



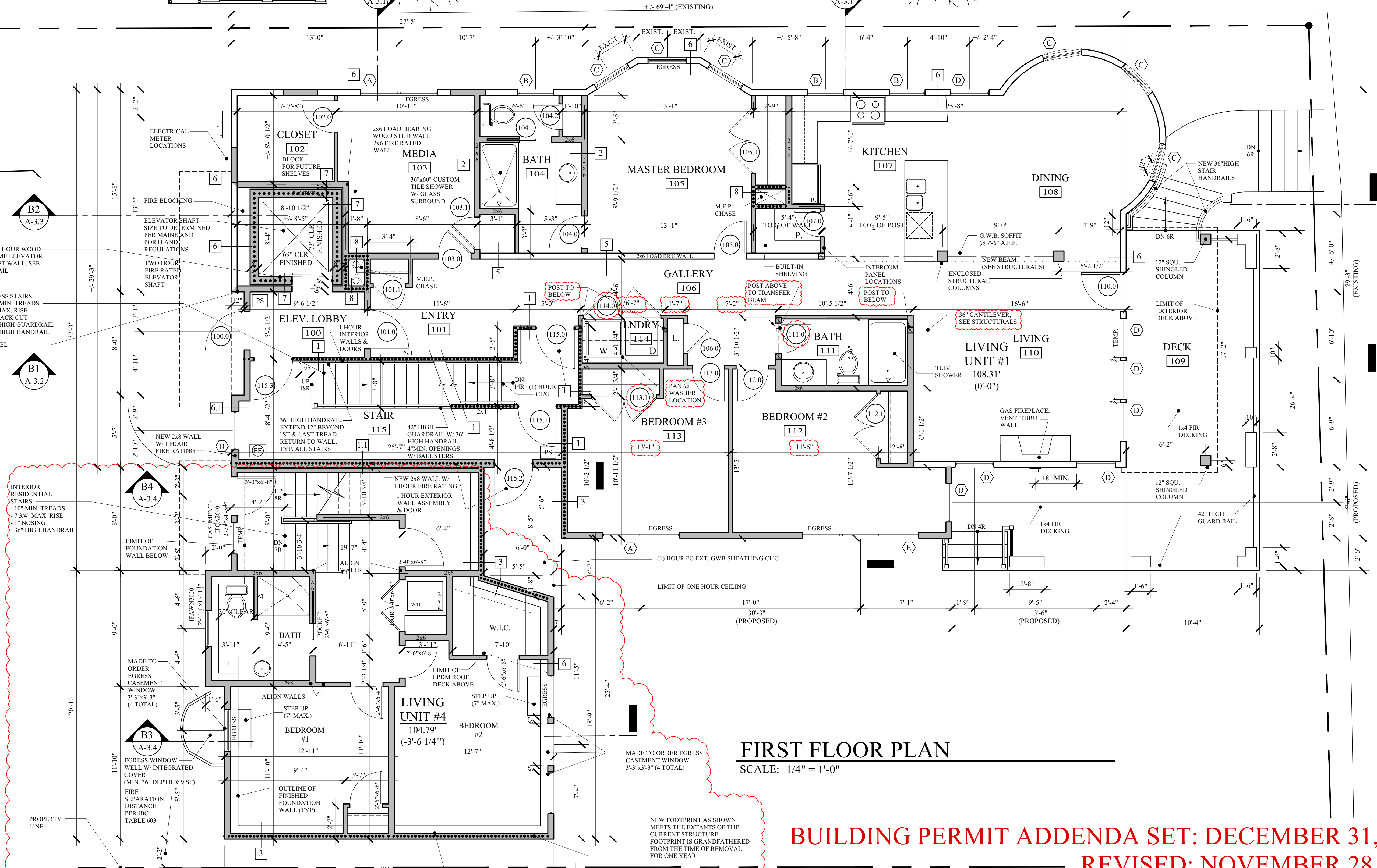
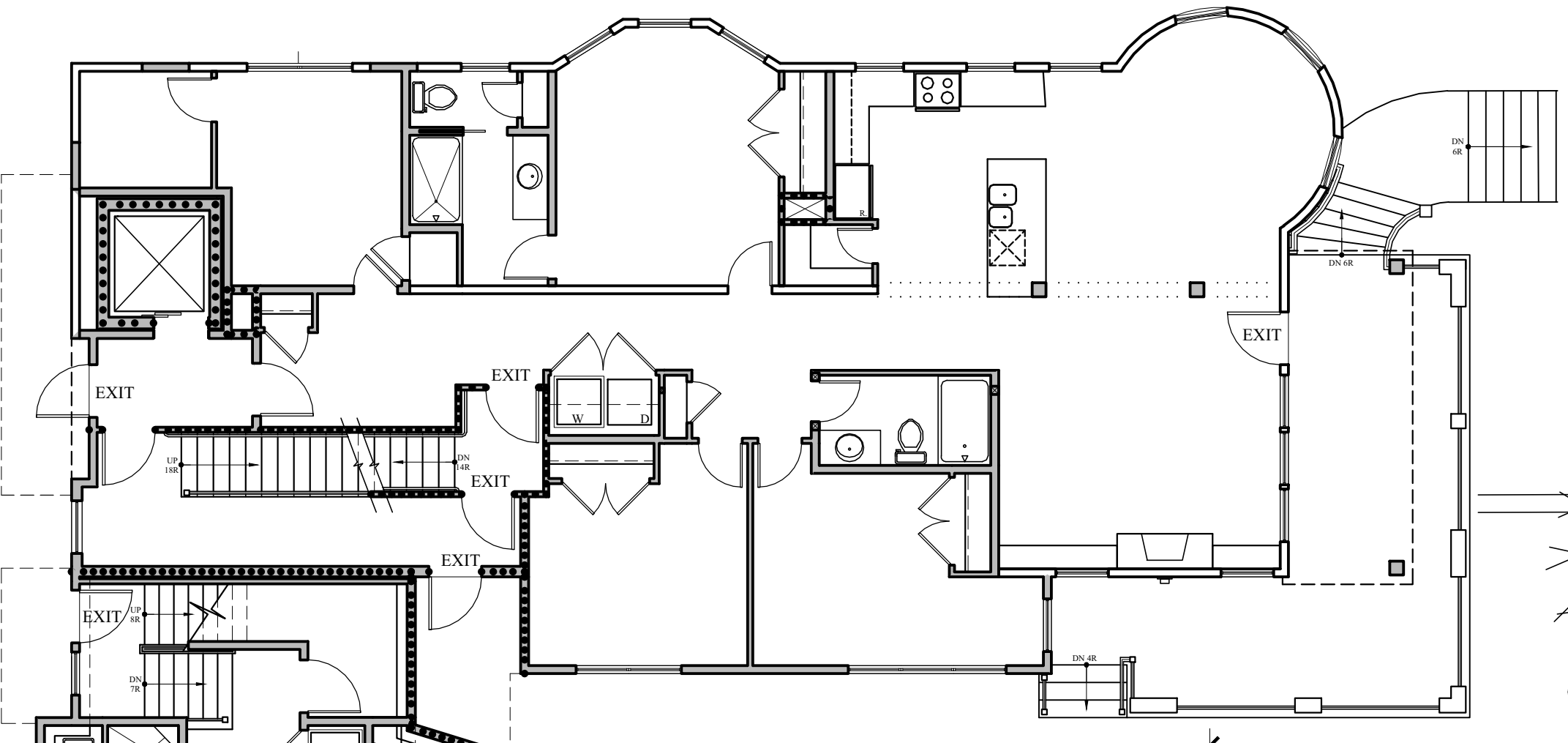
WALL LEGEND

EXISTING WALL	---
NEW WALL	=====
FIRE RATED WALL	-----
1 HOUR
2 HOUR
3 HOUR
EXISTING WALL TO BE REMOVED	- - - - -

1ST FLOOR TRAVEL DISTANCE

SCALE: 1/8" = 1'-0"

TWO EXITS PROVIDED AT MAIN BUILDING



LIFE SAFETY LEGEND:

- EXIT LIGHT
 - EMERGENCY BACKUP LIGHT
 - SMOKE DETECTOR
 - SMOKE & CO DETECTOR, SINGLE STATION
 - PHOTOELECT SMOKE W/ SOUNDER BASE AND CO DETECTOR
 - FIRE EXTINGUISHER IN RECESSED CABINET
 - PULL STATION - SPRINKLER SYSTEM
- PERMITTING AND INSTALLATION OF THE LIFE SYSTEM SHALL BE PERMITTED AND PERFORMED BY A CITY APPROVED CONTRACTOR
- THE PULL STATIONS AS SHOWN ACTIVATE THE SPRINKLER SYSTEM ONLY
- ALL STROBES TO BE 30 CANDELA UNLESS OTHERWISE NOTED
- SPRINKLER SYSTEM SHALL BE SUPERVISED BY AN OFF-SITE CERTIFIED THIRD PARTY

EGRESS STAIRS:
- 11" MIN. TREADS
- 7" MAX. RISE
- 1" BACK CUT
- 42" HIGH GUARDRAIL
- 36" HIGH HANDRAIL

INTERIOR RESIDENTIAL STAIRS:
- 10" MIN. TREADS
- 7 3/4" MAX. RISE
- 1" NOSING
- 36" HIGH HANDRAIL

AREAS SHOWN ARE FOR SITE REVIEW PURPOSES. CONSTRUCTION AREAS MAY VARY

FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

BUILDING PERMIT ADDENDA SET: DECEMBER 31, 2014
REVISED: NOVEMBER 28, 2014
CONSTRUCTION SET: AUGUST 11, 2014

PROPOSED RENOVATIONS @:
130 EASTERN PROMENADE
 FOR: 130 EASTERN PROMENADE LLC
 110 MARGINAL WAY
 PORTLAND, MAINE 04101

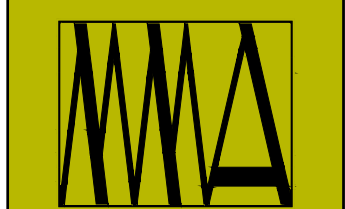
FIRST FLOOR PLAN

REVISIONS
 DATE: 02/24/2011
 PROJECT: 130 E PROM
 DRAWN BY: MSP
 CHECK BY: MAM

A-1.1



Date: 02/13/15



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MARK MUELLER ARCHITECTS

PROPOSED RENOVATIONS @:
130 EASTERN PROMENADE
FOR: 130 EASTERN PROMENADE LLC
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PORTLAND, MAINE 04101

SECOND FLOOR PLAN

REVISIONS
Revision 1: 11.28.14
SK-1: Coordination & Clarifications

DATE: 02/24/2011
PROJECT: 130 E PROM
DRAWN BY: MRP
CHECK BY: MUM

A-1.2

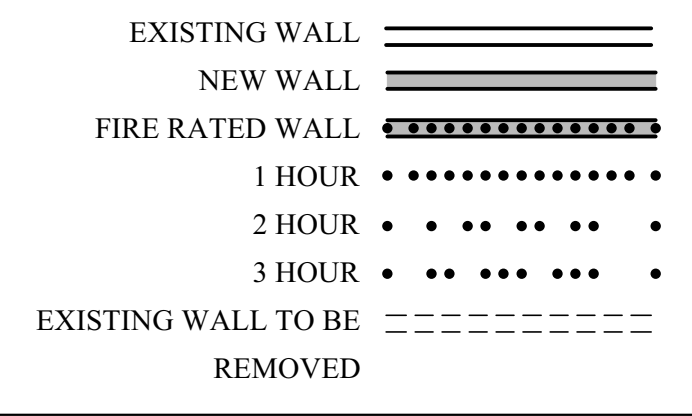
NFPA 101 2009 CODE DATA

OCCUPANT LOAD	33 PEOPLE
USE GROUP CLASSIFICATION	APARTMENT
TYPE OF CONSTRUCTION	5.0.0.0. UNPROTECTED
TOTAL AREA OF WORK	6,710 SF
ACTUAL BUILDING AREA	6,710 SF
BUILDING HEIGHT	(3) STORY
FIRE SUPPRESSION	NFPA 13R
EXIT ACCESS FIRE RATINGS:	
FIRE WALLS	1 HOUR
PARTY WALLS	1 HOUR
STAIR ENCLOSURES	1 HOUR
SHAFTS	1 HOUR
EXIT ACCESS CORRIDORS	NONE
FIRE PROTECTION OF STRUCTURE:	
PRIMARY STRUCTURAL FRAME	N/A
LOAD BEARING WALLS - EXTERIOR	1 HOUR PER IBC FIRE SEPARATION
LOAD BEARING WALLS - INTERIOR	N/A
NON-LOAD BEARING WALLS - EXTERIOR	N/A
NON-LOAD BEARING WALLS - INTERIOR	N/A
FLOOR CONSTRUCTION	N/A
ROOF CONSTRUCTION	N/A
INTERIOR FINISHES:	WALLS AND CEILINGS: CLASS A, B OR C
FLOORS:	CLASS 1 OR 2
F.F.E. SHALL MEET NFPA 265 AND 701.	

IBC 2009 CODE DATA

OCCUPANT LOAD	33 PEOPLE
USE GROUP CLASSIFICATION	R-2
TYPE OF CONSTRUCTION	5B - UNPROTECTED
TOTAL AREA OF WORK	6,710 SF
ACTUAL BUILDING AREA	6,710 SF
BUILDING HEIGHT	(3) STORIES
BUILDING AREA LIMITATION - SQ. FT. (TABLE 503)	EXISTING TO REMAIN
BUILDING HEIGHT LIMITATION - STORIES (TABLE 503)	EXISTING TO REMAIN
STREET FRONTAGE INCREASE (150%) - SQ. FT.	N/A
AUTOMATIC SPRINKLER SYSTEM AREA INCREASE (300%) - SQ. FT.	N/A
AUTOMATIC SPRINKLER SYSTEM HEIGHT INCREASE	N/A
FIRE SUPPRESSION:	PROPOSED NFPA 13R
EXIT ACCESS FIRE RATINGS:	
FIRE WALLS:	
PARTY WALLS	1 HOUR
STAIR ENCLOSURES	1 HOUR
SHAFTS	2 HOUR & 1 HOUR (SEE PLAN)
EXIT ACCESS CORRIDORS	NONE
FIRE PROTECTION OF STRUCTURE:	
PRIMARY STRUCTURAL FRAME	N/A
LOAD BEARING WALLS - EXTERIOR	1 HOUR PER FIRE SEPARATION DISTANCE
LOAD BEARING WALLS - INTERIOR	N/A
NON-LOAD BEARING WALLS - EXTERIOR	N/A
NON-LOAD BEARING WALLS - INTERIOR	N/A
FLOOR CONSTRUCTION	N/A
ROOF CONSTRUCTION	N/A
OCCUPANT LOAD:	6,710 SF / 200 SF / PERSON = 33 PEOPLE

WALL LEGEND



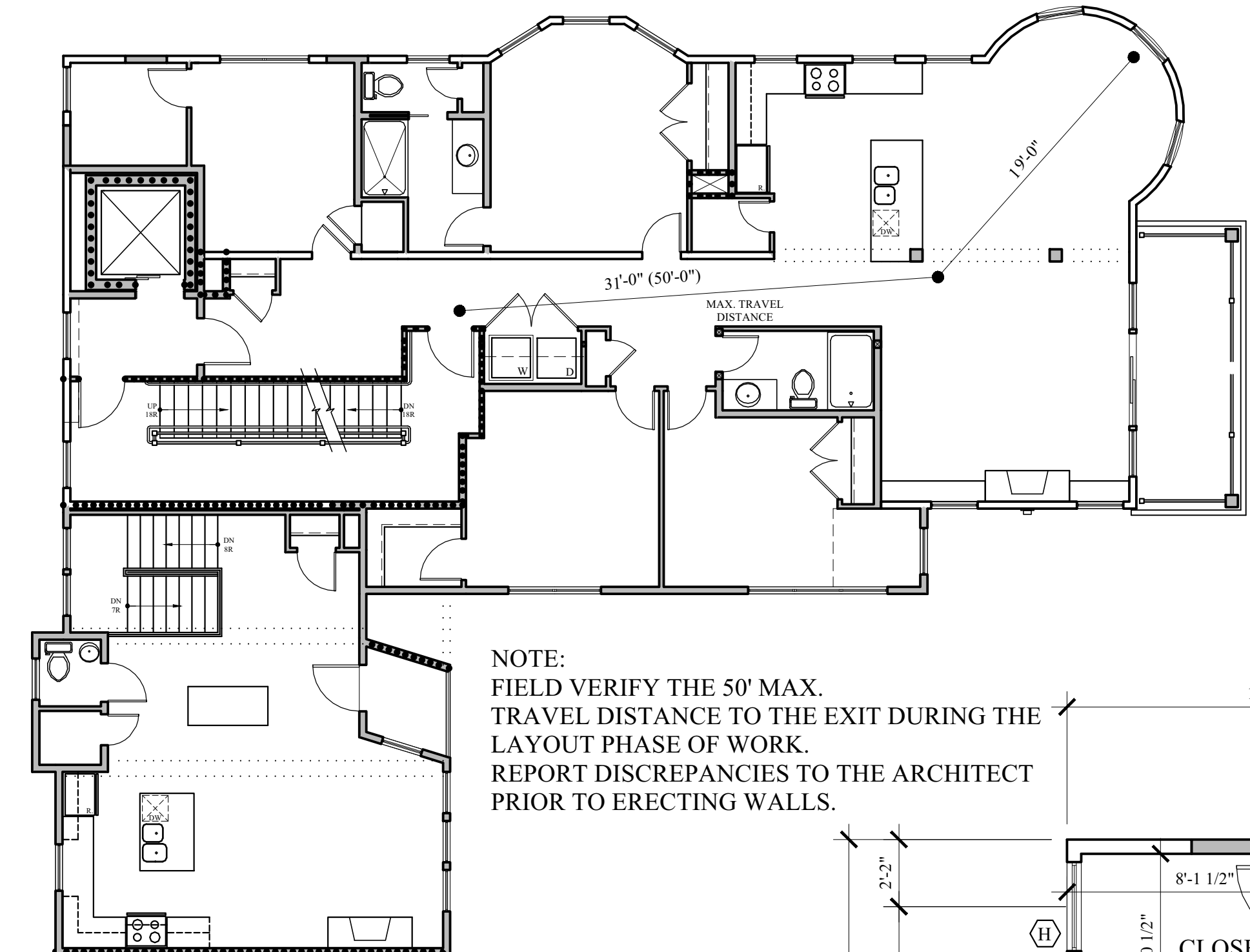
LIGHTING NOTES:

- ALL FIXTURES SHALL BE SURFACE MOUNT OVER THE ONE HOUR FIRE RATED FLOOR/CEILING ASSEMBLIES @ THE LIVING UNITS. TYP. AT THE LOWER LEVEL STORAGE ROOM.
- RECESS LIGHT FIXTURES SHALL BE SET IN FIRE RATED HOUSINGS, PRE-MANUFACTURED OR SITE BUILT TO MATCH THE FIRE RATING OF THE ASSEMBLY.

2ND FLOOR TRAVEL DISTANCE

SCALE: 1/8" = 1'-0"

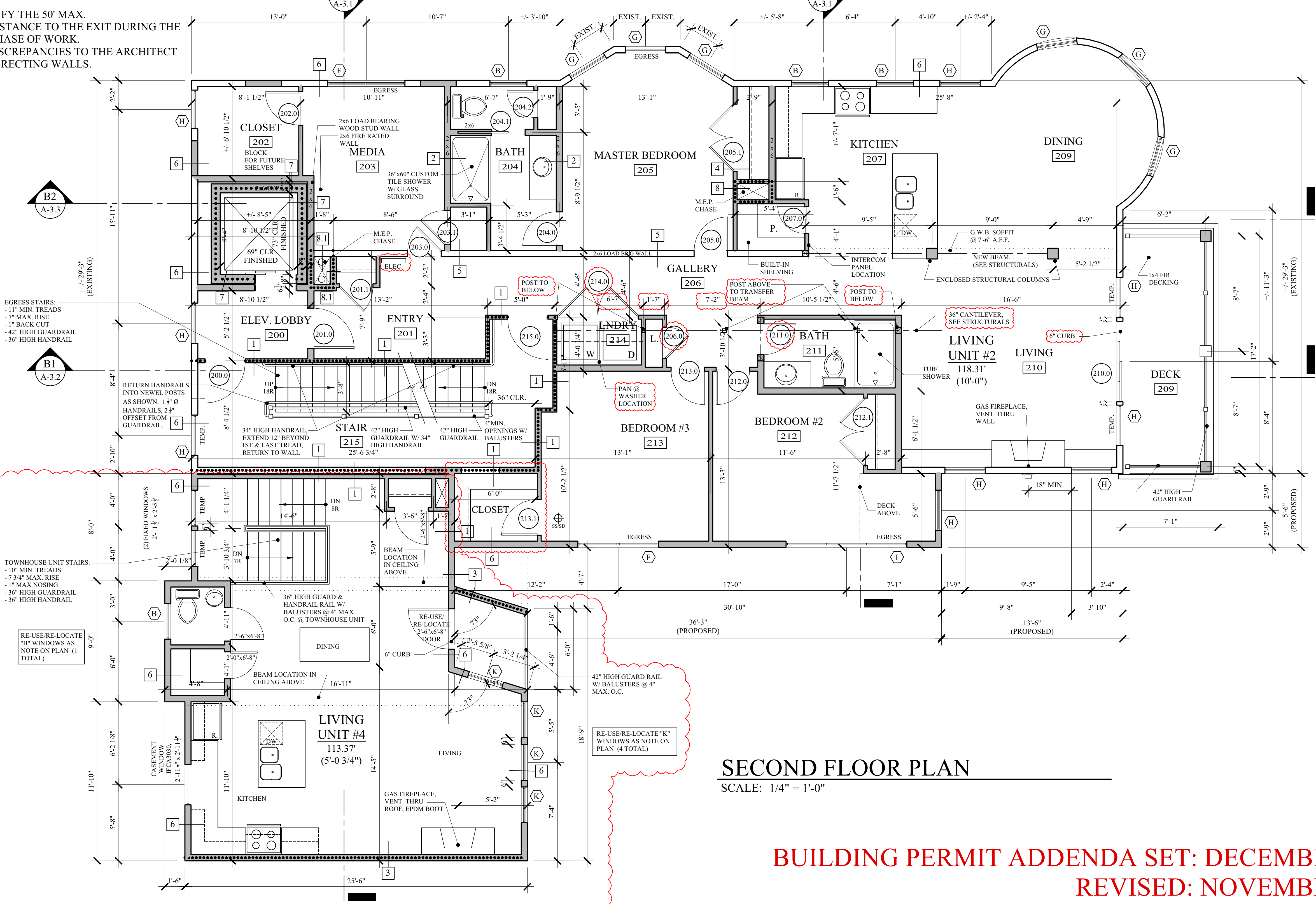
NOTE: FIELD VERIFY THE 50' MAX. TRAVEL DISTANCE TO THE EXIT DURING THE LAYOUT PHASE OF WORK. REPORT DISCREPANCIES TO THE ARCHITECT PRIOR TO ERECTING WALLS.



NOTE: THE DESIGN INCLUDES A SINGLE EXIT FROM THE SECOND AND THIRD FLOORS. THE PROJECT MEETS THE FOLLOWING REQUIREMENTS FOR EXITING:

IBC: TABLE 1021.2. STORIES WITH ONE EXIT. PROJECT MEETS THE REQUIREMENTS FOR R-2 SECOND AND THIRD FLOOR BY MEETING THE MAXIMUM 50' TRAVEL DISTANCE. THE BUILDING IS SPRINKLER PER NFPA13R AND CONTAINS EMERGENCY ESCAPE OPENINGS PER THE PLAN.

NFPA: A SINGLE EXIT IS ALLOWED PER SECTION 30.2.4.4. NUMBER OF EXITS IN THE APARTMENT CHAPTER. EXIT FROM EACH OF THE UPPER UNITS MEET THE 35' TRAVEL DISTANCE FROM THE UNIT ENTRY DOOR TO THE EXIT ENCLOSURE. ACTUAL DISTANCE PROVIDED: ZERO



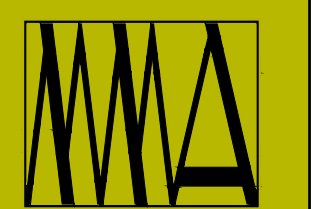
SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

BUILDING PERMIT ADDENDA SET: DECEMBER 31, 2014
REVISED: NOVEMBER 28, 2014
CONSTRUCTION SET: AUGUST 11, 2014



Reviewed for Code Compliance
Inspection Division
Approved with Conditions
Date: 02/13/15



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PROPOSED RENOVATIONS @
130 EASTERN PROMENADE
FOR: 130 EASTERN PROMENADE LLC
110 MARGINAL WAY
PORTLAND, MAINE 04101

BASEMENT FLOOR PLAN

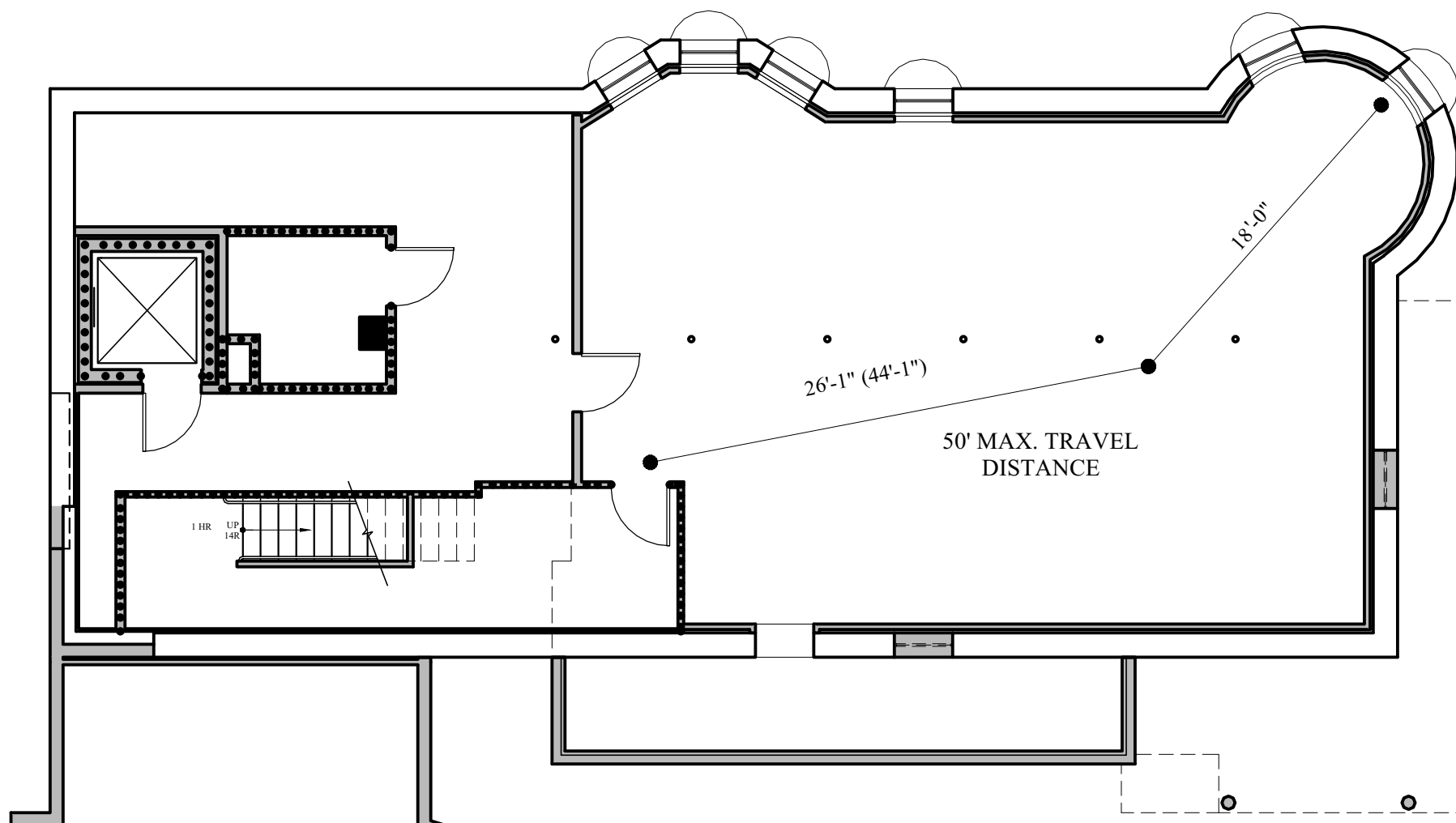
REVISIONS
DATE
02/24/2011
PROJECT
130 E PROM
DRAWN BY
MRP
CHECK BY
MLM

Revision 1: 11.28.14
SK-1: Coordination & Clarifications

A-1.4

BASEMENT TRAVEL DISTANCE

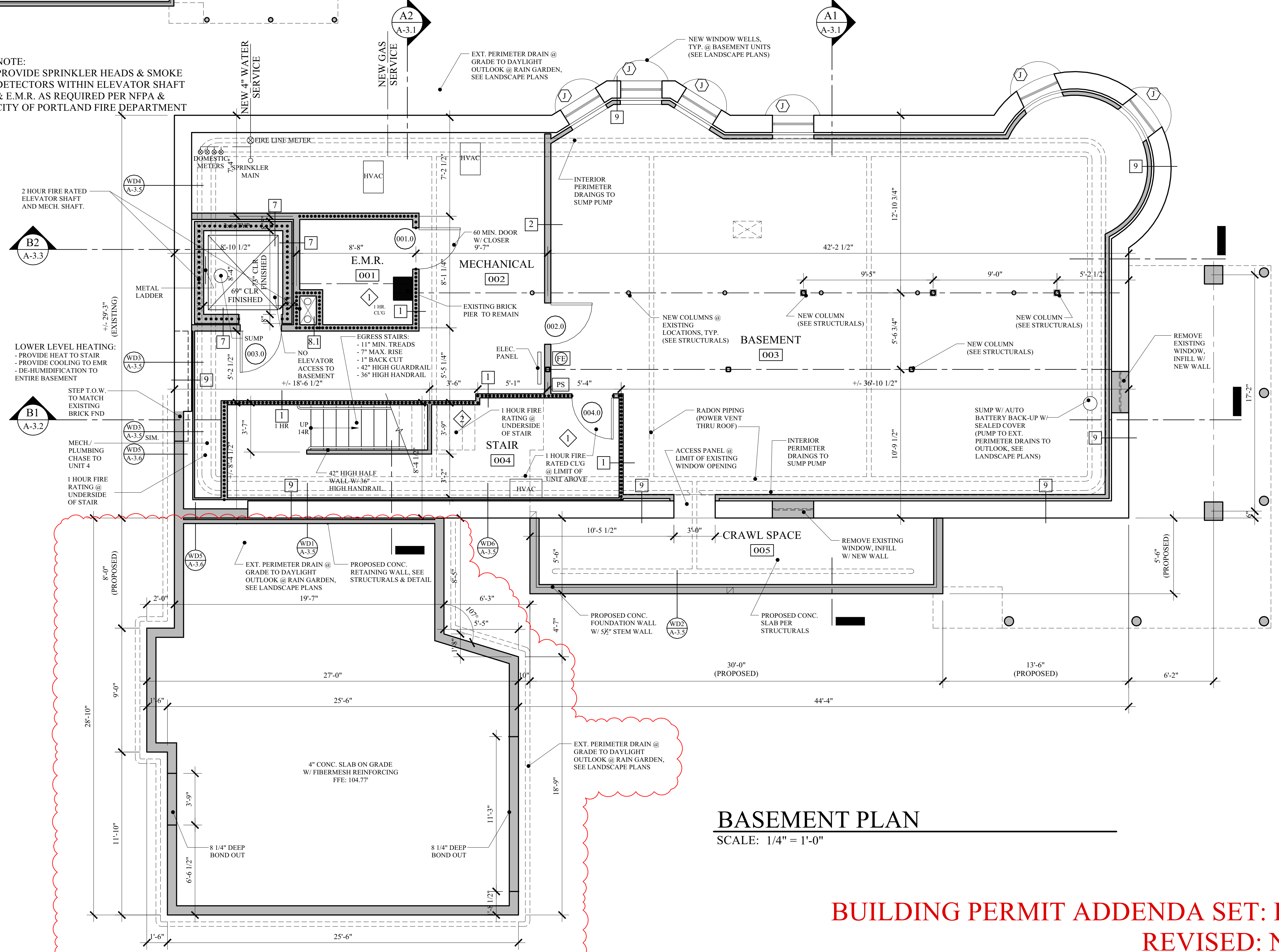
SCALE: 1/8" = 1'-0"



WALL LEGEND

EXISTING WALL	—————
NEW WALL	—————
FIRE RATED WALL	—————
1 HOUR
2 HOUR
3 HOUR
EXISTING WALL TO BE REMOVED	- - - - -

NOTE:
PROVIDE SPRINKLER HEADS & SMOKE DETECTORS WITHIN ELEVATOR SHAFT & E.M.R. AS REQUIRED PER NFPA & CITY OF PORTLAND FIRE DEPARTMENT



BASEMENT PLAN

SCALE: 1/4" = 1'-0"

**BUILDING PERMIT ADDENDA SET: DECEMBER 31, 2014
REVISED: NOVEMBER 28, 2014
CONSTRUCTION SET: AUGUST 11, 2014**

EXTERIOR WINDOW SCHEDULE

NO.	TYPE	MANUFACTURER	CATALOG NO.	REMARKS
A	DOUBLE HUNG	INTEGRITY	ITDH3664 2W	GRILL PATTERN PER ELEVATIONS - FACTORY MULL - EGRESS AS SHOWN ON PLANS
B	CASEMENT	INTEGRITY	ICA3343	GRILL PATTERN PER ELEVATIONS
C	DOUBLE HUNG	INTEGRITY	ITDH3664	GRILL PATTERN PER ELEVATIONS - ENLARGE EXISTING OPENINGS
D	DOUBLE HUNG	INTEGRITY	ITDH3664	GRILL PATTERN PER ELEVATIONS - EGRESS AS SHOWN ON PLANS
E	DOUBLE HUNG	INTEGRITY	ITDH3664 3W	GRILL PATTERN PER ELEVATIONS - FACTORY MULL - EGRESS AS SHOWN ON PLANS
F	DOUBLE HUNG	INTEGRITY	ITDH3660 2W	GRILL PATTERN PER ELEVATIONS - FACTORY MULL - EGRESS AS SHOWN ON PLANS
G	DOUBLE HUNG	INTEGRITY	ITDH3660	GRILL PATTERN PER ELEVATIONS - ENLARGE EXISTING OPENINGS
H	DOUBLE HUNG	INTEGRITY	ITDH3660	GRILL PATTERN PER ELEVATIONS - EGRESS AS SHOWN ON PLANS
I	DOUBLE HUNG	INTEGRITY	ITDH3660 3W	GRILL PATTERN PER ELEVATIONS - FACTORY MULL - EGRESS AS SHOWN ON PLANS
J	FIXED	-	BASEMENT SASH	GRILL PATTERN PER ELEVATIONS - EXISTING OPENINGS TO REMAIN
K	DOUBLE HUNG	INTEGRITY	ITDH3260	GRILL PATTERN PER ELEVATIONS - EGRESS AS SHOWN ON PLANS

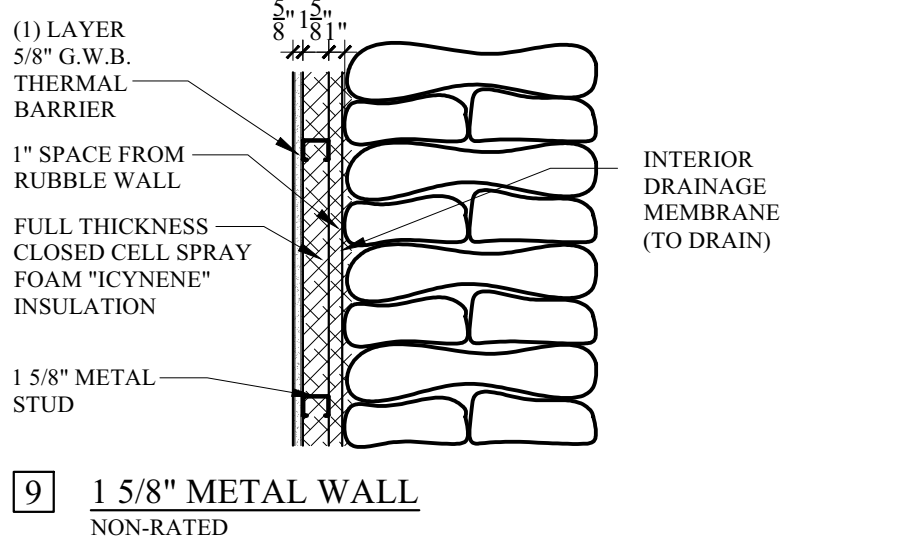
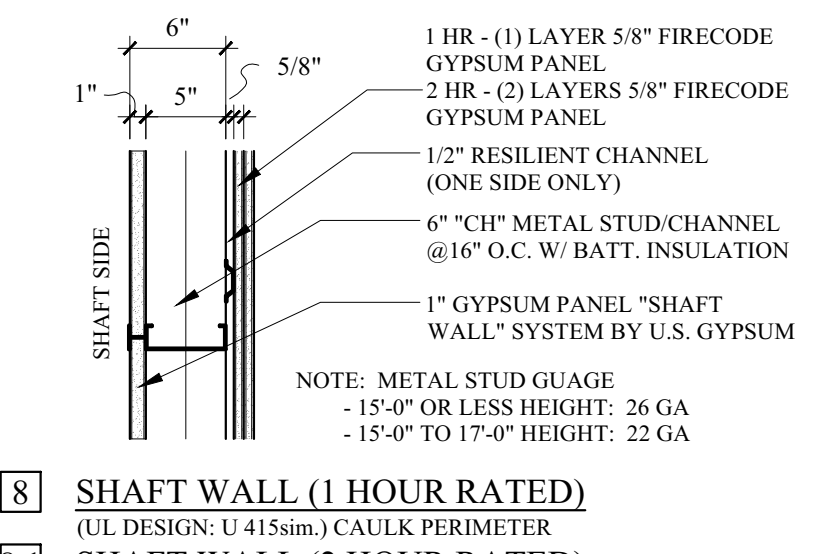
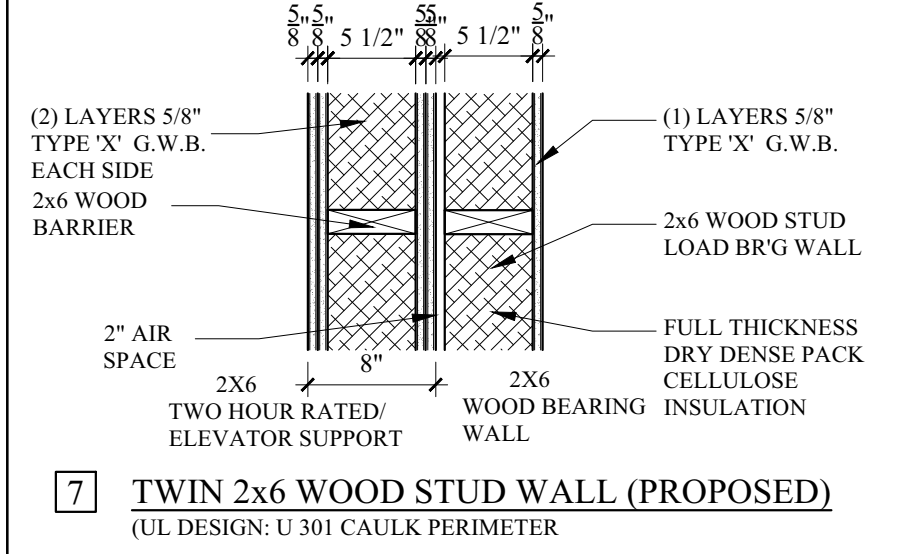
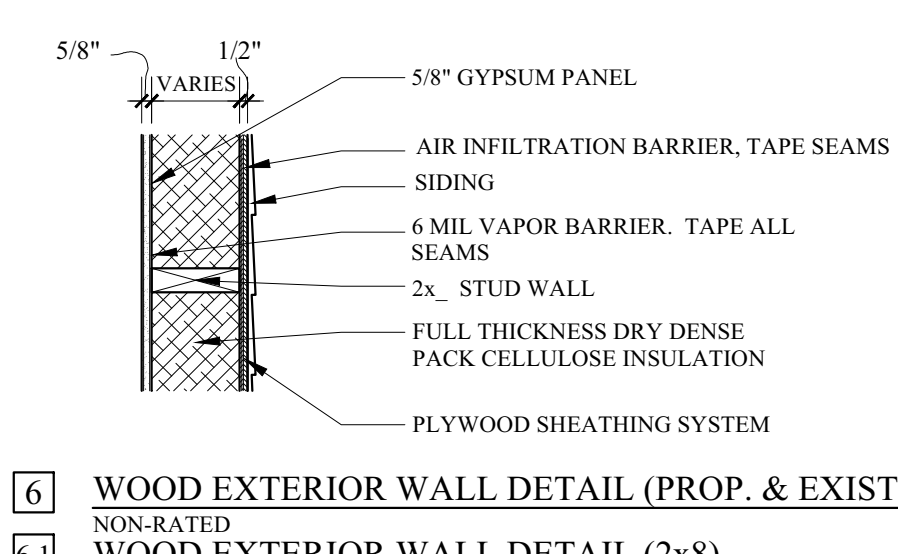
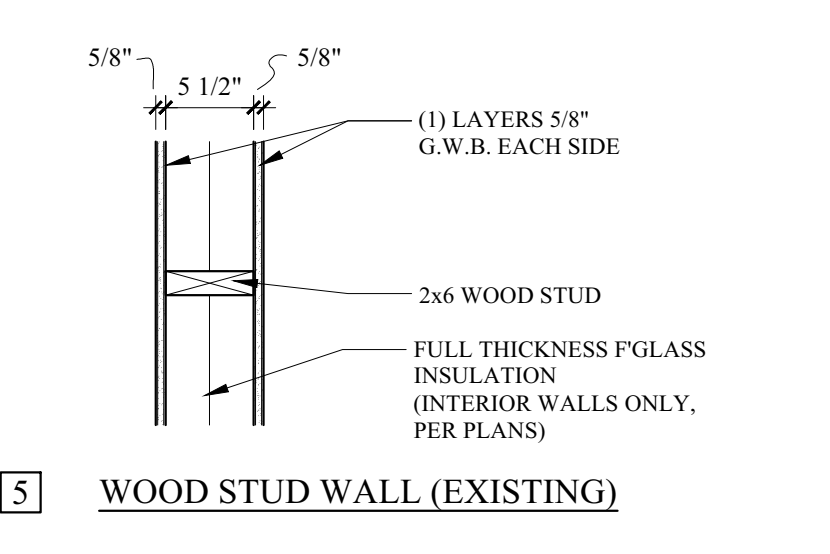
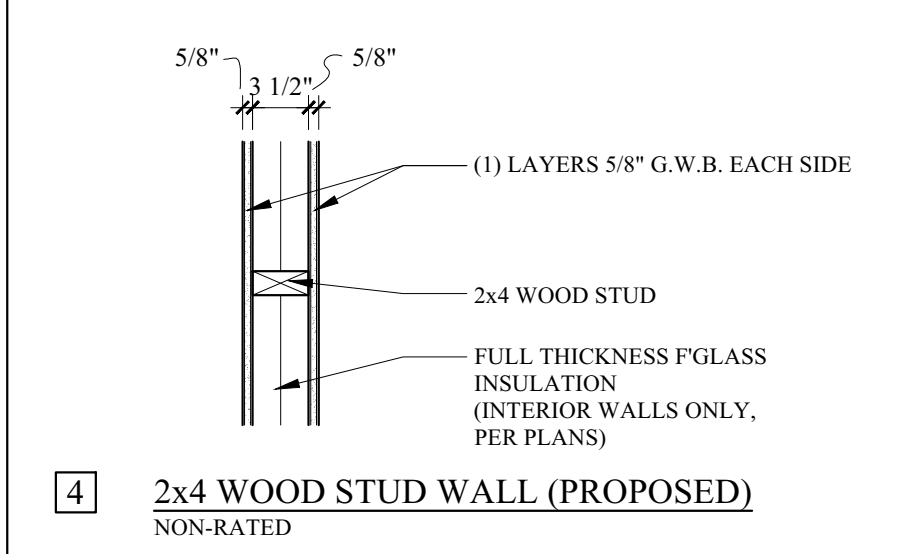
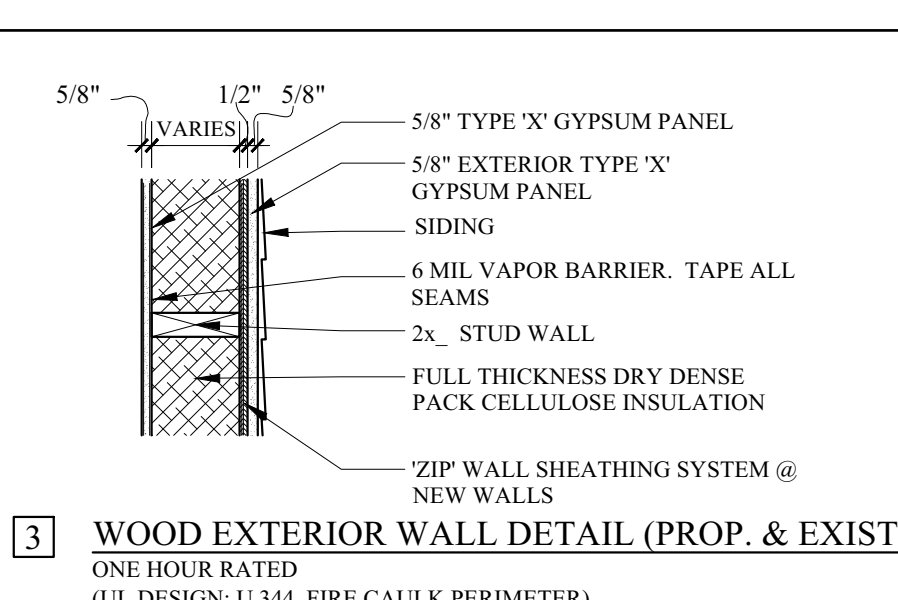
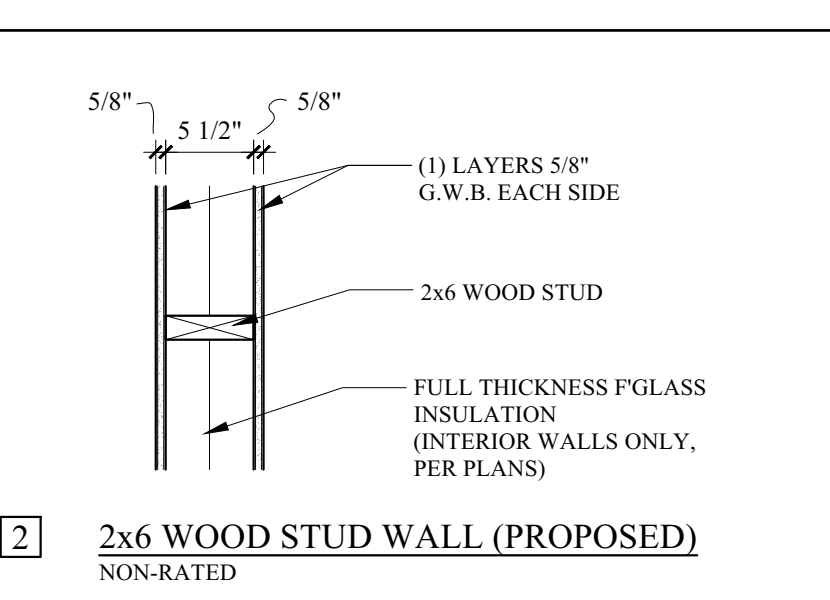
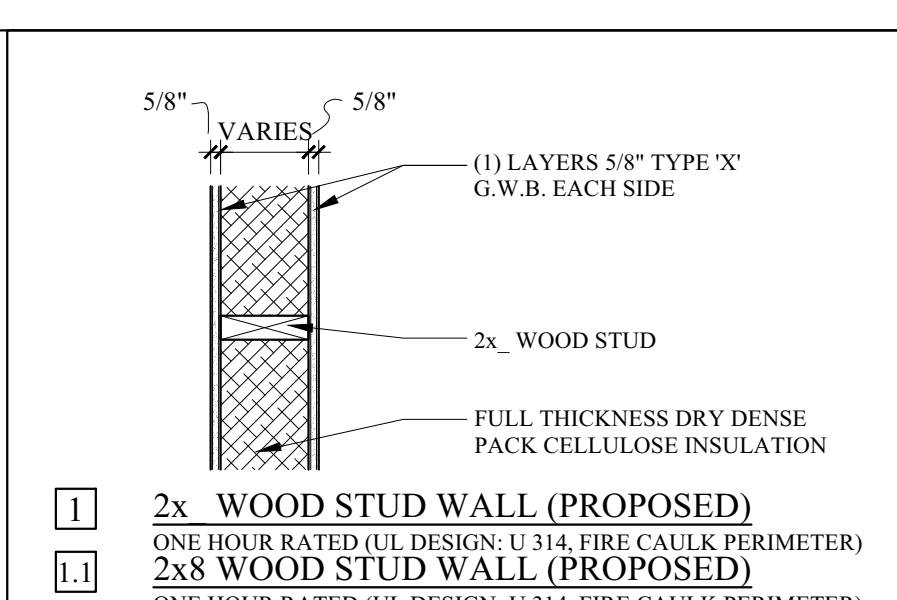
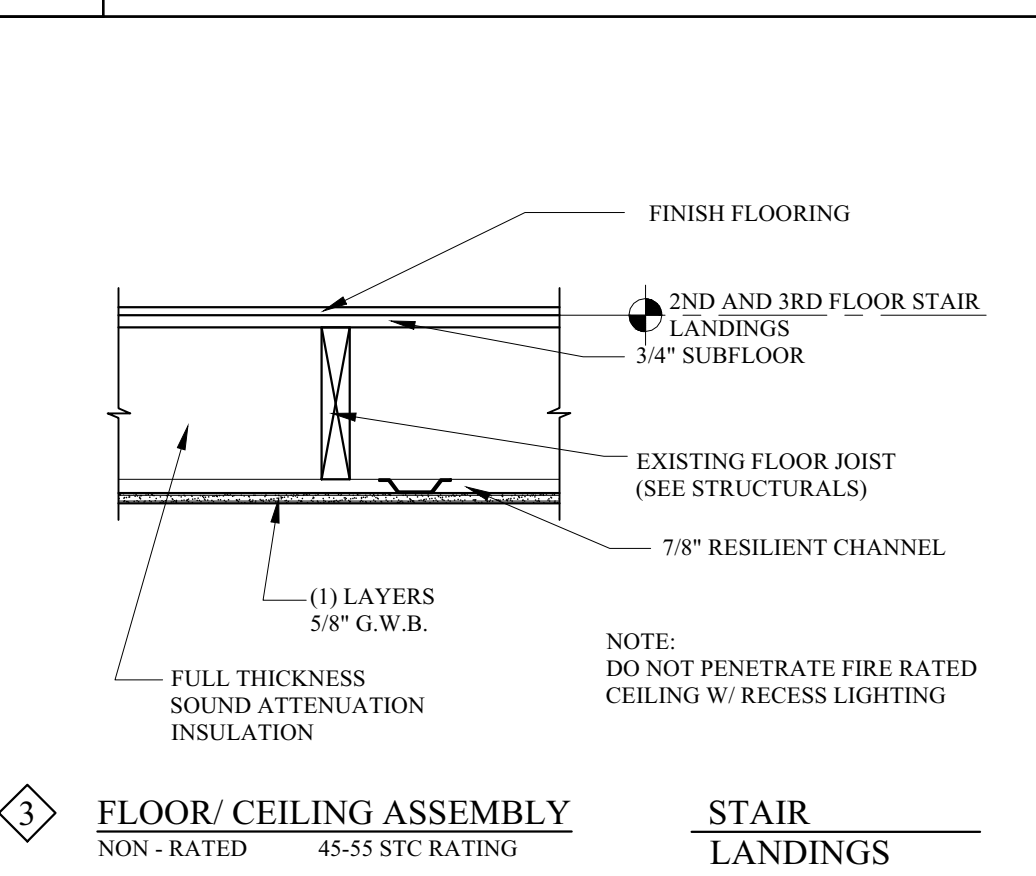
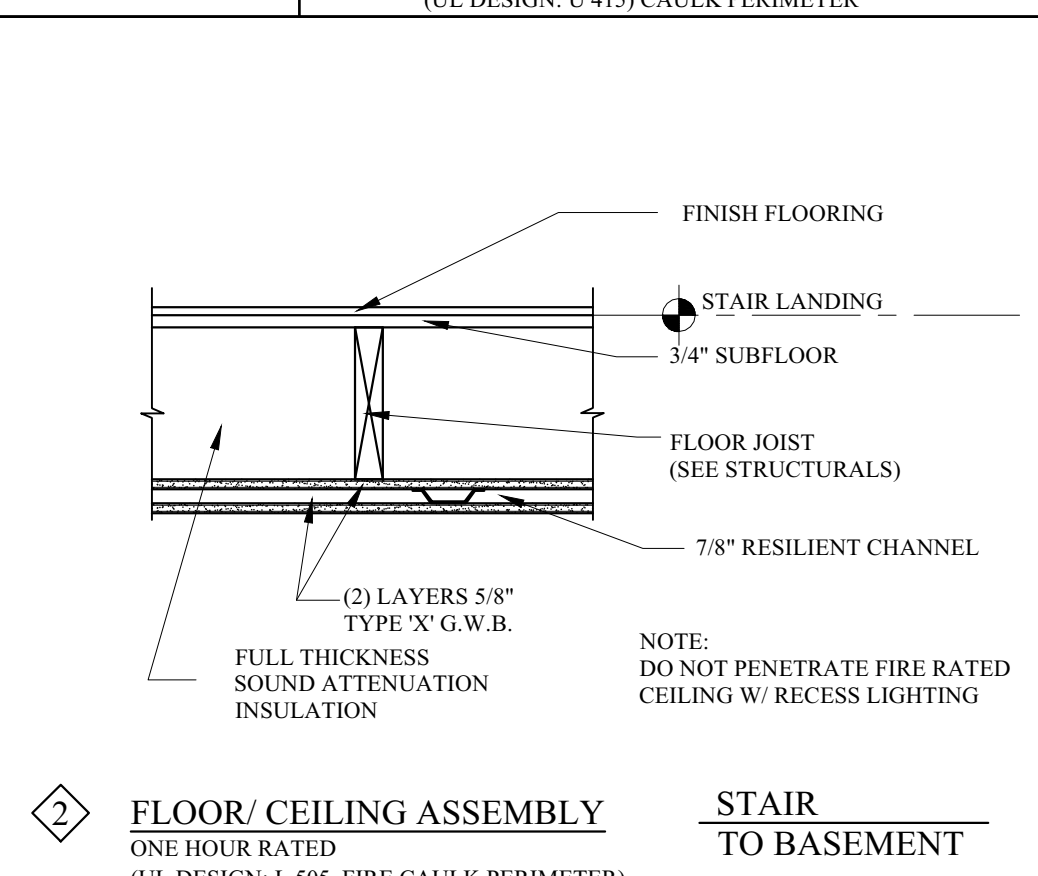
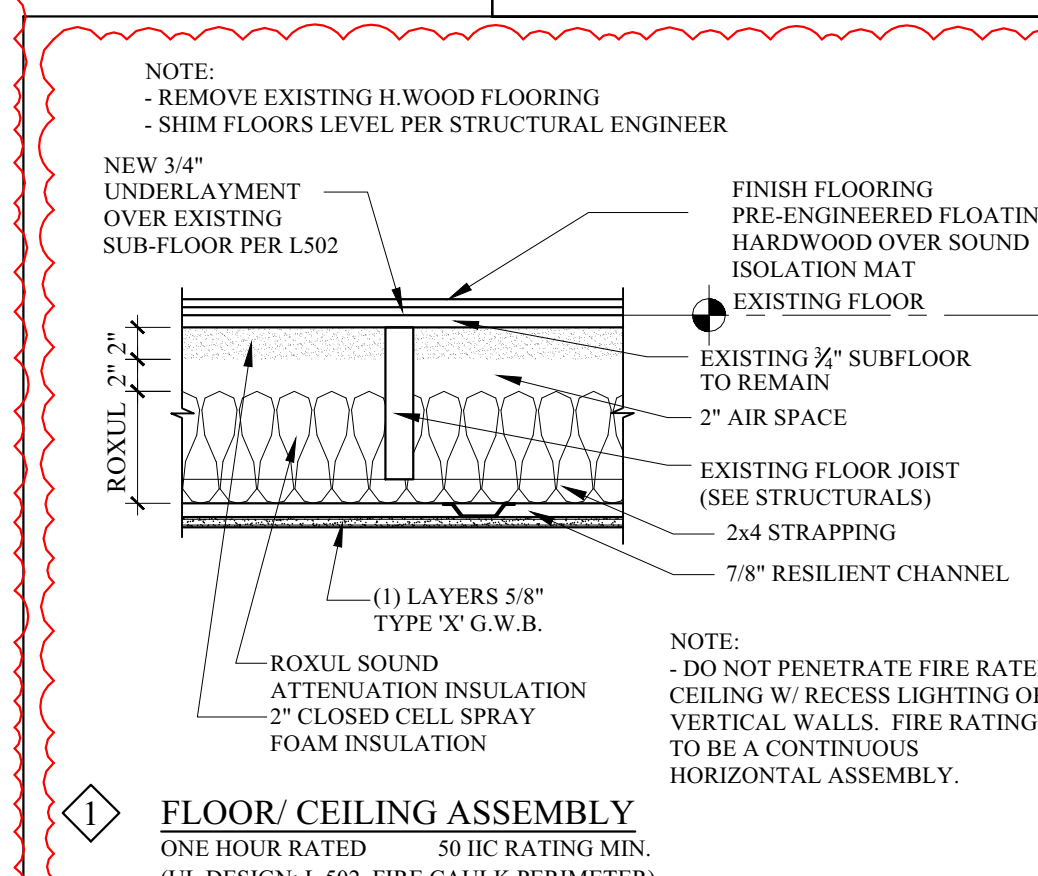
- NOTE:
- ALL WINDOWS & DOORS SHALL BE INTEGRITY SERIES FROM MARVIN WINDOWS.
 - COLOR:
INTERIOR: WHITE
EXTERIOR: WHITE
 - GRILLS:
PATTERN AS SHOWN ON THE ELEVATIONS
7/8" SIMULATED DIVIDED LIGHT
 - EXTENSION JAMBS:
NO EXTENSION JAMBS (FIELD BUILT)
 - GLAZING:
HIGH PERFORMANCE LOW-E GLASS W/ ARGON
 - CASINGS:
INTERIOR: NO CASING (BY G.C.)
EXTERIOR: NO CASING (BY G.C.)
 - SCREENS: (SHIP/ PACKAGE SEPARATE FROM WINDOWS)
STANDARD MESH INSECT SCREENS
DOUBLE HUNG COLOR TO MATCH EXTERIOR
CASEMENTS & AWNINGS TO HAVE INTERIOR SURROUND - FINISH TO MATCH INTERIOR (VERIFY)
 - HARDWARE:
STAINLESS STEEL COASTAL HARDWARE OR EQUAL
SATIN NICKEL - VERIFY W/ OWNER
STYLE T.B.D. BY OWNER
 - G.C. TO VERIFY WINDOW R.O. W/ WINDOW SUBMITTAL PRIOR TO CONSTRUCTION.
 - G.C. SHALL SUBMIT WINDOW SPECIFICATIONS FOR APPROVAL PRIOR TO ORDER.
 - ALL FACTORY MULLS SHALL BE REINFORCED.
 - ALL WINDOWS IN SLEEPING ROOMS SHALL BE EGRESS WINDOWS MEETING THE FOLLOWING MINIMUM CLEAR OPENING REQUIREMENTS: 22" WIDE - 24" HIGH - 5.7 S.F.
 - ALL WINDOWS WITHIN 60" HORIZ. & VERT. DIMENSION OF STAIRS MUST BE TEMPERED.
 - ALL WINDOWS WITHIN 24" OF A DOOR SWING MUST BE TEMPERED.
 - ALL WINDOWS WITHIN A SHOWER ENCLOSURE MUST BE TEMPERED.

NOTE:

G.C. TO FIELD VERIFY ALL EXISTING WINDOW LOCATIONS & ROUGH OPENINGS RELATIONSHIP TO NEW WINDOWS & NEW ROUGH OPENINGS.

DOOR AND FRAME SCHEDULE

MARK	MODEL	MANUF.	DOOR			GLAZING	FRAME		FIRE RATING LABEL	HARDWARE		NOTES
			WD	HGT	THK		MATL	HEAD		SILL	SET NO	
001.0	--	JELDWN OR EQUAL	3'-0"	6'-6"	1 3/4"	METAL	--	METAL	--	--	1 HR	FLAT PANEL, FIELD VERIFY HEIGHT
002.0	--	JELDWN OR EQUAL	3'-0"	6'-6"	1 3/4"	METAL	--	METAL	--	--	--	FLAT PANEL, FIELD VERIFY HEIGHT
003.0	--	JELDWN OR EQUAL	3'-0"	6'-6"	1 3/4"	METAL	--	METAL	--	--	90 MIN.	FLAT PANEL, FIELD VERIFY HEIGHT
004.0	--	JELDWN OR EQUAL	3'-0"	6'-6"	1 3/4"	METAL	--	METAL	--	--	1 HR	FLAT PANEL, FIELD VERIFY HEIGHT
100.0	--	METAL	3'-0"	6'-8"	1 3/4"	METAL	--	METAL	--	--	--	CUSTOM PANEL
101.0	--	ROUGE VALLEY	3'-0"	6'-8"	1 3/4"	WOOD	--	WOOD	--	--	--	CUSTOM PANEL
101.1	--	--	2'-6"	6'-8"	1 3/8"	WOOD	--	WOOD	--	--	--	
102.0	--	--	2'-6"	6'-8"	1 3/8"	WOOD	--	WOOD	--	--	--	
103.0	--	--	2'-6"	6'-8"	1 3/8"	WOOD	--	WOOD	--	--	--	
103.1	--	--	2'-6"	6'-8"	1 3/8"	WOOD	--	WOOD	--	--	--	
104.0	--	--	2'-6"	6'-8"	1 3/8"	WOOD	--	WOOD	--	--	--	
104.1	--	--	2'-6"	6'-8"	1 3/8"	WOOD	--	WOOD	--	--	--	POCKET DOOR
104.2	--	--	2'-0"	6'-8"	1 3/8"	WOOD	--	WOOD	--	--	--	
105.0	--	--	2'-6"	6'-8"	1 3/8"	WOOD	--	WOOD	--	--	--	
105.1	--	--	5'-0"	6'-8"	1 3/8"	WOOD	--	WOOD	--	--	--	
106.0	--	--	2'-4"	6'-8"	1 3/8"	WOOD	--	WOOD	--	--	--	
107.0	--	--	2'-0"	6'-8"	1 3/8"	WOOD	--	WOOD	--	--	--	
110.0	--	INTEGRITY	3'-0"	7'-2"	1 3/4"	CLAD	--	CLAD	--	--	1 HR	CUSTOM PANEL
111.0	--	--	2'-4"	6'-8"	1 3/8"	WOOD	--	WOOD	--	--	--	
112.0	--	--	2'-6"	6'-8"	1 3/8"	WOOD	--	WOOD	--	--	--	
112.1	--	--	5'-0"	6'-8"	1 3/8"	WOOD	--	WOOD	--	--	--	
113.0	--	--	2'-6"	6'-8"	1 3/8"	WOOD	--	WOOD	--	--	--	
113.1	--	--	5'-0"	6'-8"	1 3/8"	WOOD	--	WOOD	--	--	--	
114.0	--	--	6'-0"	6'-8"	1 3/8"	WOOD	--	WOOD	--	--	--	
115.0	--	ROUGE VALLEY	3'-0"	6'-8"	1 3/4"	WOOD	--	WOOD	--	--	1 HR	CUSTOM PANEL
115.1	--	JELDWN OR EQUAL	3'-0"	6'-8"	1 3/4"	METAL	--	METAL	--	--	1 HR	FLAT PANEL
115.2	--	JELDWN OR EQUAL	3'-0"	6'-0"	1 3/4"	METAL	--	METAL	--	--	1 HR	EXTERIOR ADA SILL
115.3	--	JELDWN OR EQUAL	3'-0"	6'-8"	1 3/4"	METAL	--	METAL	--	--	1 HR	FLAT PANEL
200.0	--	JELDWN OR EQUAL	3'-0"	6'-8"	1 3/4"	METAL	--	METAL	--	--	1 HR	FLAT PANEL
201.0	--	ROUGE VALLEY	3'-0"	6'-8"	1 3/4"	WOOD	--	WOOD	--	--	--	CUSTOM PANEL
201.1	--	--	2'-6"	6'-8"	1 3/8"	WOOD	--	WOOD	--	--	--	
202.0	--	--	2'-6"	6'-8"	1 3/8"	WOOD	--	WOOD	--	--	--	
203.0	--	--	2'-6"	6'-8"	1 3/8"	WOOD	--	WOOD	--	--	--	
203.1	--	--	2'-6"	6'-8"	1 3/8"	WOOD	--	WOOD	--	--	--	
204.0	--	--	2'-6"	6'-8"	1 3/8"	WOOD	--	WOOD	--	--	--	
204.1	--	--	2'-6"	6'-8"	1 3/8"	WOOD	--	WOOD	--	--	--	POCKET DOOR
204.2	--	--	2'-0"	6'-8"	1 3/8"	WOOD	--	WOOD	--	--	--	
205.0	--	--	2'-6"	6'-8"	1 3/8"	WOOD	--	WOOD	--	--	--	
205.1	--	--	5'-0"	6'-8"	1 3/8"	WOOD	--	WOOD	--	--	--	
206.0	--	--	2'-4"	6'-8"	1 3/8"	WOOD	--	WOOD	--	--	--	
207.0	--	--	2'-0"	6'-8"	1 3/8"	WOOD	--	WOOD	--	--	--	
210.0	ISPD5068 XO	INTEGRITY	6'-0"	6'-8"	1 3/4"	CLAD	FULL LITE	CLAD	--	--	--	GRILL PATTERN PER ELEVATIONS
211.0	--	--	2'-4"	6'-8"	1 3/8"	WOOD	--	WOOD	--	--	--	
212.0	--	--	2'-6"	6'-8"	1 3/8"	WOOD	--	WOOD	--	--	--	
212.1	--	--	5'-0"	6'-8"	1 3/8"	WOOD	--	WOOD	--	--	--	
213.0	--	--	2'-6"	6'-8"	1 3/8"	WOOD	--	WOOD	--	--	--	
213.1	--	--	2'-8"	6'-8"	1 3/8"	WOOD	--	WOOD	--	--	--	
214.0	--	--	6'-0"	6'-8"	1 3/8"	WOOD	--	WOOD	--	--	--	
215.0	--	ROUGE VALLEY	3'-0"	6'-8"	1 3/4"	WOOD	--	WOOD	--	--	1 HR	CUSTOM PANEL
300.0	--	JELDWN OR EQUAL	3'-0"	6'-8"	1 3/4"	METAL	--	METAL	--	--	1 HR	FLAT PANEL
301.0	--	ROUGE VALLEY	3'-0"	6'-8"	1 3/4"	WOOD	--	WOOD	--	--	--	CUSTOM PANEL
301.1	--	--	2'-6"	6'-8"	1 3/8"	WOOD	--	WOOD	--	--	--	
302.0	--	--	2'-6"	6'-8"	1 3/8"	WOOD	--	WOOD	--	--	--	
303.0	--	--	2'-6"	6'-8"	1 3/8"	WOOD	--	WOOD	--	--	--	
303.1	--	--	2'-6"	6'-8"	1 3/8"	WOOD	--	WOOD	--	--	--	
304.0	--	--	2'-6"	6'-8"	1 3/8"	WOOD	--	WOOD	--	--	--	POCKET DOOR
304.1	--	--	2'-6"	6'-8"	1 3/8"	WOOD	--	WOOD	--	--	--	
304.2	--	--	2'-0"	6'-8"	1 3/8"	WOOD	--	WOOD	--	--	--	
305.0	--	--	2'-6"	6'-8"	1 3/8"	WOOD	--	WOOD	--	--	--	
305.1	--	--	2'-6"	6'-8"	1 3/8"	WOOD	--	WOOD	--	--	--	
305.2	--	--	2'-6"	6'-8"	1 3/8"	WOOD	--	WOOD	--	--	--	
306.0	--	--	2'-4"	6'-8"	1 3/8"	WOOD	--	WOOD	--	--	--	
307.0	--	--	2'-0"	6'-8"	1 3/8"	WOOD	--	WOOD	--	--	--	
310.0	ISPD5068 XO	INTEGRITY	6'-0"	6'-8"	1 3/4"	CLAD	FULL LITE	CLAD	--	--	--	GRILL PATTERN PER ELEVATIONS
311.0	--	INTEGRITY	3'-0"	6'-8"	1 3/4"	CLAD	FULL LITE	CLAD	--	--	--	
312.0	--	--	2'-4"	6'-8"	1 3/8"	WOOD	--	WOOD	--	--	--	
313.0	--	--	2'-6"	6'-8"	1 3/8"	WOOD	--	WOOD	--	--	--	
313.1	--	--	5'-0"	6'-8"	1 3/8"	WOOD	--	WOOD	--	--	--	
314.0	--	--	6'-0"	6'-8"	1 3/8"	WOOD	--	WOOD	--	--	--	
315.0	--	--	2'-6"	6'-8"	1 3/8"	WOOD	--	WOOD	--	--	--	
315.1	--	--	2'-6"	6'-8"	1 3/8"	WOOD	--	WOOD	--	--	--	
316.0	--	ROUGE VALLEY	3'-0"	6'-8"	1 3/4"	WOOD	--	WOOD	--	--	1 HR	CUSTOM PANEL
317.0	--	JELDWN OR EQUAL	3'-0"	6'-8"	1 3/4"	METAL	--	METAL	--	--	--	



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 Suite 205
 Portland, Maine 04101
 Phone: 207.774.9057
 Email: rfm@muellerarchitects.com

PROPOSED RENOVATIONS @
130 EASTERN PROMENADE
 FOR: 130 EASTERN PROMENADE LLC
 110 MARGINAL WAY
 PORTLAND, MAINE 04101

SCHEDULES & WALL DETAILS
 REVISIONS:
 Revision 1: 11.28.14
 SK-1: Coordination & Clarifications
 DATE: 02/24/2011
 PROJECT: 130 E PROM
 DRAWN BY: MRP
 CHECK BY: MAM

BUILDING PERMIT ADDENDA SET: DECEMBER 31, 2014
REVISED: NOVEMBER 28, 2014
CONSTRUCTION SET: AUGUST 11, 2014



Reviewed for Code Compliance
Inspection Division
Approved with Conditions
Date: 02/13/15



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PROPOSED RENOVATIONS @:
130 EASTERN PROMENADE
FOR: 130 EASTERN PROMENADE LLC
110 MARGINAL WAY
PORTLAND, MAINE 04101

REVISIONS
Revision 1: 11.28.14
SK-1: Coordination & Clarifications

DATE	PROJECT	DRAWN BY	CHECK BY
02/24/2011	130 E PROM	MSP	MM

A-2.2



LEFT ELEVATION
SCALE: 1/4" = 1'-0"

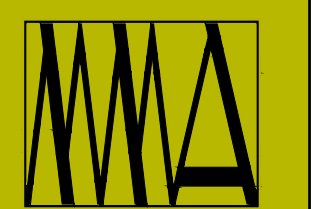


RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

BUILDING PERMIT ADDENDA SET: DECEMBER 31, 2014
REVISED: NOVEMBER 28, 2014
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Date: 02/13/15



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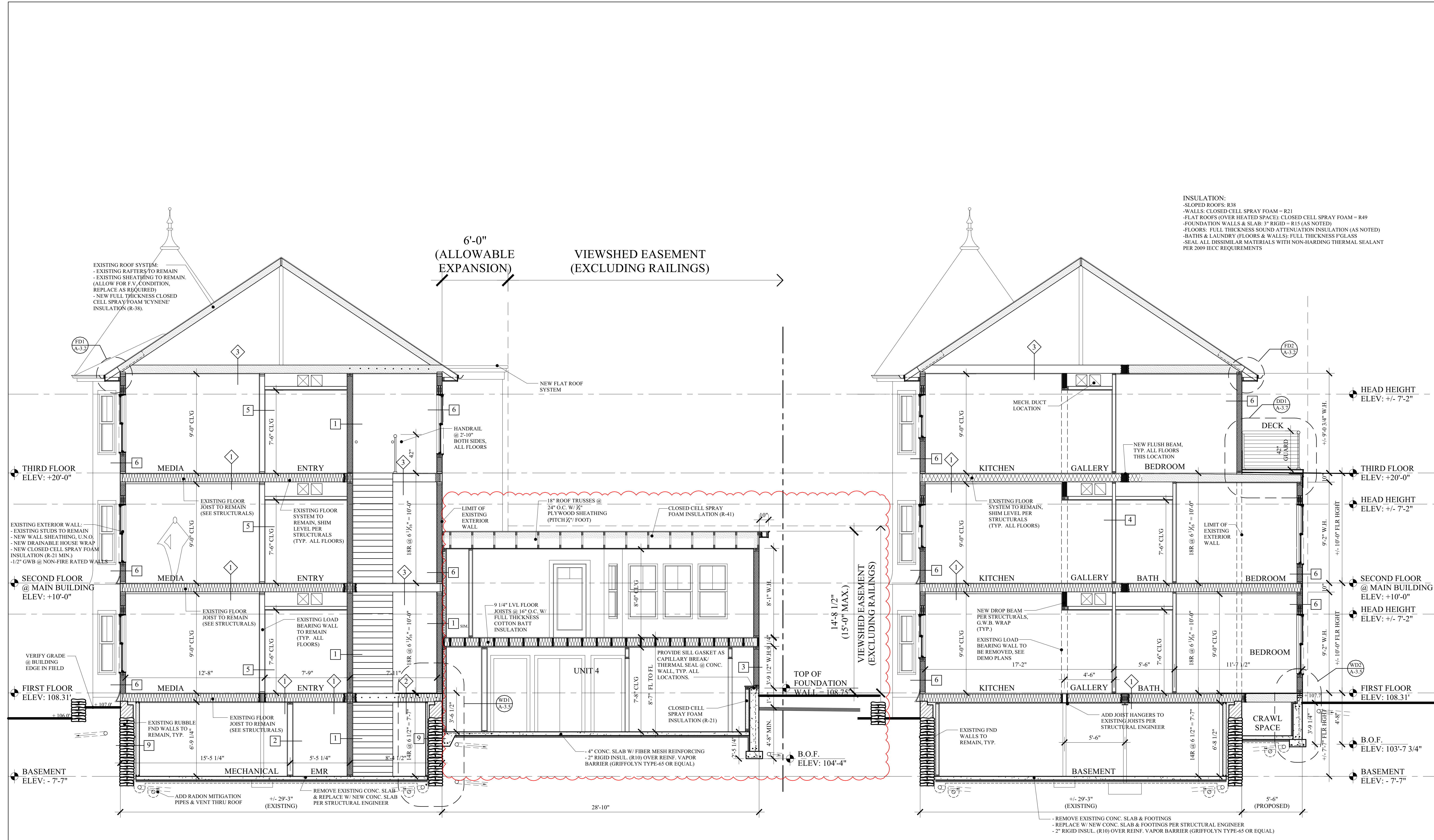
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MARK MUELLER ARCHITECTS

PROPOSED RENOVATIONS @:
130 EASTERN PROMENADE
FOR: 130 EASTERN PROMENADE LLC
110 MARGINAL WAY
PORTLAND, MAINE 04101

BUILDING SECTIONS
Revision 1: 11.28.14
SK-1: Coordination & Clarifications

DATE: 02/24/2011
PROJECT: 130 E PROM
DRAWN BY: MRP
CHECK BY: MUM

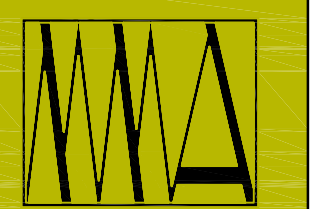
A-3.1



A2 BUILDING SECTION
A-1.0 SCALE: 1/4" = 1'-0"

A1 BUILDING SECTION
A-1.0 SCALE: 1/4" = 1'-0"

BUILDING PERMIT ADDENDA SET: DECEMBER 31, 2014
REVISED: NOVEMBER 28, 2014
CONSTRUCTION SET: AUGUST 11, 2014



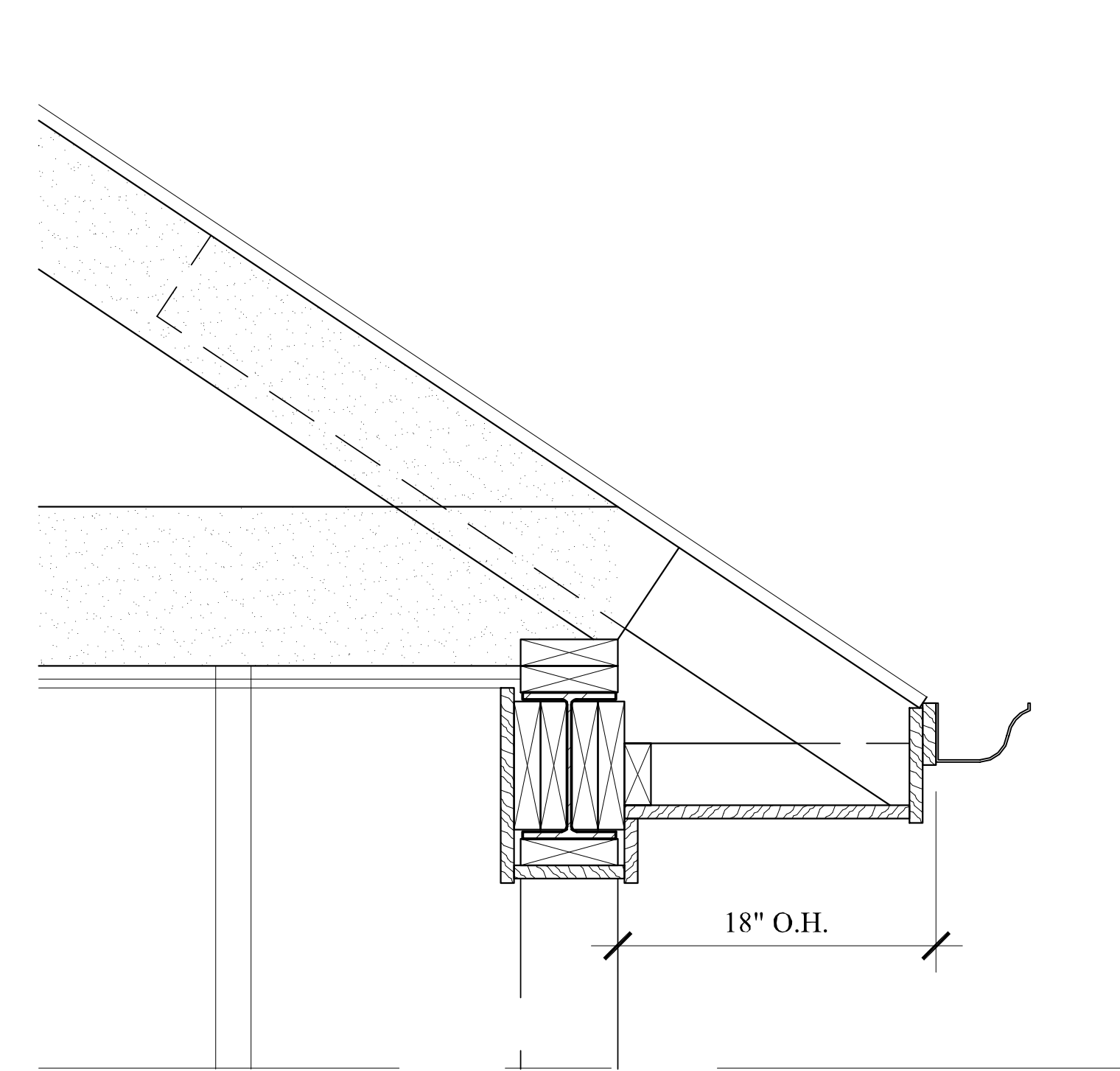
**M A R K
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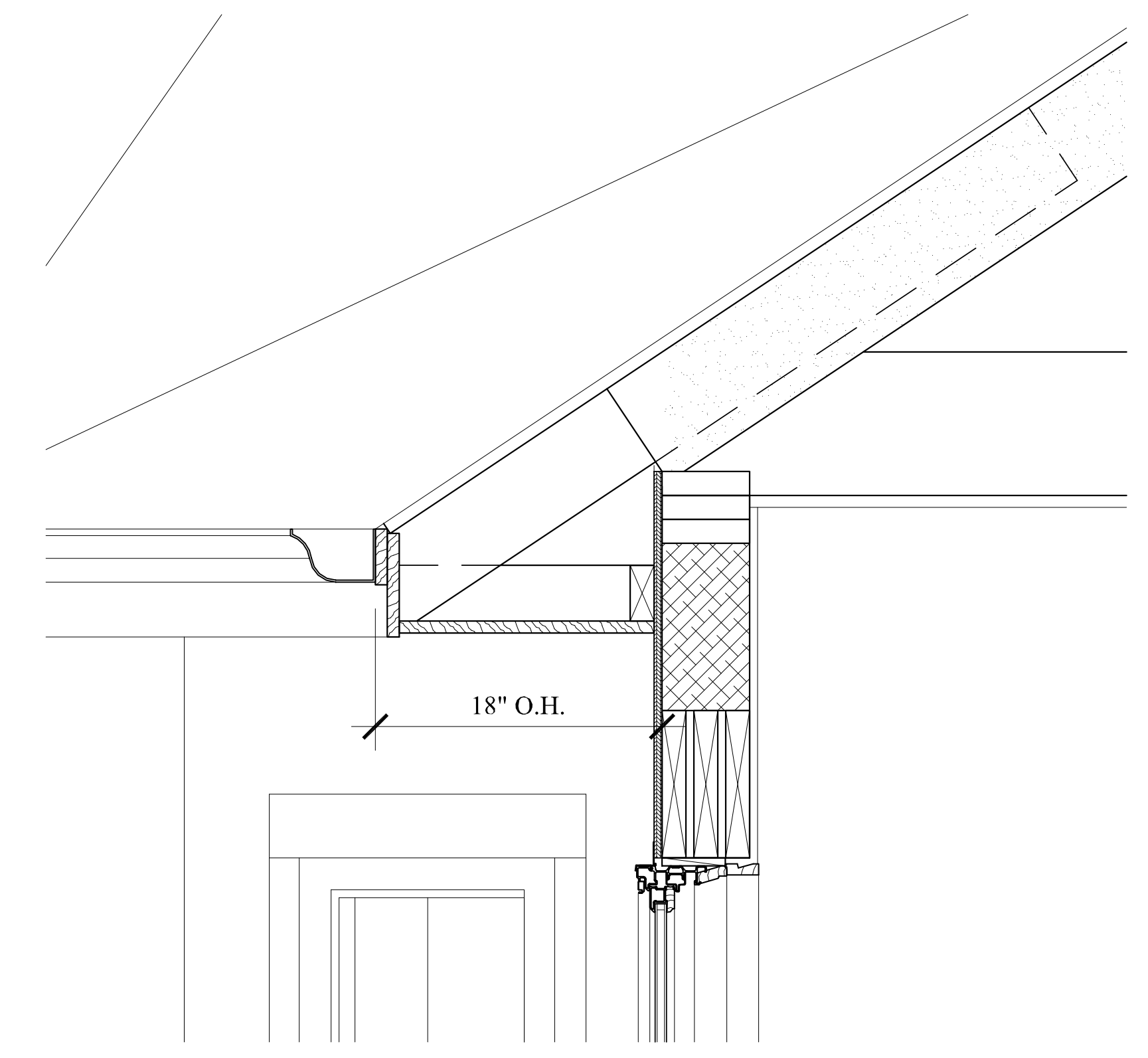
PROPOSED RENOVATIONS @:
130 EASTERN PROMENADE
 FOR: 130 EASTERN PROMENADE LLC
 110 MARGINAL WAY
 PORTLAND, MAINE 04101

BUILDING SECTIONS
 REVISIONS
 DATE: 02.24.2011
 PROJECT: 130 E. PROM
 DRAWN BY: MBP
 CHECK BY: MAM

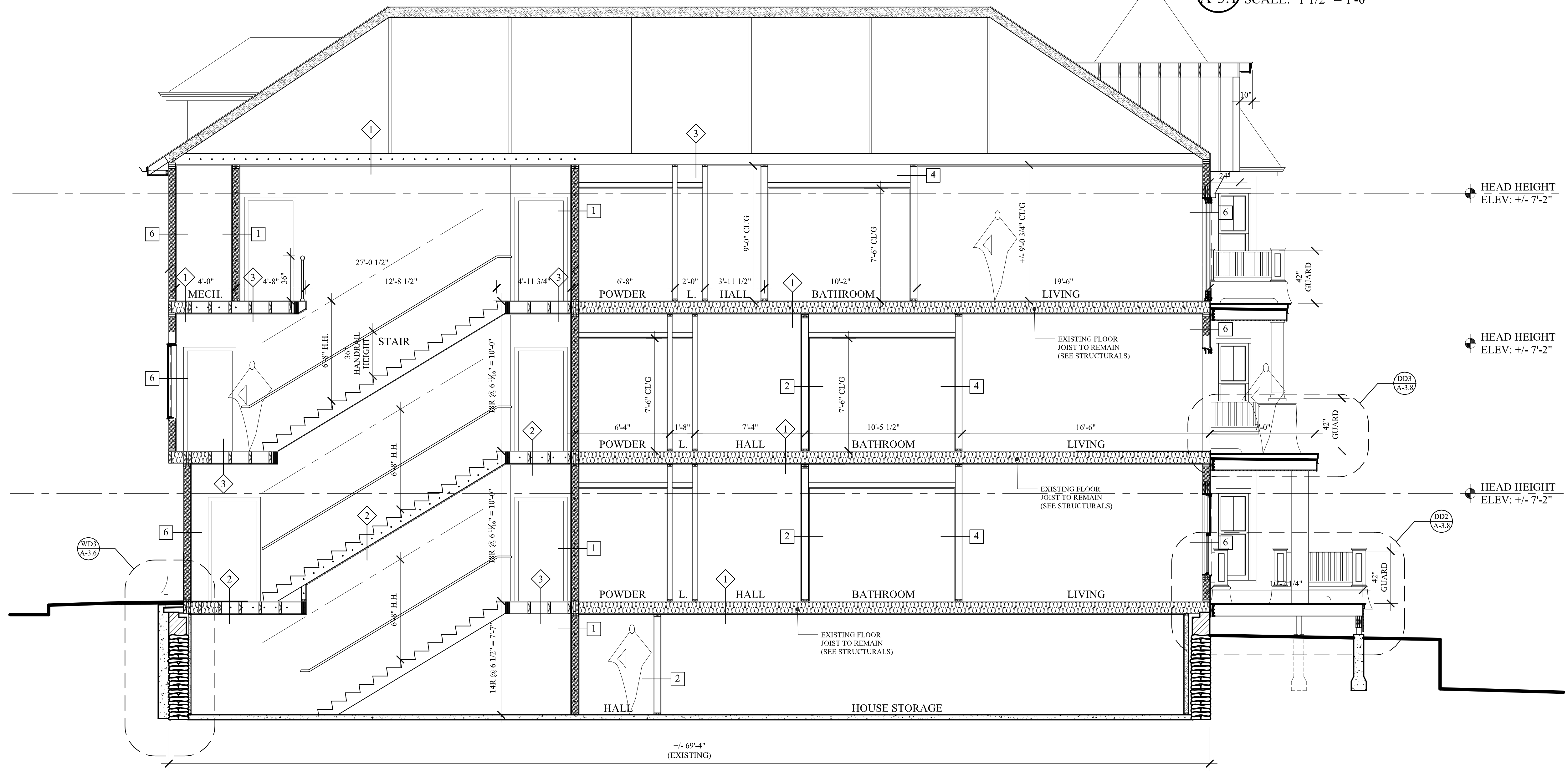
- INSULATION:**
- SLOPED ROOFS: R38
 - WALLS: DRY DENSE PACK CELLULOSE = R21
 - FLAT ROOFS (OVER HEATED SPACE): CLOSED CELL SPRAY FOAM = R49
 - FOUNDATION WALLS & SLAB: 3" RIGID = R15 (AS NOTED)
 - FLOORS: FULL THICKNESS SOUND ATTENUATION INSULATION (AS NOTED)
 - BATHS & LAUNDRY (FLOORS & WALLS): FULL THICKNESS PGLASS
 - SEAL ALL DISSIMILAR MATERIALS WITH NON-HARDING THERMAL SEALANT PER 2009 IECC REQUIREMENTS



FD2 FASCIA DETAIL
 A-3.1 SCALE: 1 1/2" = 1'-0"



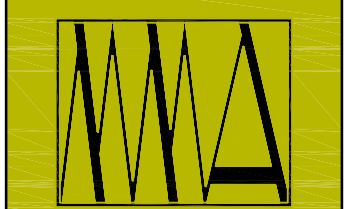
FD1 FASCIA DETAIL
 A-3.1 SCALE: 1 1/2" = 1'-0"



B1 BUILDING SECTION
 A-1.0 SCALE: 1/4" = 1'-0"

PERMIT SET:
MAY 23, 2014

A-3.2

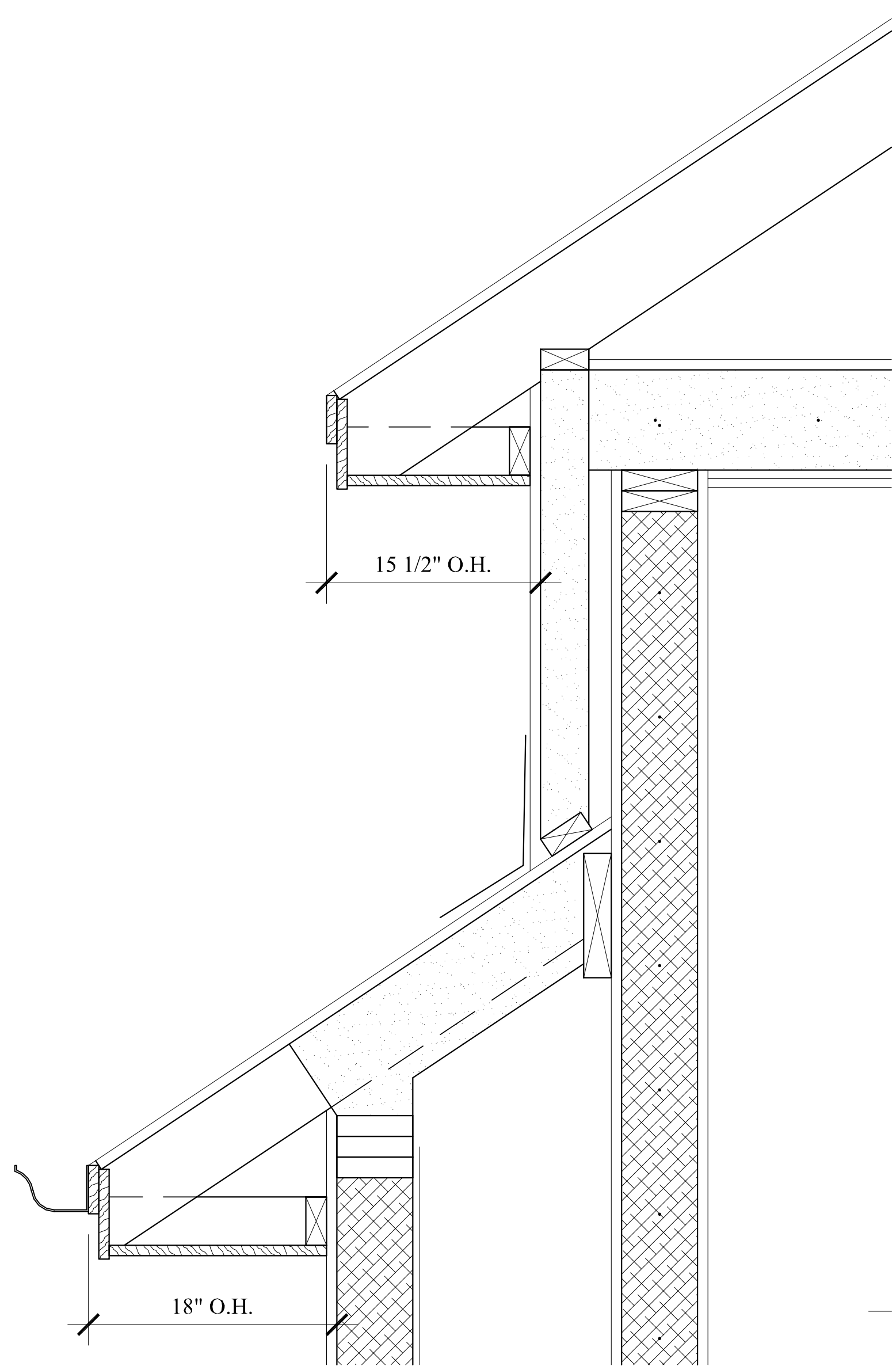


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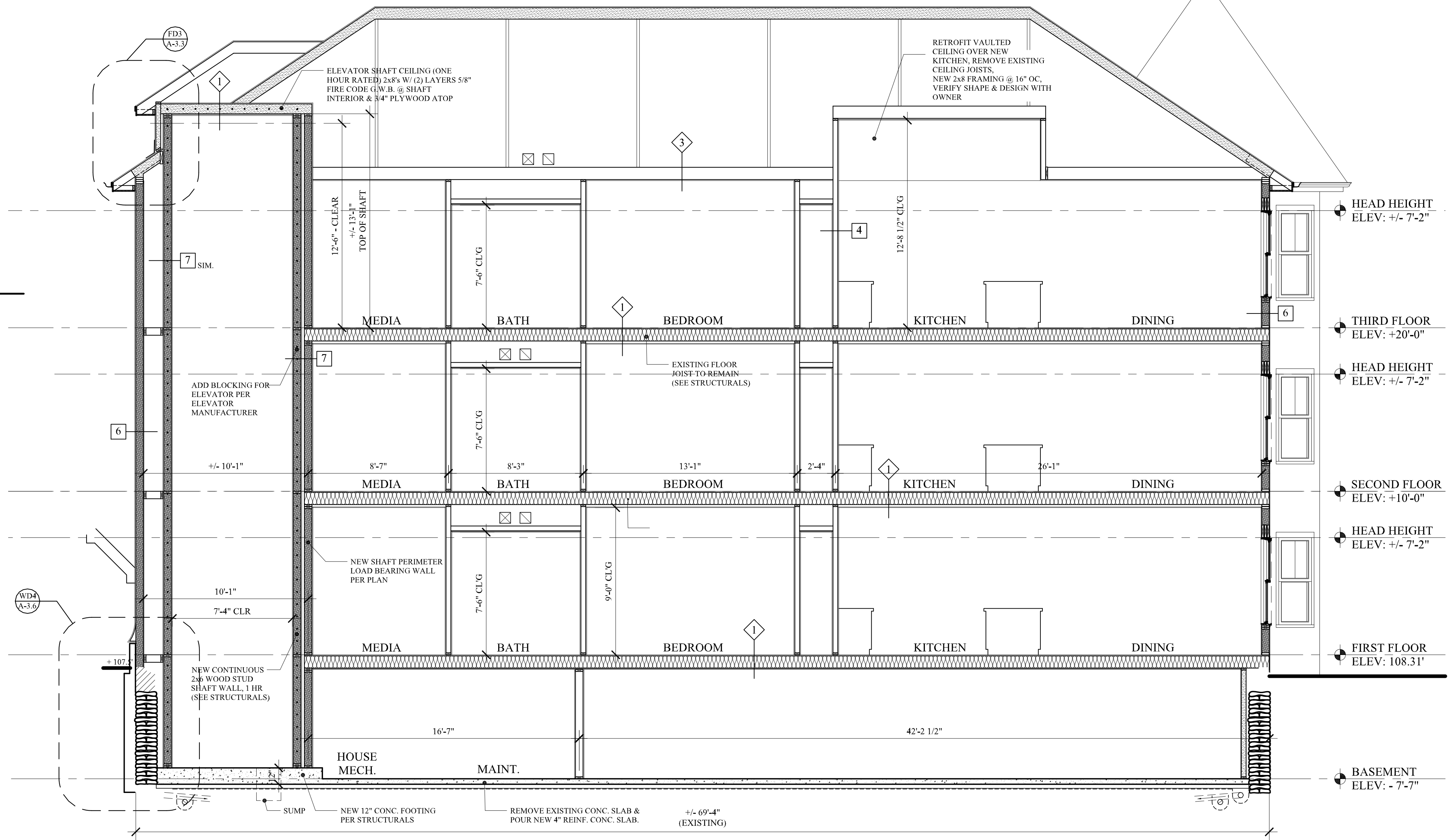
PROPOSED RENOVATIONS @:
130 EASTERN PROMENADE
 FOR: 130 EASTERN PROMENADE LLC
 110 MARGINAL WAY
 PORTLAND, MAINE 04101

BUILDING SECTIONS
 REVISIONS
 DATE: 02.24.2011
 PROJECT: 130 E. PROM
 DRAWN BY: MBP
 CHECK BY: MAM



FD3 FASCIA DETAIL
 A-3.3 SCALE: 1 1/2" = 1'-0"

- INSULATION:**
- SLOPED ROOFS: R38
 - WALLS: DRY DENSE PACK CELLULOSE = R21
 - FLAT ROOFS (OVER HEATED SPACE): CLOSED CELL SPRAY FOAM = R49
 - FOUNDATION WALLS & SLAB: 3" RIGID = R15 (AS NOTED)
 - FLOORS: FULL THICKNESS SOUND ATTENUATION INSULATION (AS NOTED)
 - BATHS & LAUNDRY (FLOORS & WALLS): FULL THICKNESS FGLASS
 - SEAL ALL DISSIMILAR MATERIALS WITH NON-HARDING THERMAL SEALANT PER 2009 IECC REQUIREMENTS



B2 BUILDING SECTION
 A-1.0 SCALE: 1/4" = 1'-0"

PERMIT SET:
MAY 23, 2014

A-3.3



Date: 02/13/15



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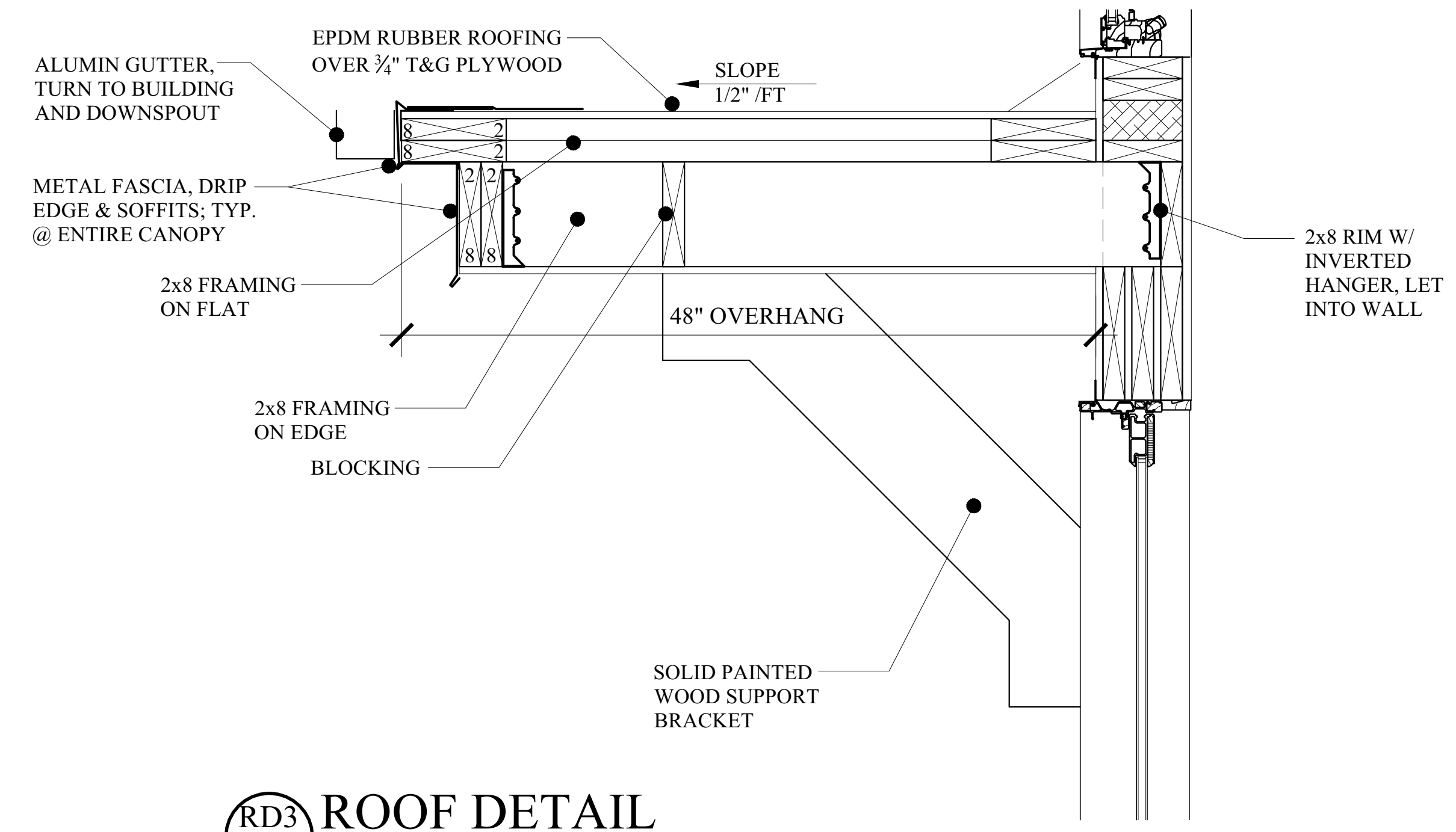
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PROPOSED RENOVATIONS @:
130 EASTERN PROMENADE
FOR: 130 EASTERN PROMENADE LLC
110 MARGINAL WAY
PORTLAND, MAINE 04101

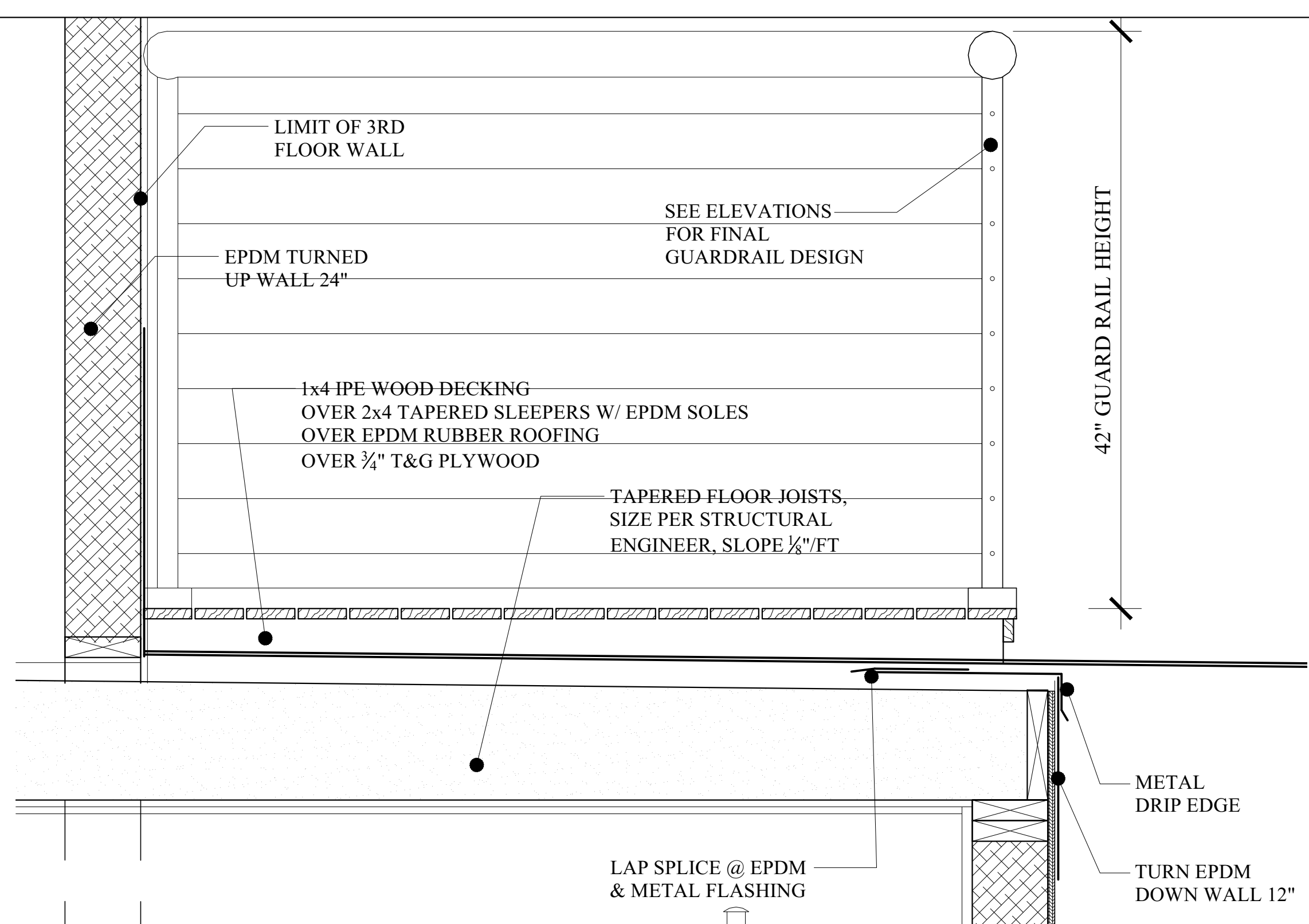
BUILDING SECTIONS

REVISIONS
DATE: 02/24/2011
PROJECT: 130 E PROM
DRAWN BY: MRP
CHECK BY: MAM

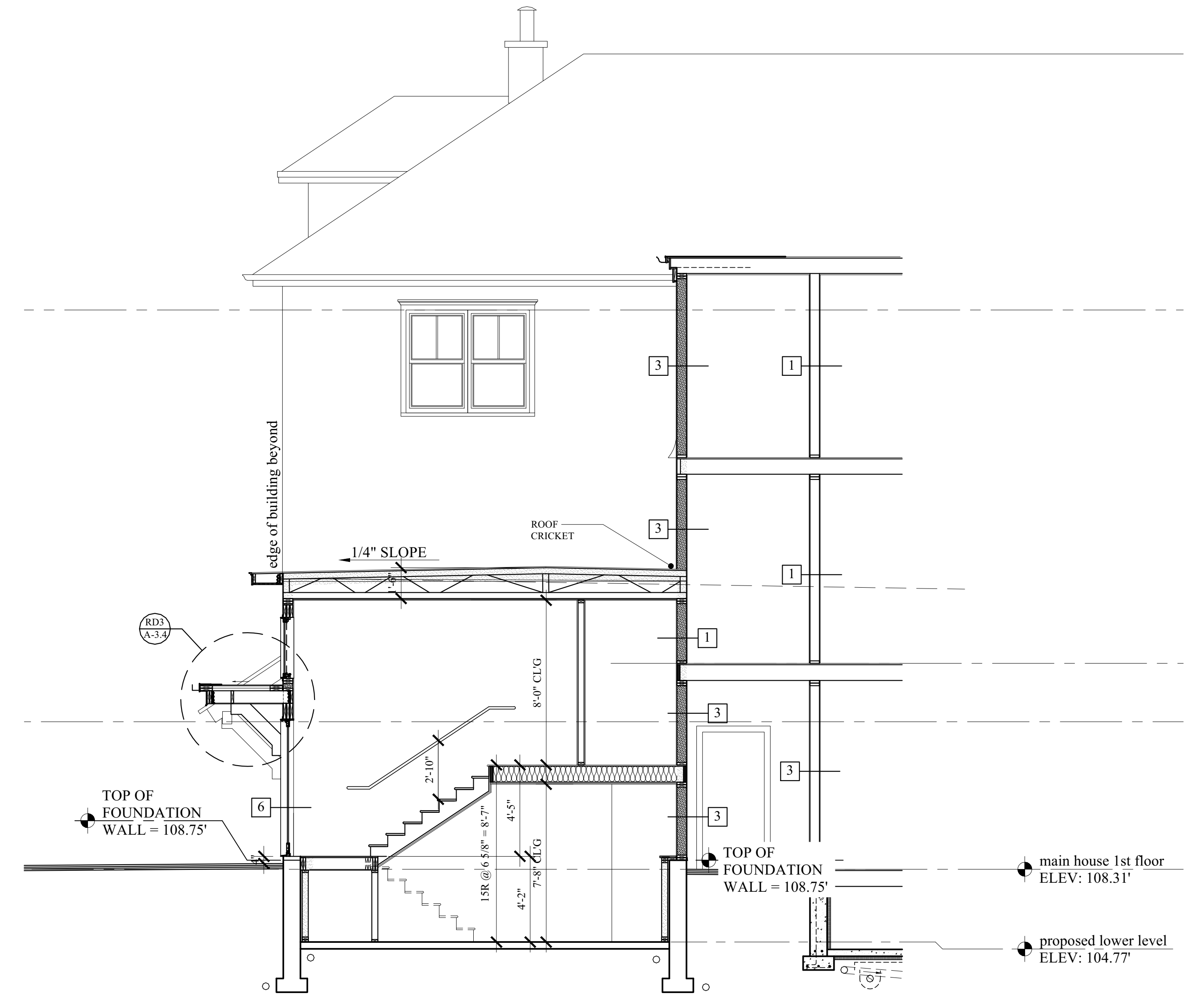
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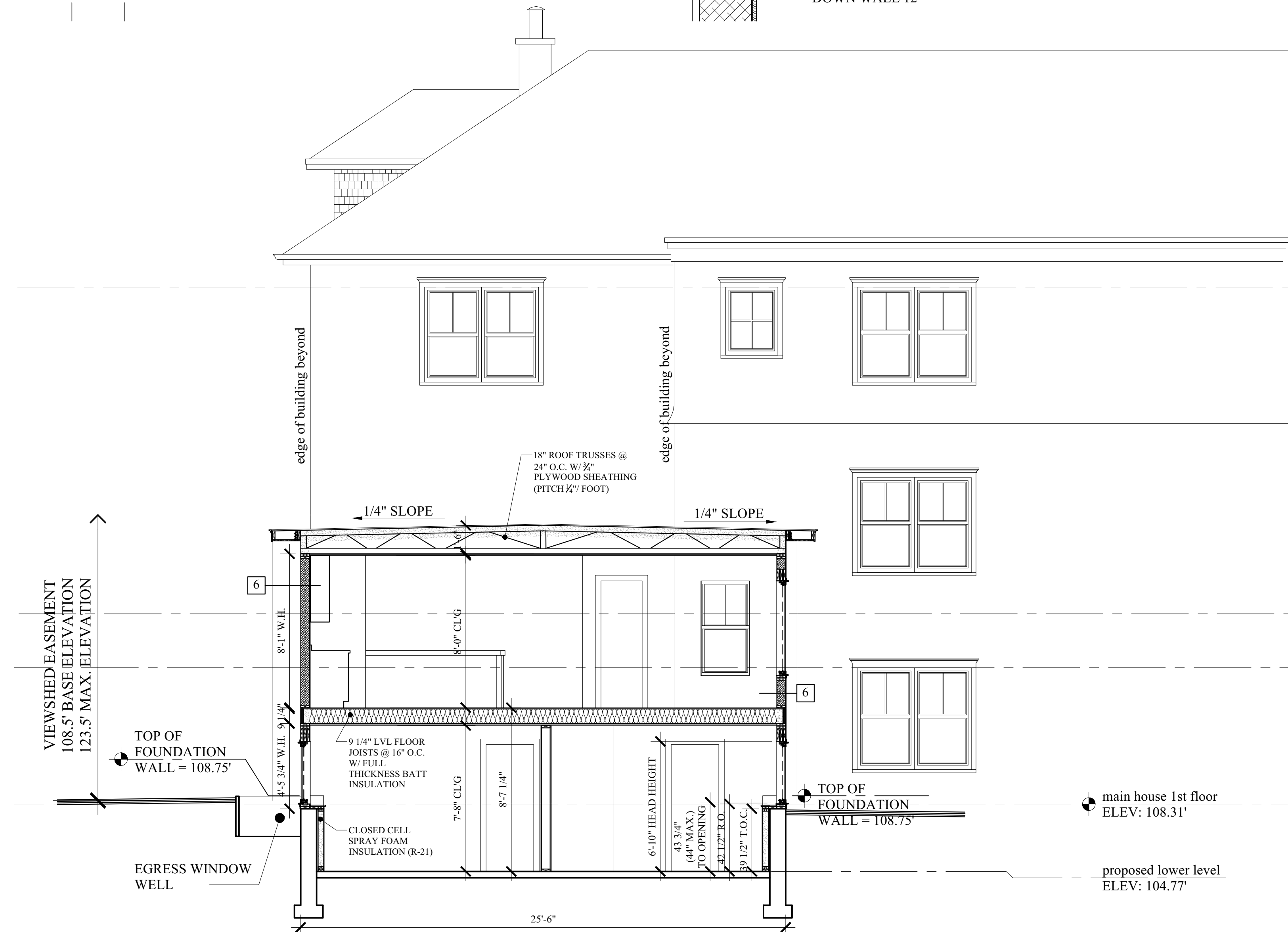
RD3 ROOF DETAIL
A-3.4 SCALE: 1 1/2" = 1'-0"



DD1 DECK DETAIL
A-3.1 SCALE: 1 1/2" = 1'-0"



B4 BUILDING SECTION
A-1.0 SCALE: 1/4" = 1'-0"



B3 BUILDING SECTION
A-1.0 SCALE: 1/4" = 1'-0"

BUILDING PERMIT ADDENDA SET: DECEMBER 31, 2014
REVISED: NOVEMBER 28, 2014
CONSTRUCTION SET: AUGUST 11, 2014



130 EAS' PROMENADE
 Date: 02/13/15

PORTLAND, MAINE

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 pearroll@carroll-assoc.com

Consultants:
 SURVEYOR:
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 207-749-9471
 ARCHITECT:
 Mark Mueller Architects
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 Portland, ME 04101
 207-774-9057
 ENGINEER:
 Blais Civil Engineers
 780 Broadway
 So. Portland, ME 04106
 207-767-7300

No.	Date	Revision
6-21-11		RE-SUBMISSION TO CITY
7-28-11		FOR CITY REVIEW
8-12-11		PRICING SET
10-15-13		
11-20-13		RE-SUBMISSION TO CITY
04-11-14		AMENDED SITE PLAN
06-04-14		AMENDED SITE PLAN
10-28-14		ADMIN. AUTHORIZATION

Drawing Set:
ADMINISTRATIVE AUTHORIZATION

Drawn:
 MP
 Checked:
 PC
 Approved:

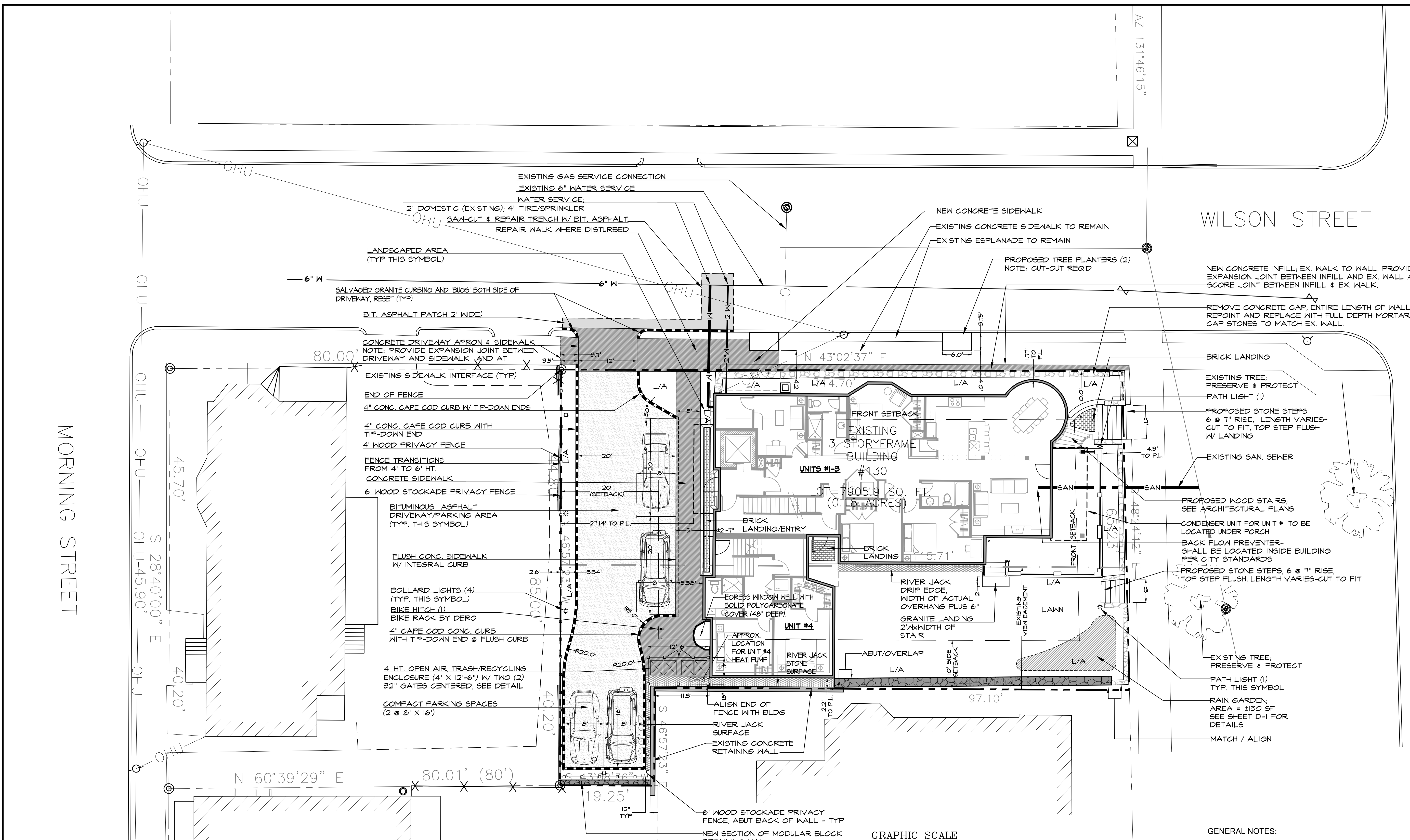
Drawing Title:
SITE LAYOUT & MATERIALS PLAN

Job Number:
 File:
 Date: 4-11-2014 Scale: 1" = 10'-0"
 Drawing Number:

L-2.0

**FOR PERMIT SUBMITTAL,
 NOT FOR CONSTRUCTION**

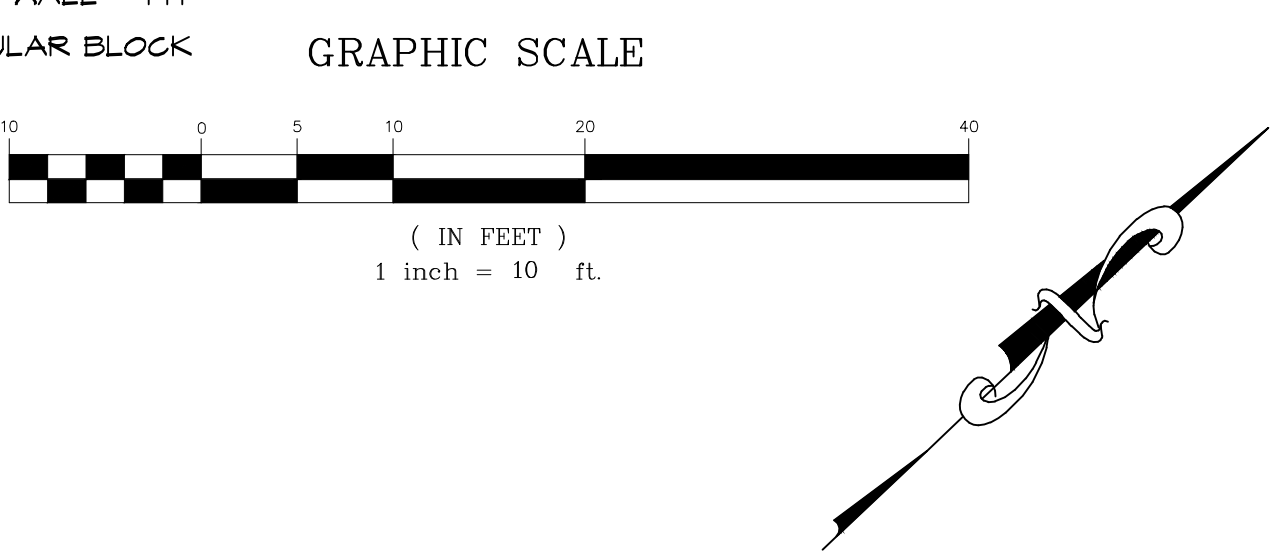
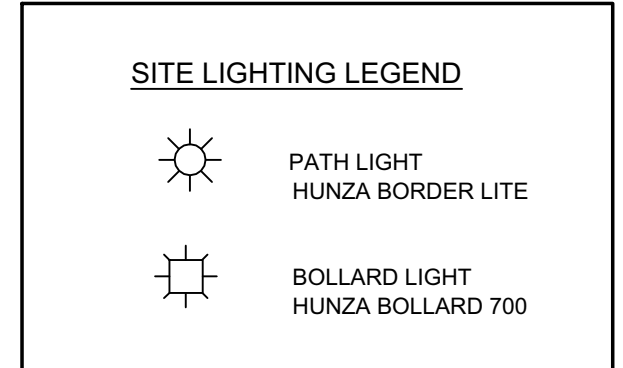
EASTERN PROMENADE



R-6 / RESIDENTIAL ZONE

SPATIAL STANDARDS	REQUIRED	EXISTING	APPROVED (05.19.2014)	PROPOSED
MINIMUM LOT SIZE	4,500 SF	7,906 SF	7,906 SF	7,906 SF
MINIMUM FRONTAGE	40 FT.	179.93'	179.93'	179.93'
FRONT YARD SETBACK	10 FT.	1.8' (WILSON ST.) 4.3' (EASTERN PROM)	1.8' (WILSON ST.) 4.3' (EASTERN PROM)	1.8' (WILSON ST.) 4.3' (EASTERN PROM)
SIDE YARD SETBACK (3 STORIES)	10 FT.	1.4'	2.0'	2.0'
REAR YARD SETBACK	20 FT.	2.08'	27.1'	27.1'
MAXIMUM LOT COVERAGE	50%	52.5% (4,149 SF)	41.9% (3,315 SF)	41.9% (3,315 SF)
MINIMUM LOT WIDTH	40 FT.	65.23'	65.23'	65.23'
MAXIMUM STRUCTURE HEIGHT	45'	36'-8"	36'-7"	36'-7"
OPEN SPACE RATIO	20%	27.6% (2,183 SF)	22.5% (1,780 SF)	22.5% (1,780 SF)
PARKING	1/UNIT (4)	0	4	4
MAX. FLOOR AREA RATIO	0.65	1.05 (8,349 SF)	0.84 (6,710 SF)	0.93 (7,372 SF)

NOTE: SEE ARCH PLAN A-1 FOR CH. 14, SECTION 14-436.B - 80% ALLOWABLE AREA EXPANSION CALCULATIONS



- GENERAL NOTES:**
- EXISTING CONDITIONS BASED ON BOUNDARY AND TOPOGRAPHIC SURVEY BY BACK BAY BOUNDARY, INC. LAND SURVEYING OF PORTLAND, MAINE DATED SEPTEMBER 7, 2006 AND UPDATED APRIL 26, 2011. CONTRACTOR SHALL PERFORM ON-SITE INSPECTION OF CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY ARCHITECT OF ANY DISCREPANCIES WHICH MAY EXIST.
 - CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND GRADES IN THE FIELD AND NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES.
 - ALL DIMENSIONS SHOWN ARE TO FACE OF ALL WALLS, BUILDINGS, CURBS, AND OTHER SITE ELEMENTS UNLESS OTHERWISE NOTED.
 - EXISTING UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE ONLY. CALL DIG-SAFE PRIOR TO BEGINNING WORK (1-800-225-4471).
 - ALL EXISTING VEGETATION TO BE PRESERVED AS SHOWN ON PLANS. PROVIDE A SMOOTH TRANSITION WHERE NEW WORK MEETS EXISTING.
 - AREAS NOT REQUIRING GRADING SHALL BE LEFT UNDISTURBED. NO EQUIPMENT STORAGE OR PARKING WILL BE ALLOWED OVER THE ROOTS OF VEGETATION WHICH ARE TO BE PRESERVED. CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS REQUIRED FOR THE WORK ON THESE PLANS.
 - ALL WORK SHALL COMPLY WITH LOCAL, STATE, AND FEDERAL REGULATIONS.
 - ALL AREAS DISTURBED OR WORK REQUIRED WITHIN TEMPORARY CONSTRUCTION AREAS ON PROPERTY SHALL BE REPAIRED BY REPAVING OR LOAM/SEEDING AS REQUIRED TO RETURN THE SITE TO PRE-CONSTRUCTION CONDITIONS.
 - ALL WORK WITHIN THE RIGHT-OF-WAY MUST BE COORDINATED WITH THE DEPARTMENT OF PUBLIC SERVICES.



130 EA
 PROMISE

PORTLAND, MAINE

CARROLL ASSOCIATES
 Landscape Architects

217 Commercial Street
 Portland, Maine 04101
 207.772.1552 pcarroll@carroll-assoc.com

**FOR PERMIT SUBMITTAL,
 NOT FOR CONSTRUCTION**

Consultants:

SURVEYOR:
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 174 Portland Ave.
 Old Orchard Beach, ME 04064
 207-749-9471

ARCHITECT:
 Mark Mueller Architects
 100 Commercial St.
 Portland, ME 04101
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 Blais Civil Engineers
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 207-767-7300

No.	Date	Revision
6-21-11		RE-SUBMISSION TO CITY
7-28-11		FOR CITY REVIEW
8-12-11		PRICING SET
10-15-13		
11-20-13		RE-SUBMISSION TO CITY
4-11-14		AMENDED SITE PLAN
10-28-14		ADMIN. AUTHORIZATION

Drawing Set:
 ADMINISTRATIVE
 AUTHORIZATION

Drawn:
 MP

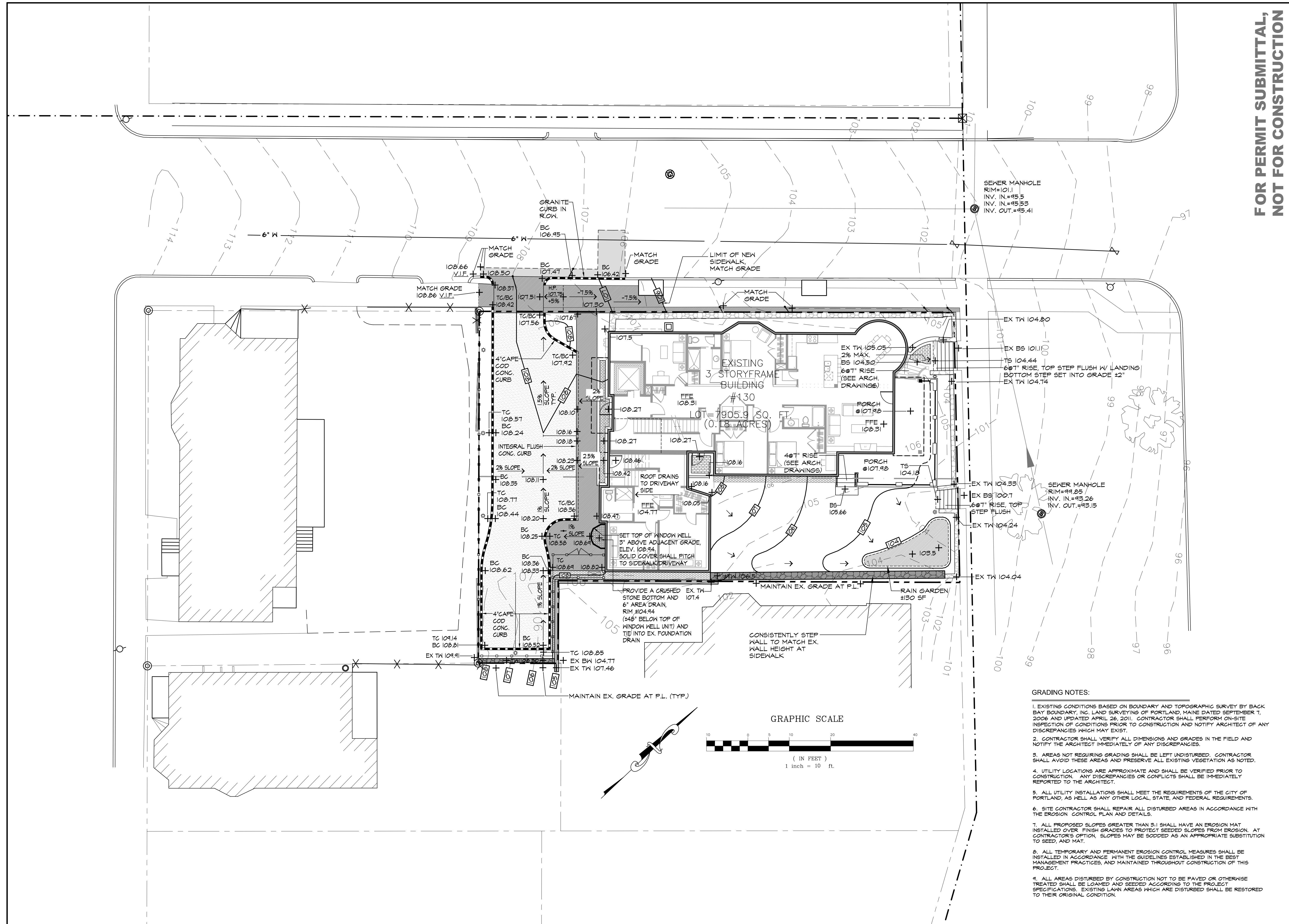
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Approved:

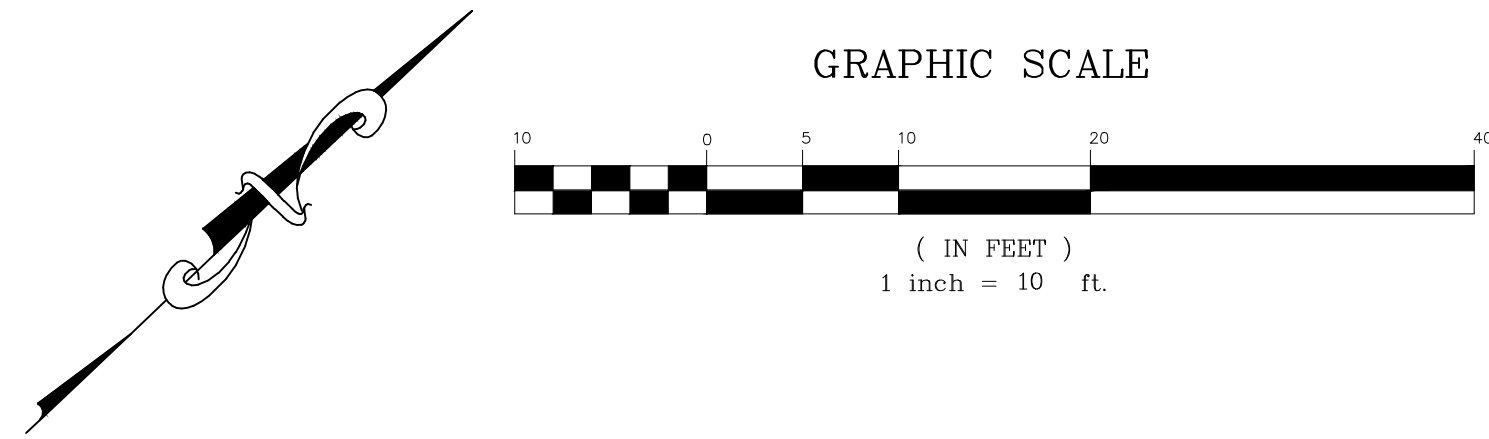
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 SITE GRADING
 PLAN

Job Number:
 File:
 Date: 4-11-2014 Scale: 1" = 10'-0"

Drawing Number:
L-3.0



- GRADING NOTES:**
- EXISTING CONDITIONS BASED ON BOUNDARY AND TOPOGRAPHIC SURVEY BY BACK BAY BOUNDARY, INC. LAND SURVEYING OF PORTLAND, MAINE DATED SEPTEMBER 7, 2006 AND UPDATED APRIL 26, 2011. CONTRACTOR SHALL PERFORM ON-SITE INSPECTION OF CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY ARCHITECT OF ANY DISCREPANCIES WHICH MAY EXIST.
 - CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND GRADES IN THE FIELD AND NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES.
 - AREAS NOT REQUIRING GRADING SHALL BE LEFT UNDISTURBED. CONTRACTOR SHALL AVOID THESE AREAS AND PRESERVE ALL EXISTING VEGETATION AS NOTED.
 - UTILITY LOCATIONS ARE APPROXIMATE AND SHALL BE VERIFIED PRIOR TO CONSTRUCTION. ANY DISCREPANCIES OR CONFLICTS SHALL BE IMMEDIATELY REPORTED TO THE ARCHITECT.
 - ALL UTILITY INSTALLATIONS SHALL MEET THE REQUIREMENTS OF THE CITY OF PORTLAND, AS WELL AS ANY OTHER LOCAL, STATE, AND FEDERAL REQUIREMENTS.
 - SITE CONTRACTOR SHALL REPAIR ALL DISTURBED AREAS IN ACCORDANCE WITH THE EROSION CONTROL PLAN AND DETAILS.
 - ALL PROPOSED SLOPES GREATER THAN 3:1 SHALL HAVE AN EROSION MAT INSTALLED OVER FINISH GRADES TO PROTECT SEEDED SLOPES FROM EROSION. AT CONTRACTOR'S OPTION, SLOPES MAY BE SODDED AS AN APPROPRIATE SUBSTITUTION TO SEED, AND MAT.
 - ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE GUIDELINES ESTABLISHED IN THE BEST MANAGEMENT PRACTICES, AND MAINTAINED THROUGHOUT CONSTRUCTION OF THIS PROJECT.
 - ALL AREAS DISTURBED BY CONSTRUCTION NOT TO BE PAVED OR OTHERWISE TREATED SHALL BE LOAMED AND SEEDED ACCORDING TO THE PROJECT SPECIFICATIONS. EXISTING LAWN AREAS WHICH ARE DISTURBED SHALL BE RESTORED TO THEIR ORIGINAL CONDITION.





PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov



Reviewed for Code Compliance
Inspections Division
Approved with Conditions
Date: 02/13/15

Jeff Levine, AICP, Director
Director of Planning and Urban Development

Tammy Munson
Director, Inspections Division

Electronic Signature and Fee Payment Confirmation

Notice: Your electronic signature is considered a legal signature per state law.

By digitally signing the attached document(s), you are signifying your understanding this is a legal document and your electronic signature is considered a **legal signature** per Maine state law. You are also signifying your intent on paying your fees by the opportunities below.

I, the undersigned, intend and acknowledge that no permit application can be reviewed until payment of appropriate permit fees are **paid in full** to the Inspections Office, City of Portland Maine by method noted below:

- Within 24-48 hours, once my complete permit application and corresponding paperwork has been electronically delivered, I intend to **call the Inspections Office** at 207-874-8703 and speak to an administrative representative and provide a credit/debit card over the phone.
- Within 24-48 hours, once my permit application and corresponding paperwork has been electronically delivered, I intend to **hand deliver** a payment method to the Inspections Office, Room 315, Portland City Hall.
- I intend to deliver a payment method through the U.S. Postal Service mail once my permit paperwork has been electronically delivered.

Applicant Signature: **Matthew Provencal, Architectural Designer**

Date: **December 31, 2014**

I have provided digital copies and sent them on:

Date: **December 31, 2014**

NOTE: All electronic paperwork must be delivered to buildinginspections@portlandmaine.gov or by physical means ie; a thumb drive or CD to the office.

**Ann Machado - 130 Eastern Promenade**

From: Matt Provencal <matt@muellerarchitects.com>
To: Ann Machado <AMACHADO@portlandmaine.gov>
Date: 1/30/2015 4:00 PM
Subject: 130 Eastern Promenade
CC: "buildinginspections@portlandmaine.gov" <buildinginspections@portlandmai...>

Ann,

I verified with the contractor the additional cost of construction, it is \$58,451...call it \$59,000....my math gives me a \$638.00 additional fee due.

The owners are also going with Condominiums...4 of them...let's make the change.

Have a good weekend!

Thank you,

**Matt Provencal, Assoc. AIA
Architectural Designer**



**Mark Mueller Architects
100 Commercial Street
Suite 205
Portland, Maine 04101
matt@muellerarchitects.com
Tele: 207.774.9057
Direct Line: 207.773.3851**



Reviewed for Code Compliance
Inspections Division
Approved with Conditions
Date: 02/13/15

General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any Date: within the City, payment arrangements must be made before permits of any kind are accepted.

Address/Location of Construction: 130 Eastern Promenade		
Total Square Footage of Proposed Structure:		See Plans
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# 003 C001 001	Applicant Name: Mark Mueller Architects Address 100 Commercial Street - Suite 205 City, State & Zip Portland, Maine 04101	Telephone: 207.774.9057 Email: matt@muellerarchitects.com
Lessee/Owner Name : 130 Eastern Promenade, LLC. (if different than applicant) Address: 110 Marginal Way - Suite 212 City, State & Zip: Portland, Maine 04101 Telephone & E-mail: 914.325.3678 - cminte@greatlocal.com	Contractor Name: Monaghan Woodworks (if different from Applicant) Address: 100 Commercial Street City, State & Zip: Portland, Maine 04101 Telephone & E-mail: 207.775.2683 - sheri@mwoodworks.com	Cost Of Work: \$ No change C of O Fee: \$ -- Historic Rev \$ Total Fees : \$ 25.00
Current use (i.e. single family) <u>Vacant</u>		
If vacant, what was the previous use? <u>Residential - Multifamily</u>		
Proposed Specific use: <u>Residential</u>		
Is property part of a subdivision? <u> </u> If yes, please name <u>None</u>		
Project description: <u>Addenda to Permit # 2014-01165. Additional 2nd story onto Unit #4 per attached plans. No change in construction cost.</u>		
Who should we contact when the permit is ready: <u>Sheri Winter - Monaghan Woodworks</u>		
Address: <u>100 Commercial Street - Suite 212</u>		
City, State & Zip: <u>Portland, Maine 04101</u>		
E-mail Address: <u>sheri@mwoodworks.com</u>		
Telephone: <u>207.775.2683</u>		

Please submit all of the information outlined on the applicable checklist. Failure to do so causes an automatic permit denial.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature:  **al Designer** **Date:** December 31, 2014

Commence ANY work until the permit is issued.



130 EA
 PROMPTLAND

PORTLAND, MAINE

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 207-767-7300

No.	Date	Revision
6-21-11		RE-SUBMISSION TO CITY
7-28-11		FOR CITY REVIEW
8-12-11		PRICING SET
10-15-13		
11-20-13		RE-SUBMISSION TO CITY
4-11-14		AMENDED SITE PLAN
10-28-14		ADMIN. AUTHORIZATION

Drawing Set:
 ADMINISTRATIVE
 AUTHORIZATION

Drawn:
 MP
 Checked:
 PC
 Approved:

Drawing Title:
 LANDSCAPE PLAN

Job Number:
 File:
 Date: 4-11-2014 Scale: 1" = 10'-0"
 Drawing Number:

L-4.0

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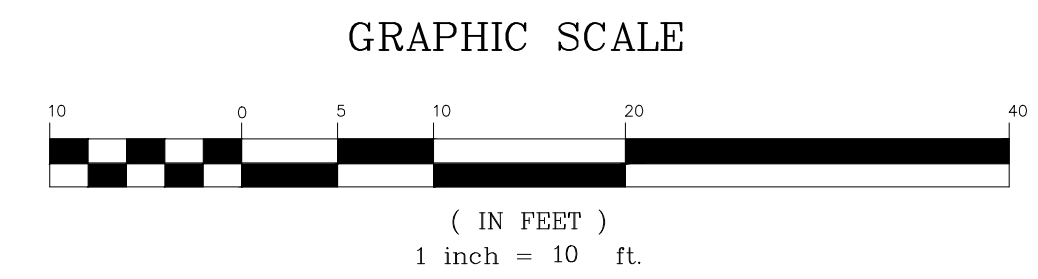
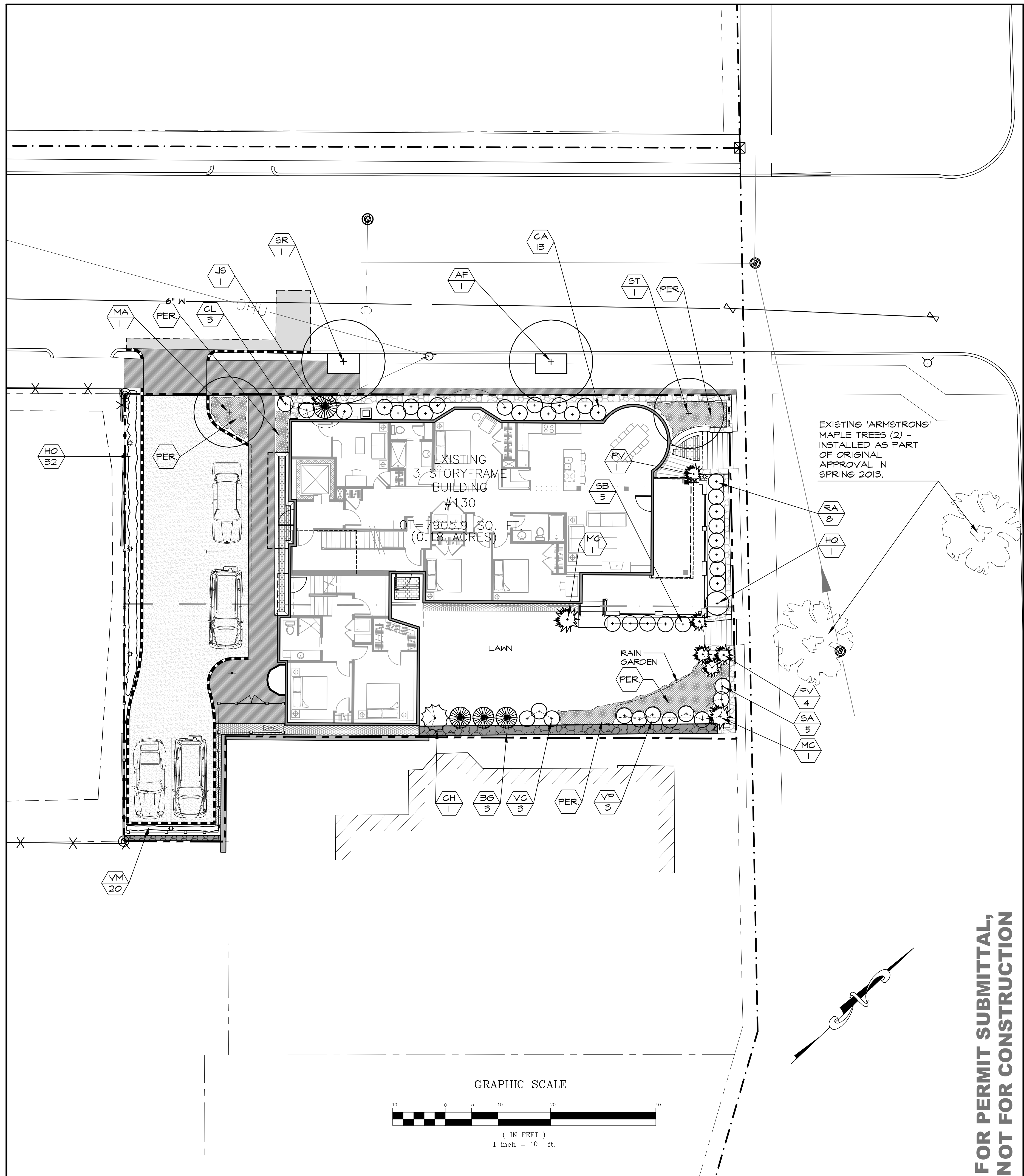
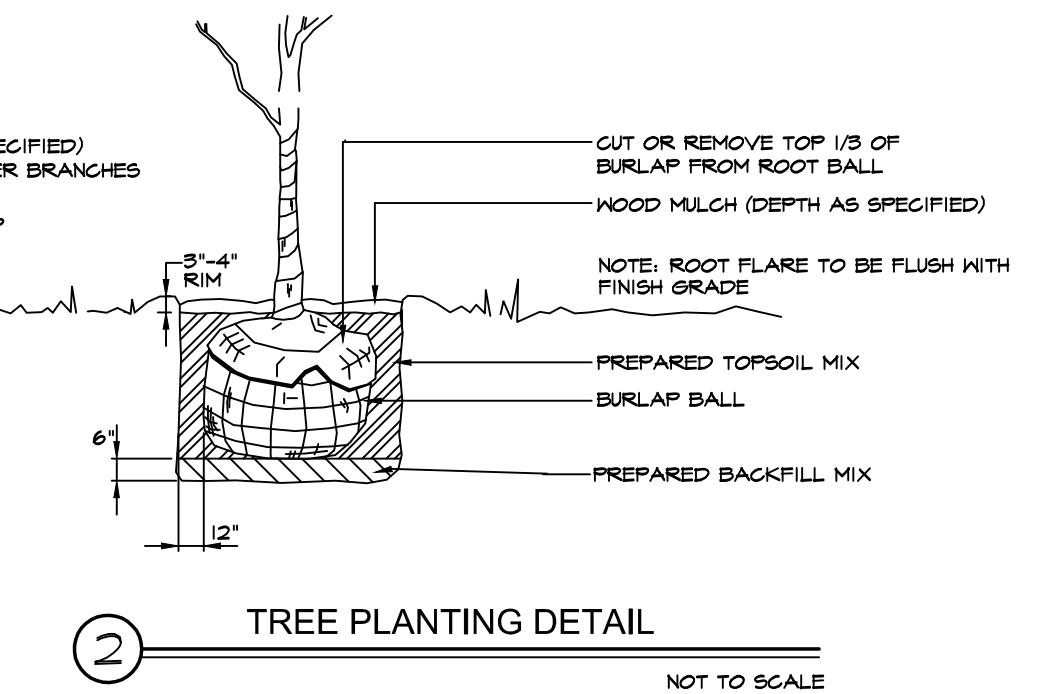
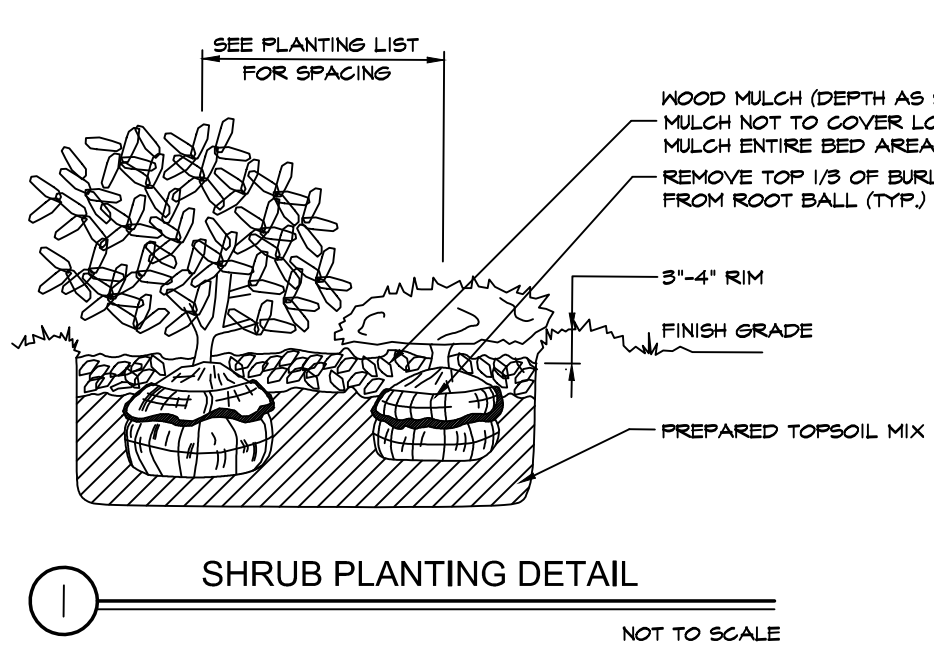
PLANT SCHEDULE

QTY.	SYM.	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
TREES					
1	AF	ACER X FREEMANII 'ARMSTRONG'	ARMSTRONG MAPLE	5' GAL.	B4B / HEAVY
1	MA	MALUS 'ADIRONDACK'	ADIRONDACK FLOWERING CRAB	25' GAL.	B4B / HEAVY
1	SR	SYRINGA RETICULATA 'IVORY SILK'	IVORY SILK TREE LILAC	25' GAL.	B4B / SINGLE STEM
1	ST	STENARTIA PSEUDOCAMELLIA	JAPANESE STENARTIA	6'-7'	B4B
SHRUBS / ORNAMENTAL GRASSES / GROUNDCOVERS/BULBS					
3	BG	BUXUS X 'GREEN VELVET'	GREEN VELVET BOXWOOD	5 GAL.	
15	CA	COTONEASTER APICULATUS	CRANBERRY COTONEASTER	5 GAL.	CONT.
1	CH	CHAMAECYPARIS OBUSA 'COMPACTA'	COMPACT HINOKI FALSECYPRESS	5'-4"	B4B
3	CL	CLETHRA ALNIFOLIA 'SIXTEEN CANDLES'	DWARF SUMMERSWEET	18"-24"	CONT.
1	JS	JUNIPERUS SCORPULORUM 'WICHITA BLUE'	WICHITA BLUE JUNIPER	4'-5"	B4B
1	HO	HYDRANGEA QUERCIFOLIA 'SIKES DWARF'	DWARF OAKLEAF HYDRANGEA	5 GAL.	CONT.
32	HO	HOSTA SP. (ASSORTED)	HOSTA (ASSORTED)	2 GAL.	CONT. / 24" O.C.
2	MC	MISCANTHUS SINENSIS 'STRICTUS'	FORGYPINE GRASS	5 GAL.	CONT.
5	PV	PANICUM VIRGATUM 'SHENANDOAH'	SWITCH GRASS	5 GAL.	CONT.
8	RA	RHUS AROMATICA 'GRO-LOW'	DWARF FRAGRANT SUMAC	5 GAL.	CONT.
5	SA	SALIX PURPUREA 'NANA'	DWARF ARCTIC WILLOW	5 GAL.	CONT.
5	SB	SPIRAEA X BUMALDA 'NEON FLASH'	NEON FLASH SPIREA	18"-24"	CONT.
20	VM	VINCA MINOR	PERIWINKLE	PLANT 10" O.C.	
3	VC	VIBURNUM CARLESII 'COMPACTA'	COMPACT KOREANSPICE VIBURNUM	30"-36"	B4B
3	VP	VIB. PLICATUM VAR. 'TOMENT. SUMMER SNOWFLAKE'	SUMMER SNOWFLAKE VIBURNUM	30"-36"	B4B
	PER	ASSORTED PERENNIALS	(TO BE DETERMINED)	1 GAL.	ZONE HARDY

NOTE: ALL SUBSTITUTIONS SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO ORDERING OF PLANTS

PLANTING NOTES

- CONTRACTOR SHALL BEGIN MAINTENANCE IMMEDIATELY AFTER PLANTING AND SHALL CONTINUE UNTIL FINAL ACCEPTANCE. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MEANS AND METHODS OF WATERING AND MAINTENANCE.
- CONTRACTOR SHALL SUPPLY PLANTS IN QUANTITIES SUFFICIENT TO COMPLETE WORK SHOWN ON THE PLAN. ANY DISCREPANCY BETWEEN THE QUANTITIES SHOWN IN THE PLANT SCHEDULE AND THOSE REQUIRED ON THE PLAN SHALL NOT ENTITLE THE CONTRACTOR TO ADDITIONAL REMUNERATION. ANY DISCREPANCIES SHALL BE CLARIFIED WITH THE LANDSCAPE ARCHITECT PRIOR TO ORDERING PLANT MATERIAL.
- ALL MATERIALS SHALL CONFORM TO SPECIFICATIONS OF THE AMERICAN STANDARDS FOR NURSERY STOCK (LATEST EDITION) AS SET FORTH BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- ALL PLANTS SHALL BEAR THE SAME RELATIONSHIP TO FINISH GRADE AS THE ORIGINAL GRADES BEFORE DIGGING.
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR ONE (1) FULL YEAR FROM DATE OF SUBSTANTIAL COMPLETION.
- ALL PLANT MATERIALS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT AT THE NURSERY AND AT THE SITE.
- ALL PLANT BEDS SHALL MEET MINIMUM TOPSOIL REQUIREMENTS (SEE SPECIFICATIONS).
- NO PLANT MATERIAL SHALL BE INSTALLED UNTIL GRUBBING, BED PREPARATION, AND FINISH GRADING HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
- ALL PLANTS BEDS AND TREE WELLS SHALL HAVE A MINIMUM OF 3" OF UNIFORMLY DISTRIBUTED, DARK, SHREPPED BARK MULCH.
- CONTRACTOR SHALL SUBMIT SOIL SAMPLE AND TEST OF TOPSOIL TO LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. SOIL ADMIXTURE SHALL BE ADDED TO EXISTING SOIL (BY CONTRACTOR) IF DEEMED NECESSARY BY SOIL TEST RESULTS.
- ROUGH GRADING AND BED PREPARATION SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PLANT INSTALLATION. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT 48 HOURS PRIOR TO REQUIRED SITE VISIT.
- ALL PLANTS SHALL BE BALLED AND WRAPPED OR CONTAINER GROWN AS SPECIFIED. ALL ROOT WRAPPING AND CONTAINER MATERIAL MADE OF SYNTHETICS OR PLASTICS SHALL BE REMOVED AT THE TIME OF PLANTING.
- ALL BROAD LEAF EVERGREEN PLANTS SHALL BE SPRAYED WITH AN ANTI-DESICCANT AT THE BEGINNING OF THEIR FIRST WINTER.
- ALL PLANTS SHALL BE INSTALLED AS PER DETAILS AND THE CONTRACT SPECIFICATIONS. THE LANDSCAPE CONTRACTOR SHALL REFER TO THE CONTRACT SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
- CONTRACTOR SHALL STAKE TREES IF DEEMED NECESSARY BY LANDSCAPE ARCHITECT.
- THE LANDSCAPE CONTRACTOR SHALL PROVIDE LOAM FILL AS PER THE CONTRACT SPECIFICATIONS.
- ALL PLANTS SHALL THEN BE WATERED BY THE CONTRACTOR, AS NECESSARY TO INSURE HEALTH UNTIL FINAL ACCEPTANCE.
- THE LANDSCAPE CONTRACTOR SHALL REFER TO THE PLANT LIST AND PLANTING SPECIFICATIONS FOR SEASONAL REQUIREMENTS AND OTHER RESTRICTIONS RELATED TO THE TIME AND SEASON OF PLANTING.



FOR PERMIT SUBMITTAL, NOT FOR CONSTRUCTION