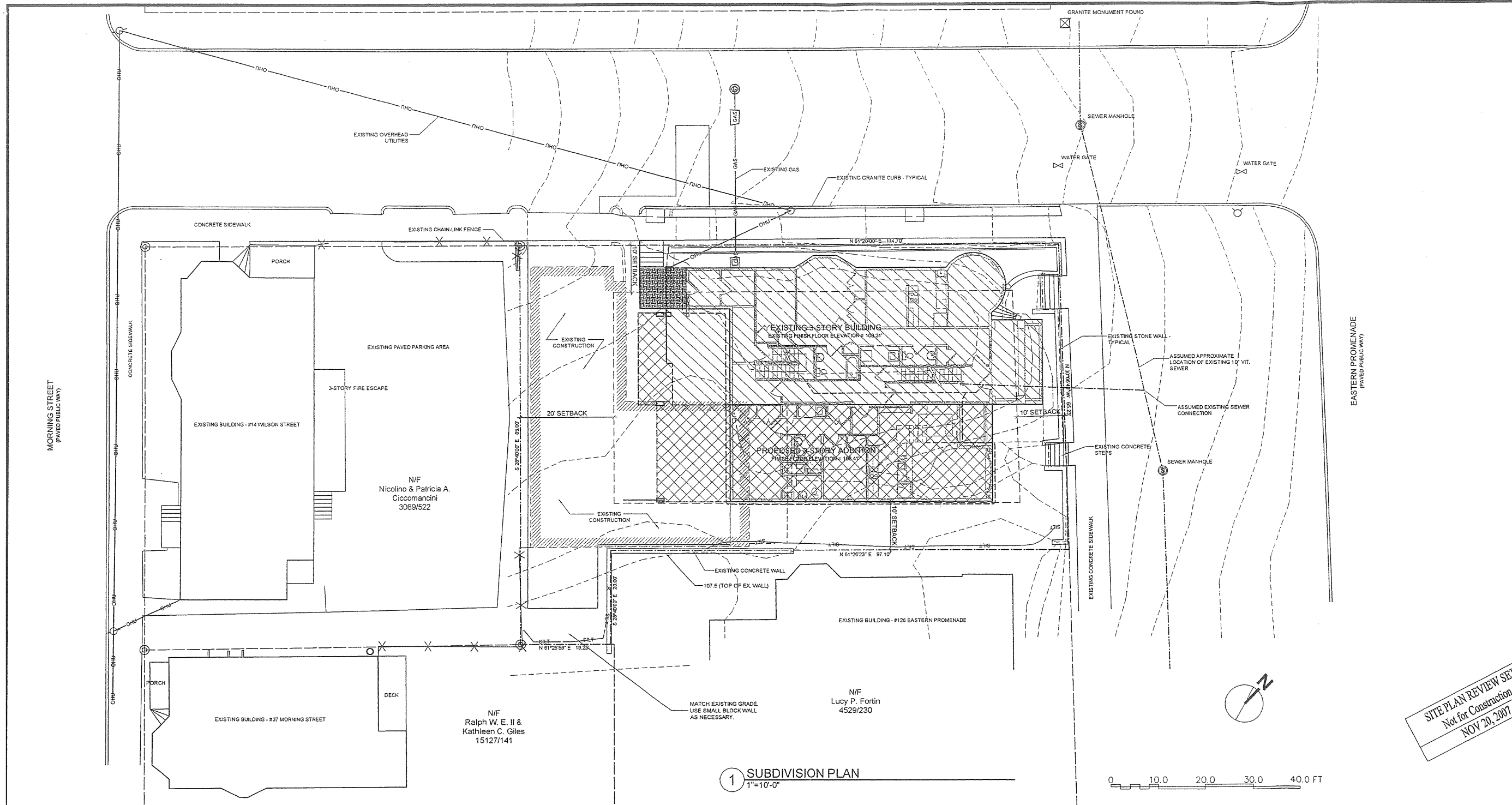
REVISED: NOVEMBER 15, 2007
 DATE: JULY 10, 2007

PREPARED BY:
BACK BAY BOUNDARY, INC.
 LAND SURVEYING

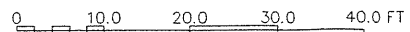
643 FOREST AVENUE
 PORTLAND, MAINE 04101
 207-774-2855 FAX 207-347-4346

DRAWN BY: PJM
CHECKED BY: RTG
SCALE: 1" = 20'
DATE OF SURVEY: 06/21/2006
JOB NUMBER: 2007074
SHEET: 1 OF 1 REV 2
DRAWER: 2007 NO: 074

11(a)



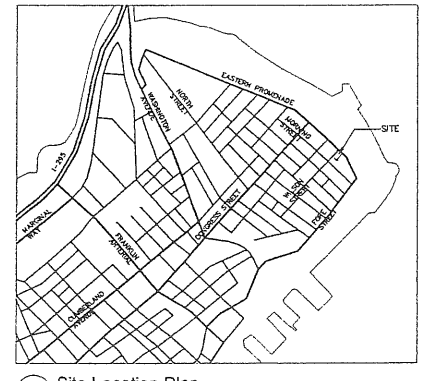
1 SUBDIVISION PLAN
1"=10'-0"



SITE PLAN REVIEW SET
 Not for Construction
 NOV 20, 2007

SUBDIVISION PLAN
APPROVED BY THE CITY OF PORTLAND
PLANNING BOARD

DATE _____




- GENERAL NOTES**
- OWNER/DEVELOPER: CASCO BAY VENTURES, FALMOUTH, MAINE
 - ARCHITECT: TFH ARCHITECTS, PORTLAND, MAINE
 - PROPERTY BOUNDARY, EXISTING CONDITIONS AND TOPOGRAPHY BASED ON "BOUNDARY SURVEY/SITE PLAN AT 130 EASTERN PROMENADE, PORTLAND, MAINE" PREPARED FOR 100 EASTERN FROM LLC BY BACK BAY SURVEYING, INC., PORTLAND, MAINE, ON JULY 10, 2007 AND REVISED ON SEPTEMBER 18, 2007.
 - EASTERN BENCHMARK: HIGHEST POINT ON W. MONUMENT IS NORTHWEST CORNER OF ST. LAWRENCE AND FORTRE STREETS (ELEVATION + 88.38) BASED ON N.G.V.D. 1929 CITY OF PORTLAND DATUM
 - ZONE: R-4
 - TAX MAP'S CBL: 3-C-1-4.2
 - TOTAL PARCEL SIZE: 7,305.9 SF (0.16 ACRES)
 - STREET NUMBERS TO BE CLEARLY VISIBLE ON BUILDING FROM STREET
 - BUILDING TO BE SERVICED BY PUBLIC GAS, SEWER & WATER
 - PRIOR TO SITE EXCAVATION, CONTACT UTILITIES AT 1-800-852-4877
 - ALL CONSTRUCTION, SITEWORK, AND EROSION AND SEDIMENT CONTROLS TO BE PERFORMED IN ACCORDANCE WITH THE "MAINE EROSION AND SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION BEST MANAGEMENT PRACTICES" CUMBERLAND COUNTY SOIL AND WATER CONSERVATION DISTRICT, DEPARTMENT OF ENVIRONMENTAL PROTECTION, LATEST EDITION. EROSION AND SEDIMENT CONTROLS TO BE INSTALLED PRIOR TO COMMENCING WORK.
 - SOILS ARE CLASSIFIED AS "HE. HINCKLEY GRAVELLEY SANDY LOAM" PER THE "CUMBERLAND COUNTY SOIL SURVEY, PREPARED BY THE USDA & THE MAINE AGRICULTURAL EXPERIMENT STATION, 1974"
 - THIS PROJECT IS THE SUBDIVISION OF 7,305.9 SF OF LAND FOR 1 BUILDING WITH A PROPOSED ADDITION WITH 4 DWELLING UNITS IN THE EXISTING BUILDING AND 3 DWELLING UNITS IN THE PROPOSED ADDITION.
 - THIS APPROVAL IS SUBJECT UPON AND LIMITED TO, THE PROPOSALS AND PLANS CONTAINED IN THE APPLICATION AND SUPPORTING DOCUMENTS SUBMITTED AND APPROVED BY THE APPLICANT AND ANY VARIATION FROM THE PLANS, PROPOSALS AND SUPPORTING DOCUMENTS IS SUBJECT TO REVIEW AND APPROVAL BY THE PLANNING BOARD, EXCEPT FOR DEMANDS CHANGES WHICH THE DIRECTOR OF PLANNING AND ZONING MAY APPROVE.
- DRAWINGS INCLUDED IN THIS SUBMITTAL ARE:
- C-1.1 SUBDIVISION PLAN
 - C-1.2 SITE PLAN
 - C-1.3 SITE DETAILS
 - C-1.4 LANDSCAPING PLAN
- DRAWING NOTES, UNLESS THEY INDICATE OR ARE OBVIOUS OTHERWISE, REFER TO NEW CONSTRUCTION

- SUBDIVISION NOTES**
- THE ENTIRE SITE SHALL BE DEVELOPED AND/OR MAINTAINED AS DEPICTED ON THE SITE PLAN. APPROVAL OF THE PLANNING AUTHORITY OR PLANNING BOARD SHALL BE REQUIRED FOR ANY ALTERATION TO OR DEVIATION FROM THE APPROVED SITE PLAN, INCLUDING, WITHOUT LIMITATION: TOPOGRAPHY, DRAINAGE, LANDSCAPING, RETENTION OF WOODS OR LAWN AREAS, ACCESS, SIZE, LOCATION, AND SURFACING OF PARKING AREAS AND LOCATION AND SIZE OF BUILDINGS.
 - PRIOR TO CONSTRUCTION, A PRECONSTRUCTION MEETING SHALL BE HELD AT THE PROJECT SITE WITH THE OWNER/DEVELOPER, DEVELOPMENT COORDINATOR, AND PUBLIC WORKS REPRESENTATIVE TO REVIEW THE CONSTRUCTION SCHEDULE AND OTHER ASPECTS OF THE SITE WORK. AT THAT TIME, THE BUILDER SHALL PROVIDE THREE (3) COPIES OF A DETAILED CONSTRUCTION SCHEDULE TO THE ATTENDING CITY REPRESENTATIVE. IT SHALL BE THE BUILDER'S RESPONSIBILITY TO ARRANGE A MUTUALLY AGREEABLE TIME FOR THE PRECONSTRUCTION MEETING.
 - SUBDIVISION AT THE TIME OF APPROVAL IS DEFINED AS "SUBDIVISION SHALL MEAN THE DIVISION OF A LOT, TRACT OR PARCEL OF LAND INTO THREE (3) OR MORE LOTS, INCLUDING LOTS OF FORTY (40) ACRES OR MORE, WITHIN ANY FIVE-YEAR PERIOD WHEN THE ACCORDS BY SALE, LEASE, DEVELOPMENT, BUILDINGS OR OTHERWISE AND AS FURTHER DEFINED IN 10-A M.R.S.A. SECTION 4401. THE TERM SUBDIVISION SHALL ALSO INCLUDE THE DIVISION OF A NEW STRUCTURE OR STRUCTURES ON A TRACT OR PARCEL OF LAND INTO THREE (3) OR MORE DWELLING UNITS WITHIN A FIVE-YEAR PERIOD AND THE DIVISION OF AN EXISTING STRUCTURE OR STRUCTURES PREVIOUSLY USED FOR COMMERCIAL OR INDUSTRIAL USE INTO THREE (3) OR MORE DWELLING UNITS WITHIN A FIVE-YEAR PERIOD. THE AREA INCLUDED IN THE EXPANSION OF AN EXISTING STRUCTURE IS DEEMED TO BE A NEW STRUCTURE FOR THE PURPOSE OF THIS PARAGRAPH. A DWELLING UNIT SHALL INCLUDE ANY PART OF A STRUCTURE WHICH, THROUGH SALE OR LEASE, IS INTENDED FOR HUMAN HABITATION, INCLUDING SINGLE-FAMILY AND MULTIFAMILY HOUSING, COOPERATIVE, TIME-SHARE UNITS AND APARTMENTS."

- Survey date changed to "September 18, 2007." This is the date on the latest Back Bay Boundary survey CAD file as of 11/08/07.
- Note 13 changed from 6 to 4 dwelling units in the existing building.
- If an additional "C" sheet is created for lighting, it should probably be included in the list in Note 14.

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THE ESTATES OF LONGFELLOW INN
 130 EASTERN PROMENADE, PORTLAND, ME
 CASCO BAY VENTURES


 TFH ARCHITECTS
 100 COMMERCIAL STREET
 PORTLAND, MAINE 04101
 TELEPHONE 207 775 6144
 ARCHITECTURE PLANNING

CONSULTANTS:

REVISIONS:

DATE: _____

PROJECT No. 0610

DRAWN BY: SA

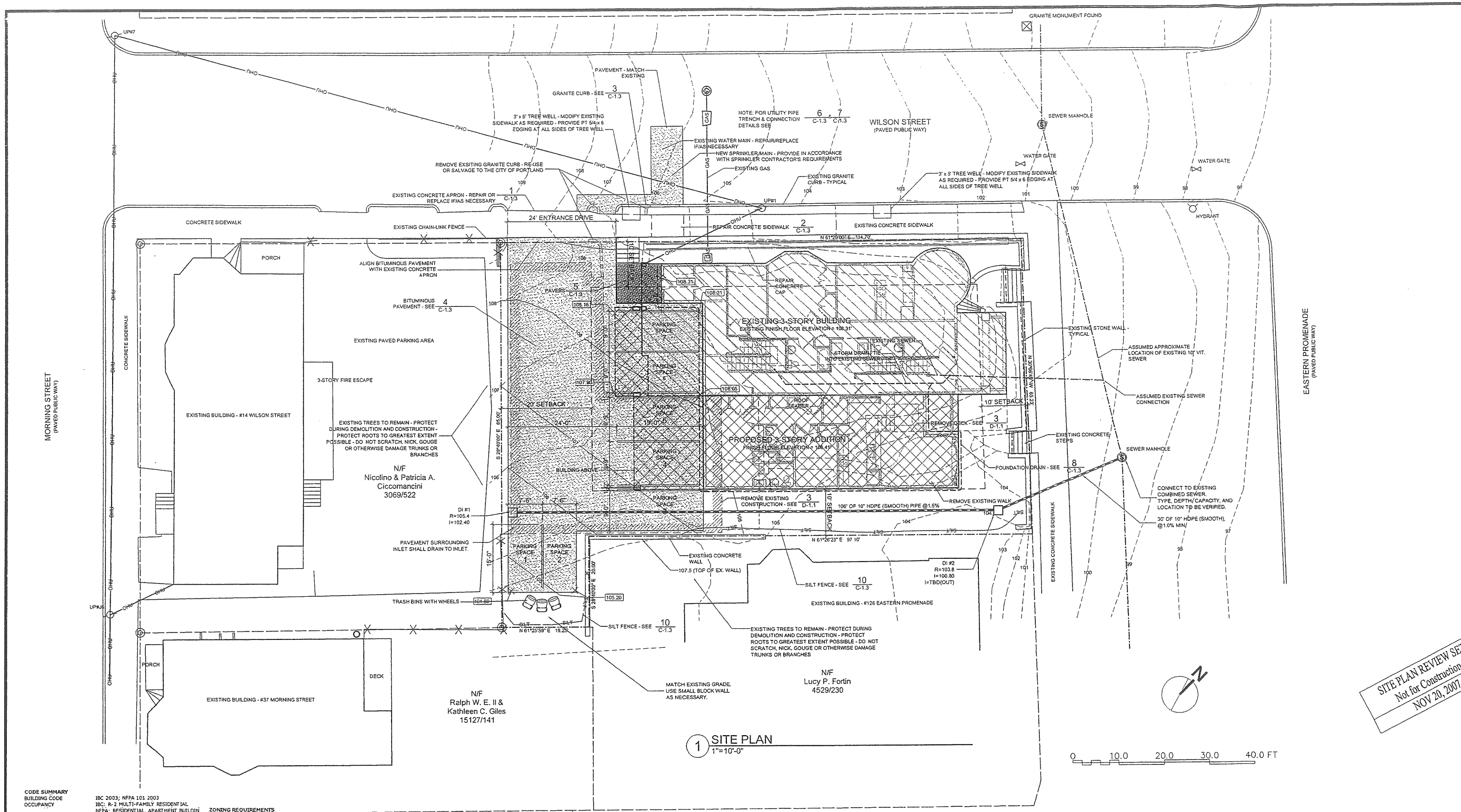
CHECKED BY: TST

SCALE: AS NOTED

SHEET TITLE:
SUBDIVISION PLAN

C1.1

11(e)



1 SITE PLAN
1"=10'-0"

SITE PLAN REVIEW SET
Not for Construction
NOV 20, 2007

CODE SUMMARY

BUILDING CODE OCCUPANCY: IBC, R-2 MULTI-FAMILY RESIDENTIAL

CONSTRUCTION: IBC, TYPE 5-B WOOD FRAME

FLOORS: NFPA TYPE V-000

SPRINKLER: NFPA 13R

BUILDING AREA

01-First Floor	3,111 GSF
02-Second Floor	3,830 GSF
03-Third Floor	3,593 GSF

(GSF includes covered Porches, Deck & Balcony; GSF excludes Covered Parking)

APARTMENT AREAS

Apartment 1	1,123 GSF
Apartment 2	1,113 GSF
Apartment 3	1,169 GSF
Apartment 4	1,442 GSF
Apartment 5	1,208 GSF
Apartment 6	1,189 GSF
Apartment 7	1,312 GSF

(GSF includes covered Porches, Deck & Balcony; GSF excludes Covered Parking)

AREA OF ADDITION

04-First Floor	4,223 GSF
05-Second Floor	1,166 GSF
06-Third Floor	1,457 GSF

(GSF includes covered Porches & Deck; GSF excludes Covered Parking)

ZONING REQUIREMENTS

Zone: R-6 Residential

Synopsis: Existing 11 Unit Apartment Building; portion to be removed; remaining to be renovated; addition to be built; conversion to 7 total Units

Description	Requirement	Design Specs
Minimum Lot Size	4,500 sf	7,905.9 sf
Minimum area per unit	7,800 sf	7,905.9 sf
Minimum Street Frontage	40 ft	65'-4"
Front Yard	10'	No (Existing Building)
Side Yards	10'	No (Existing Building)
Rear Yard	20'	Yes (Addition)
Maximum Lot Coverage	50%	49.20%
Footprint		3,891.00 sf
Minimum Lot Width	50'	65'-4"
Maximum Structure Height	45'	< 45'
Open Space Ratio	20%	25.40%
Parking	0	2,006.00 sf

- SITE PLAN NOTES**
- OWNER/DEVELOPER: CASCO BAY VENTURES, FALMOUTH, MAINE
 - ELEVATION BENCHMARK HIGHEST POINT ON "M" MONUMENT @ NORTHWEST CORNER OF ST. LAWRENCE AND FORE STREETS (ELEVATION = 69.33') BASED ON N.G.V.D. 1929 CITY OF PORTLAND DATUM.
 - PRIOR TO SITE EXCAVATION, CONTACT DIGSAFE AT 1-800-225-8977.
 - PROPERTY BOUNDARY, EXISTING CONDITIONS AND TOPOGRAPHY BASED ON "BOUNDARY SURVEY/SITE PLAN AT 130 EASTERN PROMENADE, PORTLAND, MAINE" PREPARED FOR 130 EASTERN PROMENADE, LLC BY BAY BOUNDARY, INC., PORTLAND, MAINE, ON JULY 10, 2007 AND REVISED ON AUGUST 29, 2007.
 - TAX MAPS CBL: 3-C-1 & 2
 - TOTAL PARCEL SIZE: 7,995.9 SF (0.18 ACRES)
 - ALL CONSTRUCTION, SITEWORK, AND EROSION AND SEDIMENT CONTROLS TO BE PERFORMED IN ACCORDANCE WITH THE "MAINE EROSION AND SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION: BEST MANAGEMENT PRACTICES" CUMBERLAND COUNTY SOIL AND WATER CONSERVATION DISTRICT, DEPARTMENT OF ENVIRONMENTAL PROTECTION, LATEST EDITION. EROSION AND SEDIMENT CONTROLS TO BE INSTALLED PRIOR TO COMMENCING WORK.
 - UTILITY CONNECTIONS WITHIN STREET RIGHTS-OF-WAY: BUILDER TO ACQUIRE STREET OPENING PERMIT(S) FROM THE DEPARTMENT OF PUBLIC WORKS, POST PERFORMANCE BONDS AS REQUIRED; COORDINATE PRE-CONSTRUCTION MEETINGS AND INSPECTIONS WITH THE CITY OF PORTLAND AND/OR UTILITY COMPANY(S) AS APPLICABLE.
 - CURBING THAT IS NOT RE-USED REMAINS THE PROPERTY OF THE CITY OF PORTLAND AND IS TO BE DELIVERED TO THE CITY'S OUTER CONGRESS STREET STOCKYARD.
 - NEW PAVEMENT WITHIN STREET RIGHTS-OF-WAY TO MATCH EXISTING PAVEMENT MATERIALS AND THICKNESSES.
 - ALL SITE WORK TO BE EXECUTED IN ACCORDANCE WITH THE SITE PLAN; PRIOR CITY APPROVAL REQUIRED FOR ALTERATIONS TO OR DEVIATIONS FROM THE PLANS.
 - PRIOR TO CONSTRUCTION, BUILDER TO SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE CITY AS REQUIRED.

- GENERAL NOTES (SEE G-1.1 FOR MORE GENERAL NOTES)**
- DRAWING NOTES: DRAWING NOTES, UNLESS THEY INDICATE OR ARE OBVIOUS OTHERWISE, REFER TO NEW CONSTRUCTION.
 - LAYOUT: NOTES INDICATED OTHERWISE, FLOOR PLAN DIMENSIONS ARE TO FINISH FACE OF EXISTING CONSTRUCTION AND ARE TO FACE OF FRAMING OF NEW CONSTRUCTION. DOORS AND WINDOWS ARE DIMENSIONED TO CENTERLINES OR ROUGH OPENINGS. STAIR TREAD & RISE LAYOUT DIMENSIONS ARE TO TREAD NOSINGS.
- *SEE G-1.1 FOR SELECT SPECIFICATIONS

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THE ESTATES OF LONGFELLOW INN
130 EASTERN PROMENADE, PORTLAND, ME
CASCO BAY VENTURES

TFH ARCHITECTS
100 COMMERCIAL STREET
PORTLAND MAINE 04101
TELEPHONE 207 775 6141
ARCHITECTURE PLANNING

CONSULTANTS:

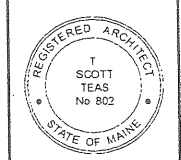
REVISIONS:

DATE:
PROJECT No. 0610
DRAWN BY: SA
CHECKED BY: TST
SCALE: AS NOTED

SHEET TITLE:
SITE PLAN

C1.2

116F)



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The Estates of Longfellow Inn
 130 Eastern Promenade, Portland, Maine
 Casco Bay Ventures

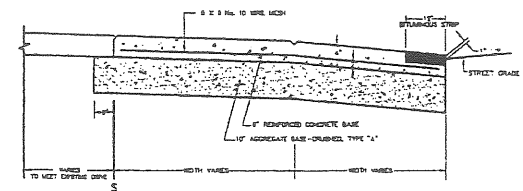
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 TELEPHONE 207 775 6141
 ARCHITECTURE PLANNING

CONSULTANTS

REVISIONS

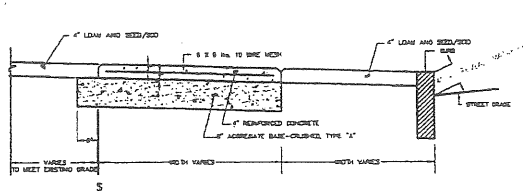
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PROJECT No	0610
DRAWN BY	WJT
CHECKED BY	TST
SCALE	As Noted
SHEET TITLE	Site Details

C-1.3



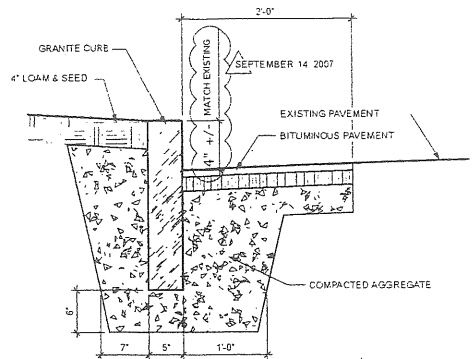
NOTE: FRESH CONCRETE TO MIMIC WORN SURFACE OF EXISTING SIDEWALK TO GREATEST EXTENT POSSIBLE.
 NOTE: USE TYPE 1 CEMENT TO MATCH COLOR OF EXISTING CONCRETE SIDEWALKS

1 CONCRETE DRIVEWAY APRON
 NOT TO SCALE

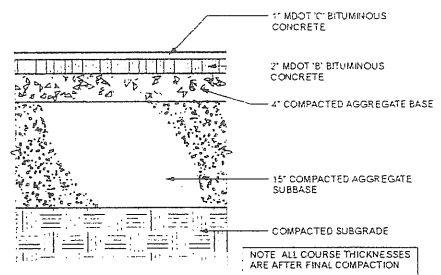


NOTE: FRESH CONCRETE TO MIMIC WORN SURFACE OF EXISTING SIDEWALK TO GREATEST EXTENT POSSIBLE.
 NOTE: USE TYPE 1 CEMENT TO MATCH COLOR OF EXISTING CONCRETE SIDEWALKS

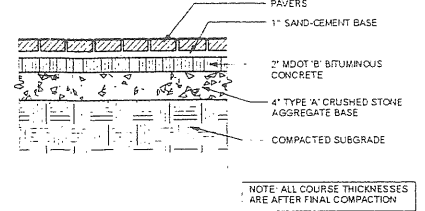
2 CONCRETE SIDEWALK
 NOT TO SCALE



3 CURB DETAIL
 Scale: 1" = 1'-0"

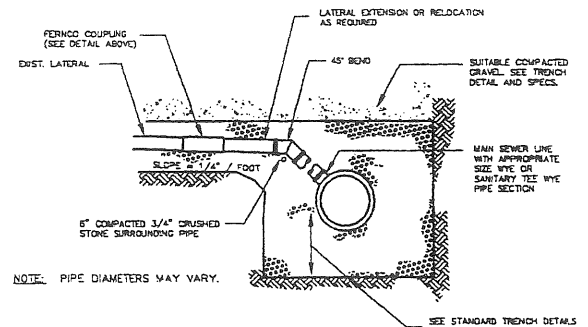
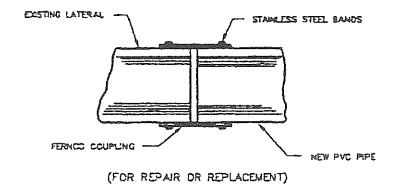


4 BITUMINOUS PAVEMENT
 Scale: 1" = 1'-0"

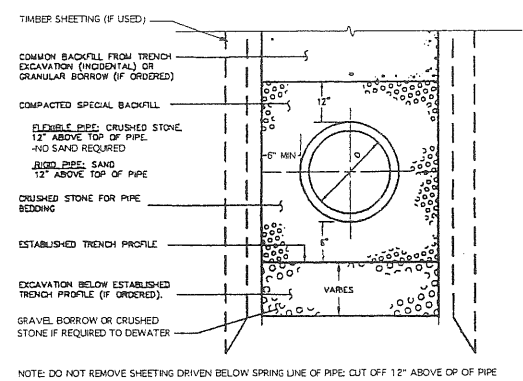


5 PAVERS
 Scale: 1" = 1'-0"

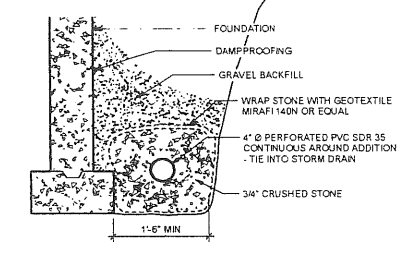
1. LOCATIONS AND ELEVATIONS OF STUBS SHOWN ON THE PLANS ARE TO BE CONSIDERED AS APPROXIMATE AND MAY BE ADJUSTED AS DIRECTED TO SUIT FIELD CONDITIONS.
2. HOUSE CONNECTIONS AND CATCH BASIN CONNECTIONS TO THE MAIN LINE OF THE SEWER SHALL CONSIST OF AN APPROPRIATE "Y" BRANCH CONNECTION AS SHOWN ON THE PLANS, OR AS DIRECTED. ACTUAL "Y" LOCATIONS FOR HOUSE CONNECTIONS AND CATCH BASIN CONNECTIONS SHALL BE DETERMINED DURING CONSTRUCTION. THE CONTRACTOR SHALL KEEP A COMPLETE RECORD OF "Y" LOCATIONS WHICH SHALL BE GIVEN TO THE CITY OF PORTLAND UPON COMPLETION OF THE CONTRACT.



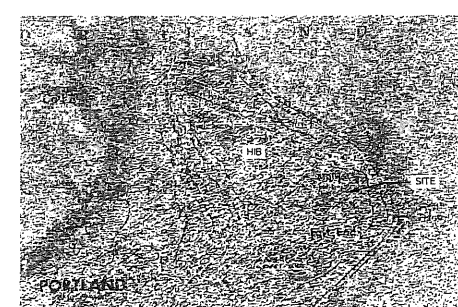
7 PIPE LATERAL CONNECTION
 NOT TO SCALE



6 PIPE TRENCH
 NOT TO SCALE

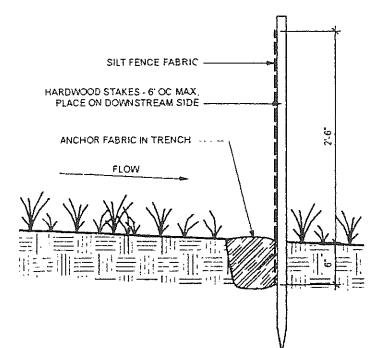


8 FOUNDATION DRAIN
 Scale: 3/4" = 1'-0"



H16: HINDLEY GRAVELLY SANDY LOAM, 3 TO 8 PERCENT SLOPES
 (MAP & SOIL TYPE FROM CUMBERLAND COUNTY SOIL SURVEY, PREPARED BY THE USDA & THE MAINE AGRICULTURAL EXPERIMENT STATION, 1974)

9 SOILS MAP
 NOT TO SCALE

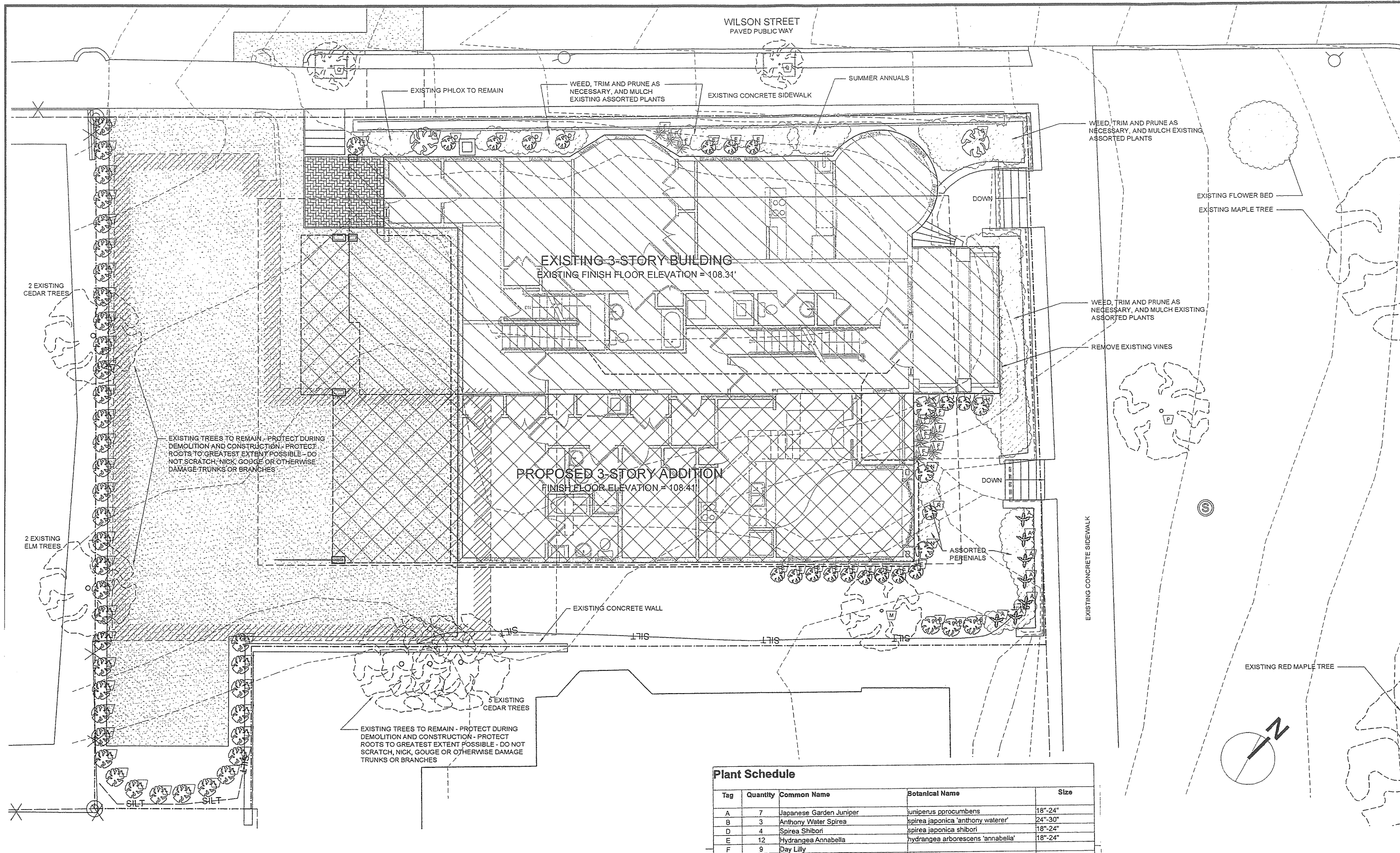


10 SILT FENCE DETAIL
 Scale: 1" = 1'-0"

- EROSION CONTROL NOTES**
1. ALL CONSTRUCTION, SITEMARK, AND EROSION AND SEDIMENT CONTROLS TO BE PERFORMED IN ACCORDANCE WITH THE "MAINE EROSION AND SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION BEST MANAGEMENT PRACTICES (BMP)" CUMBERLAND COUNTY SOIL AND WATER CONSERVATION DISTRICT, DEPARTMENT OF ENVIRONMENTAL PROTECTION (DEP), LATEST EDITION.
 2. THE BUILDER SHALL ONLY DISTURB THE AREAS OF THE PROPOSED CONSTRUCTION AND GRADING. ANY DISTURBANCE OUTSIDE THESE LIMITS MUST BE APPROVED BY THE ARCHITECT.
 3. THE BUILDER SHALL BE RESPONSIBLE FOR EMPLOYING EROSION CONTROL METHODS BEYOND THE CONTROLS SHOWN ON THE PLANS IF AND AS NECESSARY IN ORDER TO MEET THE ABOVE REFERENCED DEP EROSION CONTROL STANDARDS.
 4. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY SITE EXCAVATION OR RE-GRADING. ALL DISTURBED AREAS ON SITE NOT COVERED BY BUILDINGS OR DESIGNATED PARKING AREAS, DRIVEWAYS, OR SIDEWALKS SHALL BE STABILIZED WITH LOAM AND SEED OR OTHER METHODS AS REQUIRED, AS DESCRIBED IN THE MAINE DEP BMP STANDARDS.
 5. PERMANENT SEEDING OR STABILIZATION SHALL BE PERFORMED IMMEDIATELY AFTER FINAL GRADING IS COMPLETED OR TEMPORARY MEASURES SHALL BE APPLIED SUCH AS MULCHING OR SEEDING UNTIL PERMANENT MEASURES ARE IN PLACE.
 6. WITHIN 7 CALENDAR DAYS FOLLOWING THE COMPLETION OF ANY SOIL DISTURBANCE AND PRIOR TO ANY STORM EVENT, MULCH MUST BE SPREAD ON ANY EXPOSED SOILS.
 7. THE BUILDER SHALL STABILIZE ANY SOIL STOCKPILES WHICH WILL REMAIN UNUSED FOR MORE THAN 7 DAYS OR PRIOR TO A STORM EVENT.
 8. ALL EROSION CONTROL DEVICES MUST BE CHECKED WEEKLY AND AFTER EACH SIGNIFICANT RAINFALL TO MINIMIZE PONDING, DAMAGE, DETERIORATION OR UNDERMINING. ANY PROBLEMS SHALL BE REPAIRED IMMEDIATELY. TRAPPED SEDIMENT SHALL BE REMOVED WHEN IT HAS ACCUMULATED TO NO MORE THAN HALF THE ORIGINAL HEIGHT OF ANY BARRIER.
 9. WHERE CONSISTENT WITH JOB SAFETY REQUIREMENTS, ALL MATERIALS EXCAVATED FROM TRENCHES SHALL BE PLACED ON THE UPHILL SIDES OF SUCH TRENCHES.
 10. SEDIMENT BARRIERS MUST BE MAINTAINED UNTIL DISTURBED AREAS ARE PERMANENTLY STABILIZED.
 11. EROSION CONTROL DEVICES SHALL BE REMOVED WITHIN 30 DAYS OF FINAL STABILIZATION.
 12. SEEDING AREAS SHALL BE FERTILIZED AND RESEED AS NECESSARY TO ENSURE VEGETATION IS ESTABLISHED.
 13. ALL FINAL SEEDING SHALL BE COMPLETED WITHIN 7 DAYS FOLLOWING FINAL GRADING.
 14. ALL AREAS SHALL BE MULCHED IMMEDIATELY AFTER SEEDING.
 15. SEEDING SHALL BE PERFORMED BETWEEN APRIL 15th AND OCTOBER 1st. BEYOND THOSE DATES, DORMANT SEEDING SHALL BE APPLIED AT DOUBLE THE APPLICATION RATE, AND ALL FERTILIZING, SEEDING AND MULCHING SHALL BE COMPLETED ON THE SAME DAY IMMEDIATELY AFTER THE LOAM IS SPREAD.

*SEE G-1.1 FOR SELECT SPECIFICATIONS

11(9)



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THE ESTATES OF LONGFELLOW INN
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 CASCO BAY VENTURES

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 PORTLAND MAINE 04101
 TELEPHONE 207 775 6141
 ARCHITECTURE PLANNING

CONSULTANTS:

REVISIONS:

DATE:

PROJECT No. 0510

DRAWN BY: SA

CHECKED BY: TST

SCALE: AS NOTED

SHEET TITLE:
 LANDSCAPING
 PLAN

SITE PLAN REVIEW SET
 Not for Construction
 NOV 20, 2007

C1.4

1 LANDSCAPING PLAN
 3/16"=1'-0"

LANDSCAPING PLAN NOTES
 1. LANDSCAPING TO BE PERFORMED IN ACCORDANCE WITH THE "LANDSCAPE GUIDELINES" OF THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
 2. LOAM & SEED ALL DISTURBED AREAS OF SITE NOT OTHERWISE COVERED BY CONSTRUCTION, PAVEMENT OR LANDSCAPING. SEE "EROSION CONTROL NOTES" ON C-13.

Plant Schedule

Tag	Quantity	Common Name	Botanical Name	Size
A	7	Japanese Garden Juniper	Juniperus procumbens	18"-24"
B	3	Anthony Water Spirea	spirea japonica 'anthony waterer'	24"-30"
D	4	Spirea Shiroburi	spirea japonica shibori	18"-24"
E	12	Hydrangea Annabella	hydrangea arborescens 'annabella'	18"-24"
F	9	Day Lilly		
G	1	Hydrangea PG	hydrangea paniculata grandiflora	36"-48"
H	1	Miss Kim Lilac	syringa patula	24"-30"
J	2	Blue Hydrangea	nikko blue hydrangea	18"-24"
K	1	Dwarf Burning Bush	euonymus alatus compactus	30"-36"
L	45	Arborvitae		48"-60" Tall
M	1	Snow Fountains® Weeping Cherry	prunus 'snowfozam'	10'
N	2	PJM Rhododendron	rhododendron 'pjm'	24"-30"
O	1	Diablo Ninebark	physocarpus opulifolius 'monlo'	36"-48"
P	1	Princeton American Elm	ulmus americana 'princeton'	2 1/2" Caliper
Q	2	Ginkgo	ginkgo biloba	2" Caliper
R	1	Gold Thread Cypress	chamaecyparis pisifera 'filifera aurea'	18"-24"

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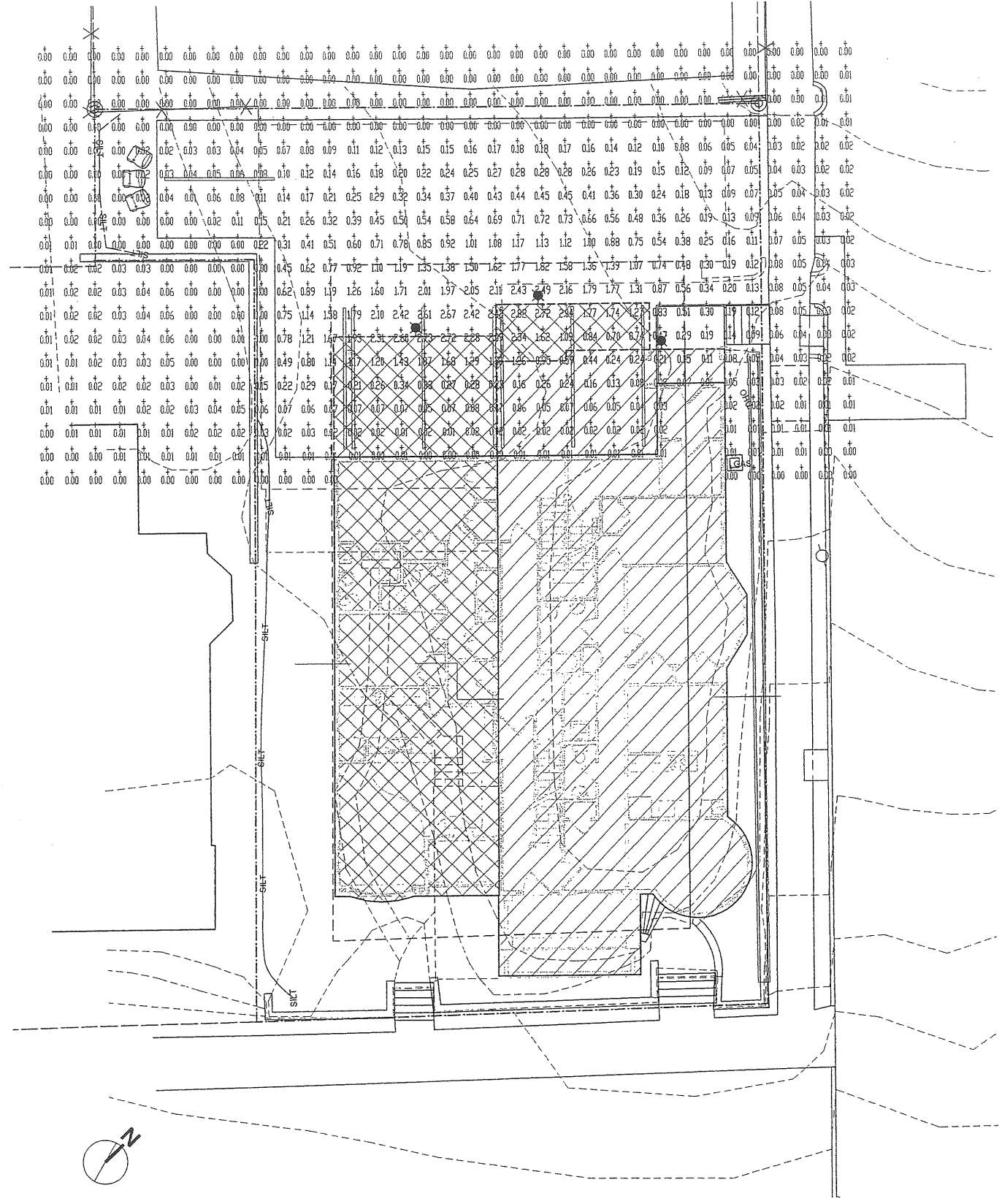
CONSULTANTS:

REVISIONS:

DATE:
 PROJECT No. 0610
 DRAWN BY: SA
 CHECKED BY: TST
 SCALE: AS NOTED

SHEET TITLE:
 SITE LIGHTING

C-1.5



1 SITE LIGHTING
 1/8"=1'-0"



2 SOUTHWEST ELEVATION
 3/16"=1'-0"

130 EASTERN PROMENADE LUMINAIRE SCHEDULE

TYP	SYMBOL	DESCRIPTION	LAMP	LUMENS	MOUNTING / BALLAST	LLF	QTY
A		KIM WF 22-23 / 70MHxxx/xx WALL FORMS WALL MOUNTED LUMINA	(1) 70MH	515	N/A	0.80	3

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11(i)

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CONSULTANTS:

REVISIONS:

DATE:

PROJECT No. 0610

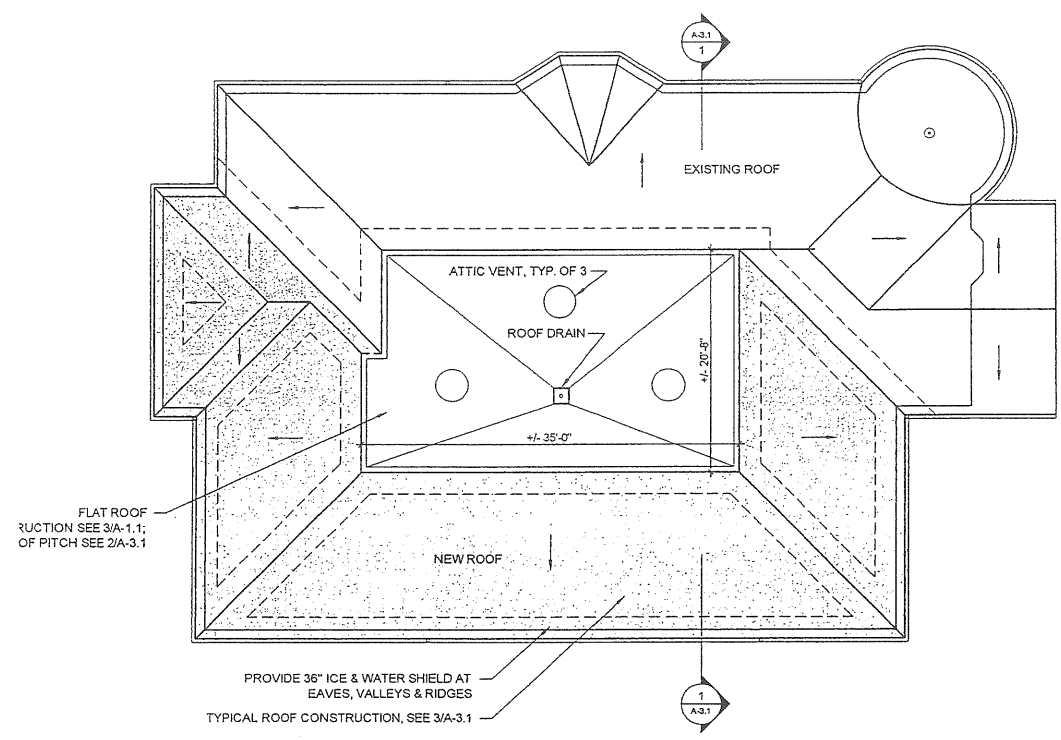
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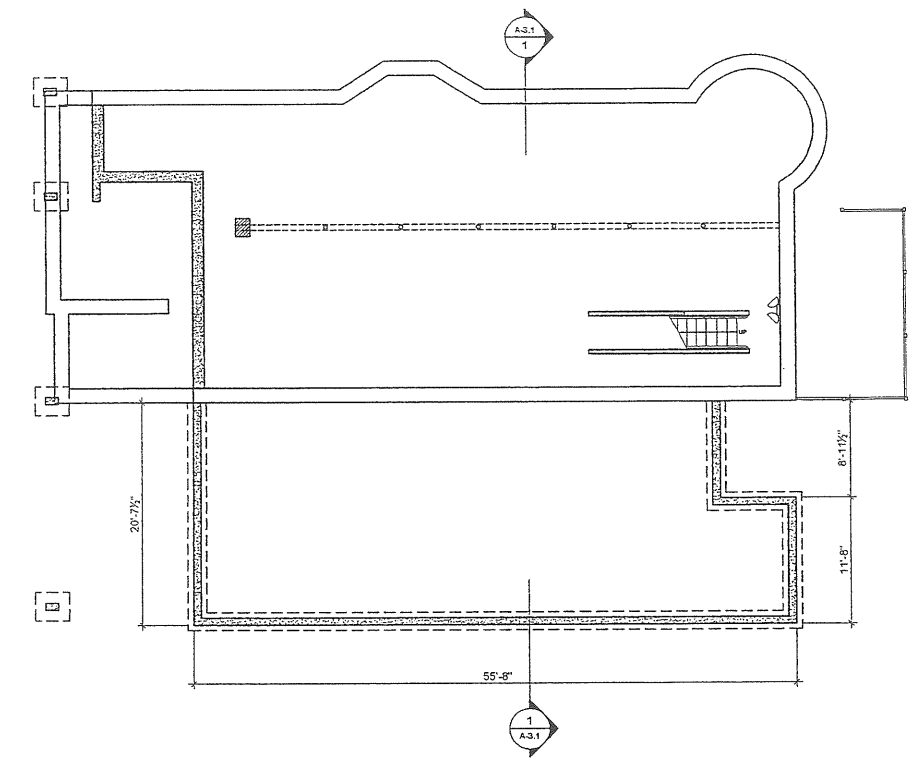
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SHEET TITLE:
BASEMENT AND
ROOF PLAN

A1.1



1 ROOF PLAN
A1.1 1/8" = 1'-0"

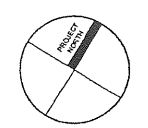
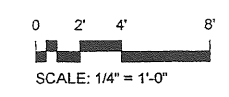


1 BASEMENT PLAN
A1.1 1/8" = 1'-0"

LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- DEMOLITION
- NEW CONSTRUCTION
- 1 HOUR RATED NEW CONSTRUCTION
- 1 HOUR RATED EXISTING CONSTRUCTION

NOTE: SEE A-3.1 FOR CONSTRUCTION ASSEMBLIES



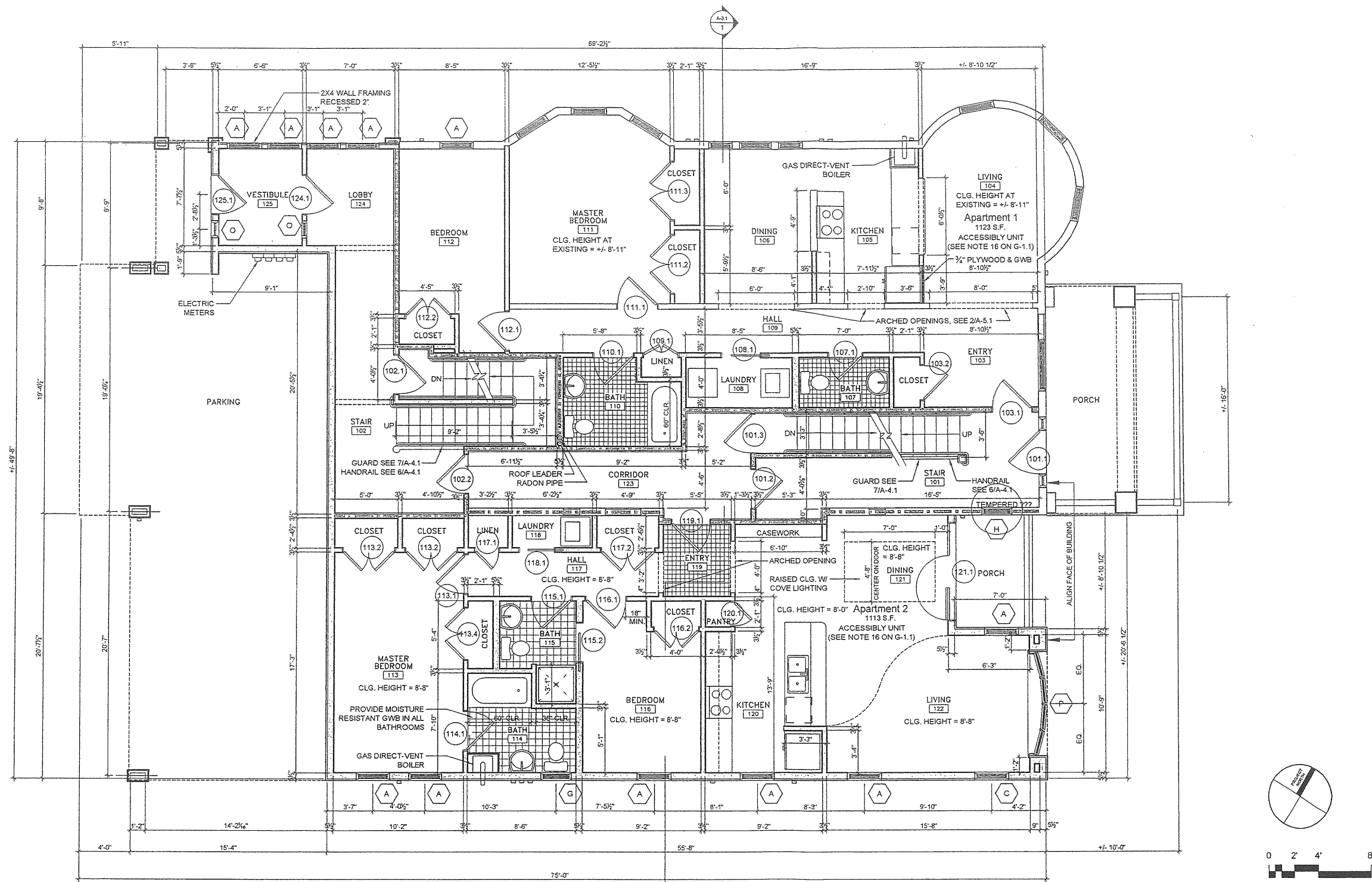
GENERAL NOTES (SEE G-1.1 FOR MORE GENERAL NOTES)

1. DRAWING NOTES: DRAWING NOTES, UNLESS THEY INDICATE OR ARE OBVIOUS, REFER TO NEW CONSTRUCTION.

2. LAYOUT: UNLESS INDICATED OTHERWISE, FLOOR PLAN DIMENSIONS ARE TO FINISH FACE OF EXISTING CONSTRUCTION AND ARE TO FACE OF FRAMING OF NEW CONSTRUCTION. DOORS AND WINDOWS ARE DIMENSIONED TO CENTERLINES OR ROUGH OPENINGS. STAIR TREAD AND RISER LAYOUT DIMENSIONS ARE TO TREAD NOSINGS.

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110



1 FIRST FLOOR PLAN
 A1.2 1/4" = 1'-0"

- LEGEND**
- EXISTING CONSTRUCTION TO REMAIN
 - DEMOLITION
 - NEW CONSTRUCTION
 - 1 HOUR RATED NEW CONSTRUCTION
 - 1 HOUR RATED EXISTING CONSTRUCTION
- NOTE: SEE A-3.1 FOR CONSTRUCTION ASSEMBLIES

GENERAL NOTES (SEE G-1.1 FOR MORE GENERAL NOTES)

1. **DRAWING NOTES:** DRAWING NOTES, UNLESS THEY INDICATE OR ARE OBVIOUS, REFER TO NEW CONSTRUCTION.
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 ARCHITECTURE PLANNING

CONSULTANTS:

REVISIONS:

DATE: MAY 16, 2007
 PROJECT No. 0810
 DRAWN BY: SA
 CHECKED BY: TST
 SCALE: AS NOTED
 SHEET TITLE:
 1ST FLOOR PLAN

A1.2

11(K)

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REVISIONS:

DATE:

PROJECT No. 0610

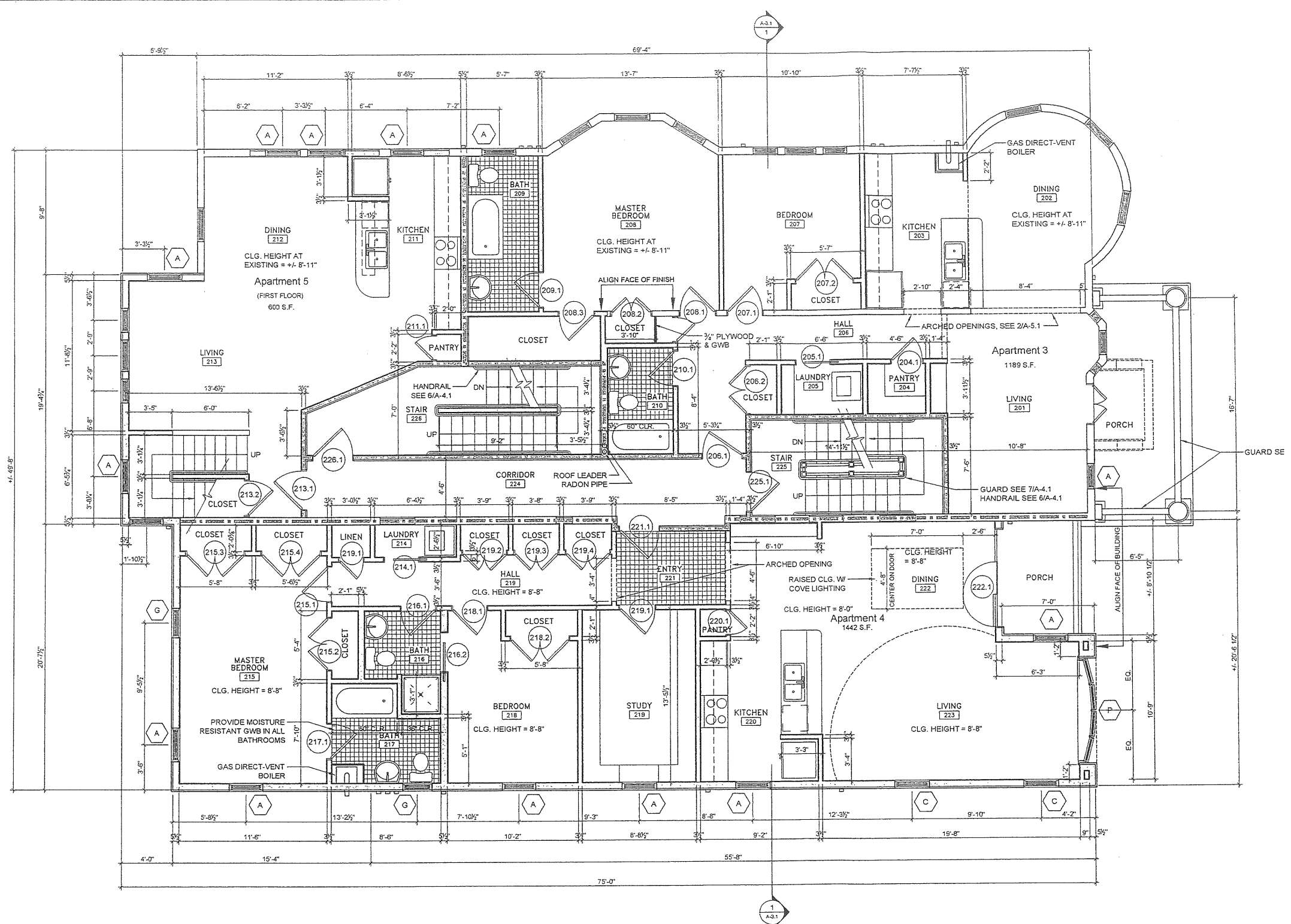
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CHECKED BY: TST

SCALE: AS NOTED

SHEET TITLE:
2ND FLOOR PLAN

A1.3



1 FIRST FLOOR PLAN
A1.2 1/4" = 1'-0"

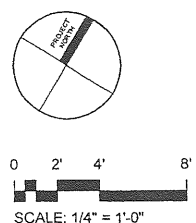
LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- DEMOLITION
- NEW CONSTRUCTION
- 1 HOUR RATED NEW CONSTRUCTION
- 1 HOUR RATED EXISTING CONSTRUCTION

NOTE: SEE A-3.1 FOR CONSTRUCTION ASSEMBLIES

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 CASCO BAY VENTURES

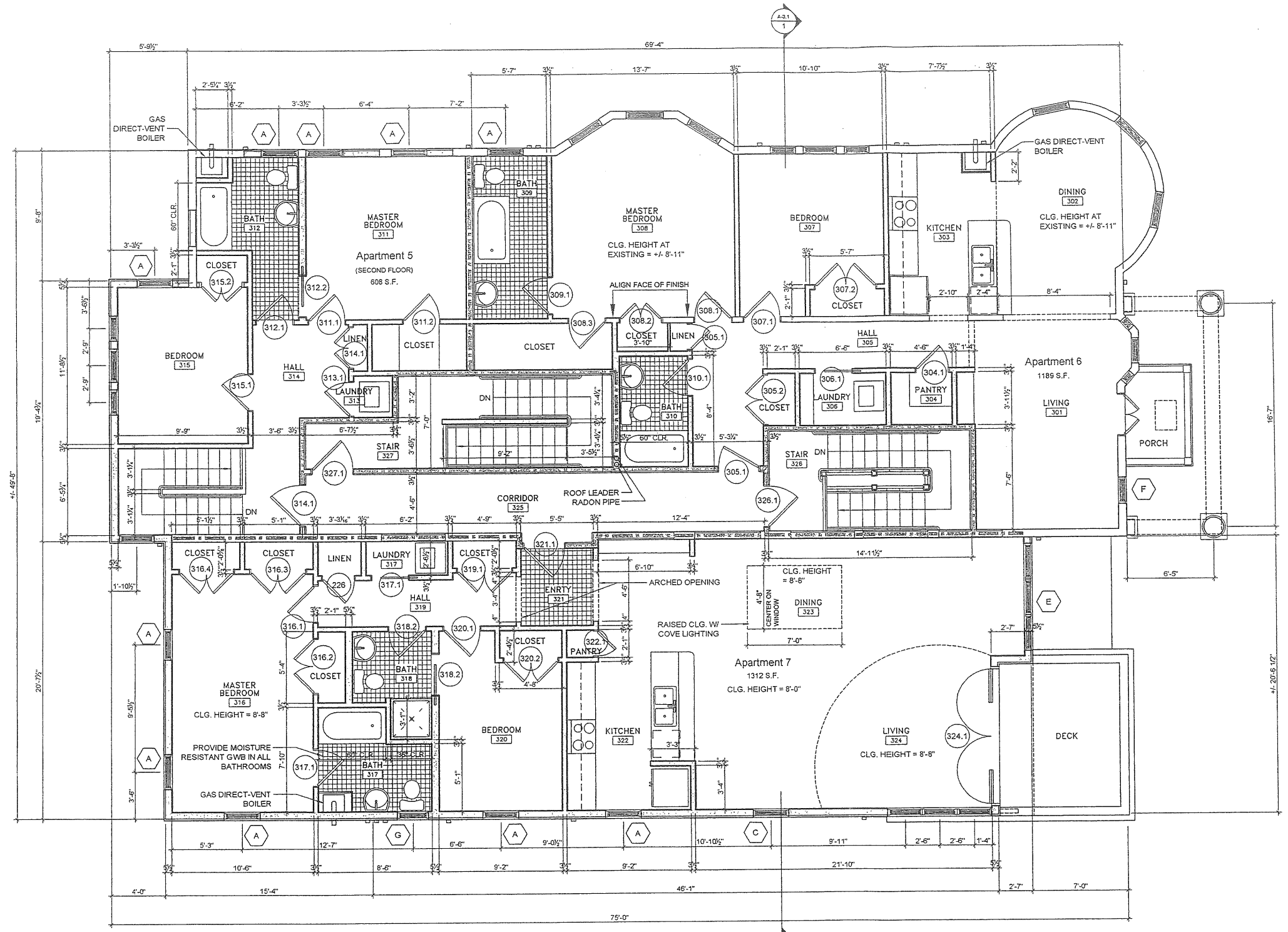
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 TELEPHONE 207 775 8141
 ARCHITECTURE PLANNING

CONSULTANTS:

SITE PLAN REVIEW SET
 Not for Construction
 NOV 20, 2007

REVISIONS:
DATE:
PROJECT No. 0610
DRAWN BY: SA
CHECKED BY: TST
SCALE: AS NOTED
SHEET TITLE: 3RD FLOOR PLAN

A1.4



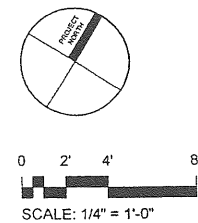
1 FIRST FLOOR PLAN
 A1.2 1/4" = 1'-0"

LEGEND

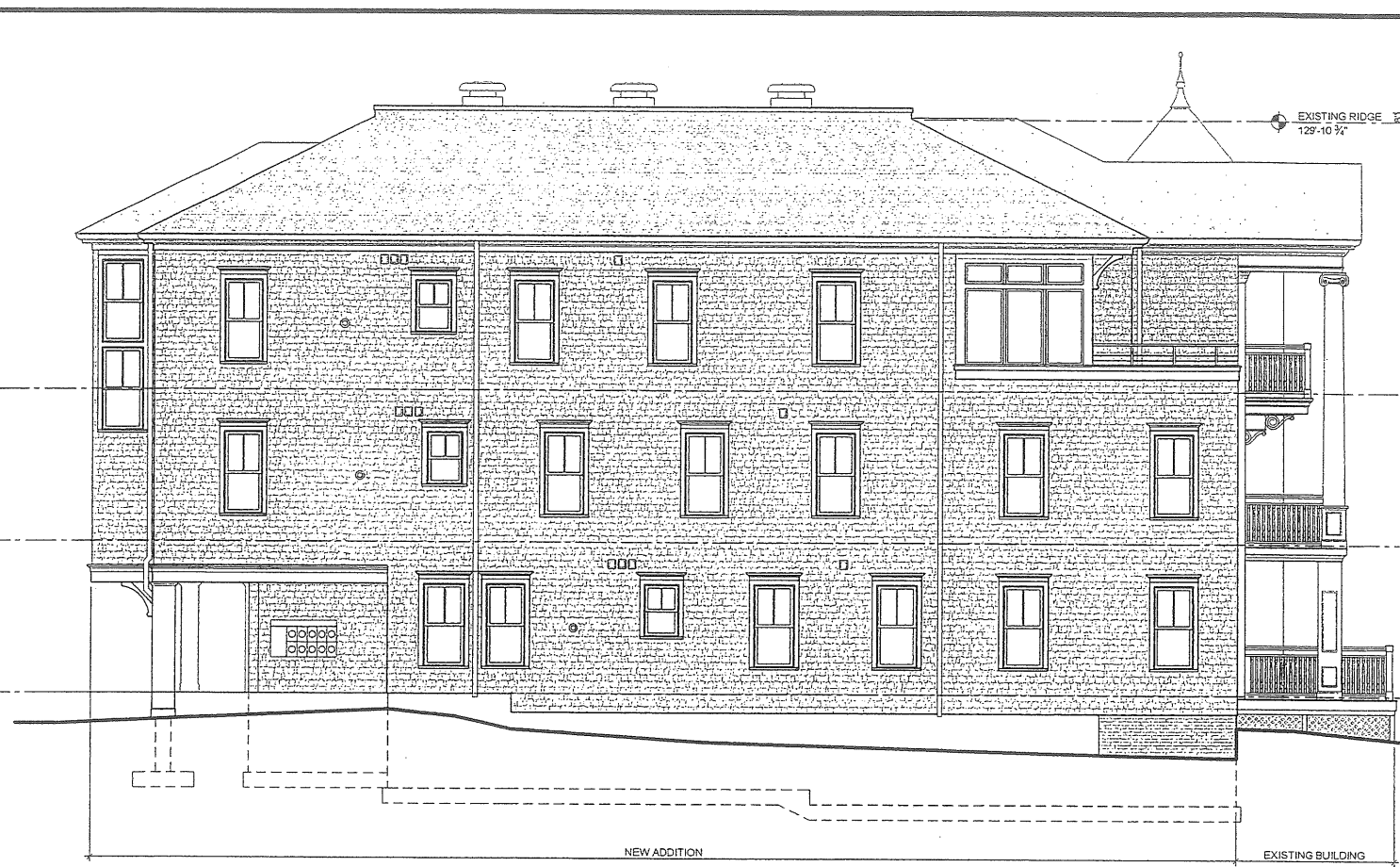
	EXISTING CONSTRUCTION TO REMAIN
	DEMOLITION
	NEW CONSTRUCTION
	1 HOUR RATED NEW CONSTRUCTION
	1 HOUR RATED EXISTING CONSTRUCTION

NOTE: SEE A-3.1 FOR CONSTRUCTION ASSEMBLIES

GENERAL NOTES (SEE G-1.1 FOR MORE GENERAL NOTES)
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11(m)



1
A2.1
SOUTHEAST ELEVATION
3/16" = 1'-0"



2
A2.1
NORTHEAST ELEVATION
3/16" = 1'-0"



3
A2.1
NORTHWEST ELEVATION
3/16" = 1'-0"



4
A2.1
SOUTHWEST ELEVATION
3/16" = 1'-0"

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ARCHITECTURE PLANNING

CONSULTANTS:

REVISIONS:

DATE:
PROJECT No. 0510
DRAWN BY: SA
CHECKED BY: TST
SCALE: AS NOTED

SHEET TITLE:
EXTERIOR ELEVATIONS

A2.1