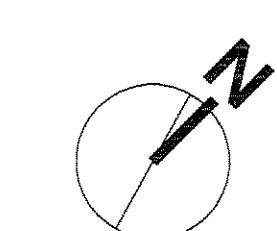
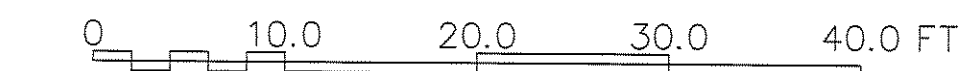
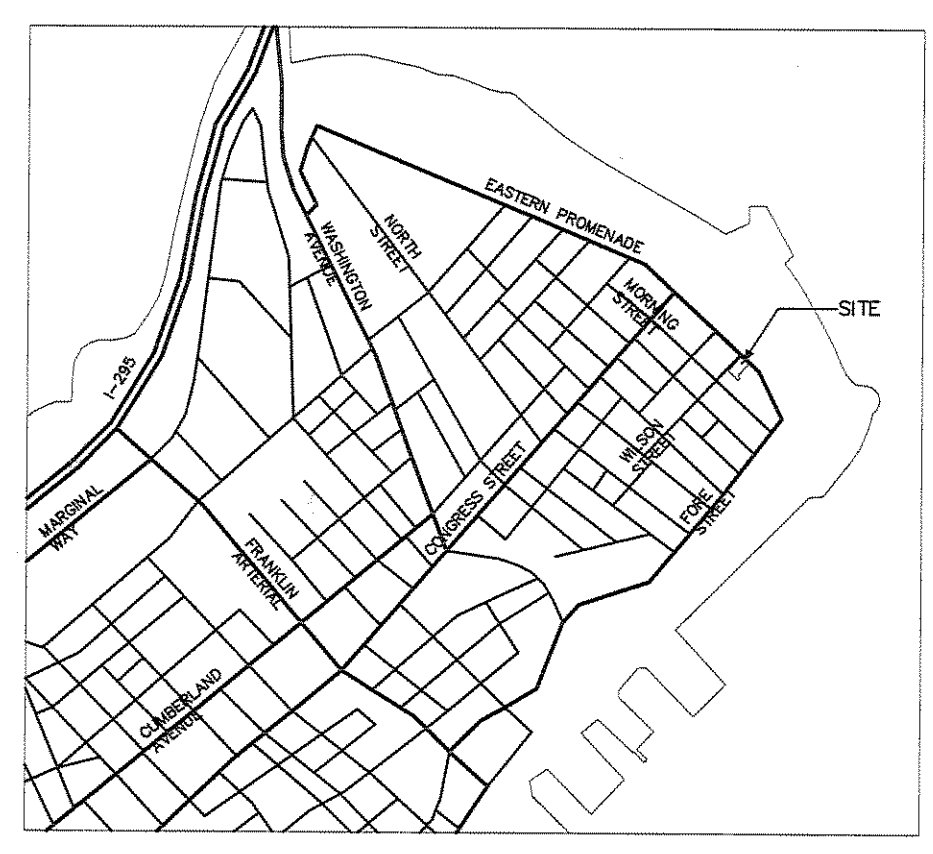


1 SUBDIVISION PLAN
 1"=10'-0"



SUBDIVISION PLAN
 APPROVED BY THE CITY OF PORTLAND
 PLANNING BOARD

DATE



- GENERAL NOTES**
- OWNER: CASCO BAY VENTURES, FALMOUTH, MAINE
 - ARCHITECT: TFH ARCHITECTS, PORTLAND, MAINE
 - PROPERTY BOUNDARY, EXISTING CONDITIONS AND TOPOGRAPHY BASED ON "BOUNDARY SURVEY/SITE PLAN AT 130 EASTERN PROMENADE, PORTLAND, MAINE" PREPARED FOR 130 EASTERN PROMENADE, PORTLAND, MAINE, ON JANUARY 10, 2008.
 - ELEVATION BENCHMARK: HIGHEST POINT ON "M" MONUMENT @ NORTHWEST CORNER OF ST. LAWRENCE AND FORE STREETS (ELEVATION = 69.35') BASED ON N.G.V.D. 1929 CITY OF PORTLAND DATUM.
 - ZONE: R-4
 - TAX MAPS CBL 3-C1 & 2
 - TOTAL PARCEL SIZE: 7,205.9 SF (0.16 ACRES)
 - STREET NUMBERS TO BE CLEARLY VISIBLE ON BUILDING FROM STREET
 - BUILDING TO BE SERVICED BY PUBLIC GAS, SEWER & WATER
 - PRIOR TO SITE EXCAVATION, CONTACT DISURANCE AT 1-800-722-4977
 - ALL CONSTRUCTION, SITEWORK, AND EROSION AND SEDIMENT CONTROLS TO BE PERFORMED IN ACCORDANCE WITH THE "MAINE EROSION AND SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION (BEST MANAGEMENT PRACTICES)" LATEST EDITION. EROSION AND SEDIMENT CONTROLS TO BE INSTALLED PRIOR TO COMMENCING WORK.
 - CUMBERLAND COUNTY SOIL AND WATER CONSERVATION DISTRICT, DEPARTMENT OF ENVIRONMENTAL PROTECTION, SOILS ARE CLASSIFIED AS "H8-HINCKLEY GRAVELLEY SANDY LOAM" PER THE "CUMBERLAND COUNTY SOIL SURVEY, PREPARED BY THE USDA & THE MAINE AGRICULTURAL EXPERIMENT STATION, 1974"
 - THIS PROJECT IS THE SUBDIVISION OF 7,205.9 SF OF LAND FOR 1 BUILDING WITH A PROPOSED ADDITION, WITH 4 DWELLING UNITS IN THE EXISTING BUILDING AND 3 DWELLING UNITS IN THE PROPOSED ADDITION.
 - THIS APPROVAL IS DEPENDENT UPON, AND LIMITED TO, THE PROPOSALS AND PLANS CONTAINED IN THE APPLICATION AND SUPPORTING DOCUMENTS SUBMITTED AND AFFIRMED BY THE APPLICANT AND ANY VARIATION FROM THE PLANS, PROPOSALS AND SUPPORTING DOCUMENTS IS SUBJECT TO REVIEW AND APPROVAL BY THE PLANNING BOARD, EXCEPT FOR DEMINIMUS CHANGES WHICH THE DIRECTOR OF PLANNING AND ZONING MAY APPROVE.
- DRAWINGS INCLUDED IN THIS SUBMITTAL ARE:
- C-1.1 SUBDIVISION PLAN
 - C-1.2 SITE PLAN
 - C-1.3 SITE DETAILS
 - C-1.4 LANDSCAPING PLAN
 - C-1.5 SITE LIGHTING
15. DRAWING NOTES, UNLESS THEY INDICATE OR ARE OBVIOUS OTHERWISE, REFER TO NEW CONSTRUCTION

- SUBDIVISION NOTES**
- THE ENTIRE SITE SHALL BE DEVELOPED AND/OR MAINTAINED AS DEPICTED ON THE SITE PLAN. APPROVAL OF THE PLANNING AUTHORITY OR PLANNING BOARD SHALL BE REQUIRED FOR ANY ALTERATION TO OR DEVIATION FROM THE APPROVED SITE PLAN, INCLUDING WITHOUT LIMITATION: TOPOGRAPHY, DRAINAGE, LANDSCAPING, RETENTION OF WOODS OR LAWN AREAS, ACCESS, SITE LOCATION, AND SURFACING OF PARKING AREAS AND LOCATION AND SIZE OF BUILDINGS.
 - PRIOR TO CONSTRUCTION, A PRECONSTRUCTION MEETING SHALL BE HELD AT THE PROJECT SITE WITH THE OWNER/BUILDER, DEVELOPMENT REVIEW COORDINATOR, AND PUBLIC WORKS REPRESENTATIVE TO REVIEW THE CONSTRUCTION SCHEDULE AND CRITICAL ASPECTS OF THE SITE WORK. AT THAT TIME, THE BUILDER SHALL PROVIDE THREE (3) COPIES OF A DETAILED CONSTRUCTION SCHEDULE TO THE ATTENDING CITY REPRESENTATIVE. IT SHALL BE THE BUILDER'S RESPONSIBILITY TO ARRANGE A MUTUALLY AGREEABLE TIME FOR THE PRECONSTRUCTION MEETING.
 - SUBDIVISION AT THE TIME OF APPROVAL IS DEFINED AS "SUBDIVISION SHALL MEAN THE DIVISION OF A LOT, TRACT OR PARCEL OF LAND INTO THREE (3) OR MORE LOTS, INCLUDING LOTS OF FORTY (40) ACRES OR MORE, WITHIN ANY FIVE-YEAR PERIOD WHETHER OCCUPIED BY SALE, LEASE, DEVELOPMENT, BUILDINGS OR OTHERWISE AND AS FURTHER DEFINED IN 36-A MRSA SECTION 4401. THE TERM SUBDIVISION SHALL ALSO INCLUDE THE DIVISION OF A NEW STRUCTURE OR STRUCTURES ON A TRACT OR PARCEL OF LAND INTO THREE (3) OR MORE DWELLING UNITS WITHIN A FIVE-YEAR PERIOD AND THE DIVISION OF AN EXISTING STRUCTURE OR STRUCTURES PREVIOUSLY USED FOR COMMERCIAL OR INDUSTRIAL USE INTO THREE (3) OR MORE DWELLING UNITS WITHIN A FIVE-YEAR PERIOD. THE AREA INCLUDED IN THE EXPANSION OF AN EXISTING STRUCTURE IS DEEMED TO BE A NEW STRUCTURE FOR THE PURPOSES OF THIS PARAGRAPH. A DWELLING UNIT SHALL INCLUDE ANY PART OF A STRUCTURE WHICH, THROUGH SALE OR LEASE, IS INTENDED FOR HUMAN HABITATION, INCLUDING SINGLE-FAMILY AND MULTIFAMILY HOUSING, CONDOMINIUMS, TIME-SHARE UNITS AND APARTMENTS."

