

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

BUILDING INSPECTION
PERMIT

Permit Number: 040854

This is to certify that Favor Janet M/Phoenix Associateshas permission to Repairs and replacement of wall and brick on rear buildingAT 55 Morning St

CITY OF PORTLAND 003 B005011

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and work on permit must be completed before this building or part thereof is occupied or otherwise used-in. HOUR NOTIFICATION REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
 Health Dept. _____
 Appeal Board _____
 Other _____
 Department Name _____

PERMIT ISSUED

JUN 2 9 2004

CITY OF PORTLAND

Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-0854	Issue Date: JUN 23 2004	CBL: 003 B005011
-----------------------	----------------------------	---------------------

Location of Construction: 55 Morning St	Owner Name: Favor Janet M	Owner Address: 55 Morning St # 1- CITY OF PORTLAND	Phone:
Business Name:	Contractor Name: Phoenix Associates	Contractor Address: PO Box 349 Gray	Phone: 2072330506
Lessee/Buyer's Name	Phone:	Permit Type: Commercial	Zone:

Past Use: 8 unit multi-family REPAIRS TO EXISTING STRUCTURE	Proposed Use: 8 unit multi-family /Repairs and replacement of wall and brick in rear of building REPAIRS TO EXISTING STRUCTURE	Permit Fee: \$831.00	Cost of Work: \$90,000.00	CEO District: 1
Proposed Project Description: Repairs and replacement of wall and brick in rear of building		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied Signature: NIA	INSPECTION: Use Group: No Type: 55 USE APPROVED Signature: [Signature]	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: Date:		

Permit Taken By: ldobson	Date Applied For: 06/23/2004	Zoning Approval		
<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input checked="" type="checkbox"/> MM <input type="checkbox"/> Date: [Signature]	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date:	
	[Large Signature]			

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT _____ ADDRESS _____ DATE _____ PHONE _____

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE _____ DATE _____ PHONE _____

7/1/04 - Close in of left rear tower -
Done per plans + fireblocking installed -

12/04 - Close in - right rear tower - Done
per plan + fireblocking - OK to close both.

*Will forward special inspection report
from Shelley Engineering. T.M.

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-0854	Date Applied For: 06/23/2004	CBL: 003 B005011
------------------------------	--	----------------------------

Location of Construction: 55 Morning St	Owner Name: Favor Janet M	Owner Address: 55 Morning St # 1-1	Phone:
Business Name:	Contractor Name: Phoenix Associates	Contractor Address: PO Box 349 Gray	Phone (207) 233-0506
Lessee/Buyer's Name	Phone:	Permit Type: Commercial	

Proposed Use: Repairs and replacement of wall and brick in rear of building without expansion	Proposed Project Description: Repairs and replacement of wall and brick in rear of building
---	---

Dept: Building **Status:** Approved with Conditions **Reviewer:** Mike Nugent **Approval Date:** 06/29/2004**Note:** **Ok to Issue:**

- 1) No use is approved by this permit simply a repair, as depicted by the engineers submissions. The design professional is responsible for special inspections during this process and shall file a final compliance report with the owner and this office

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

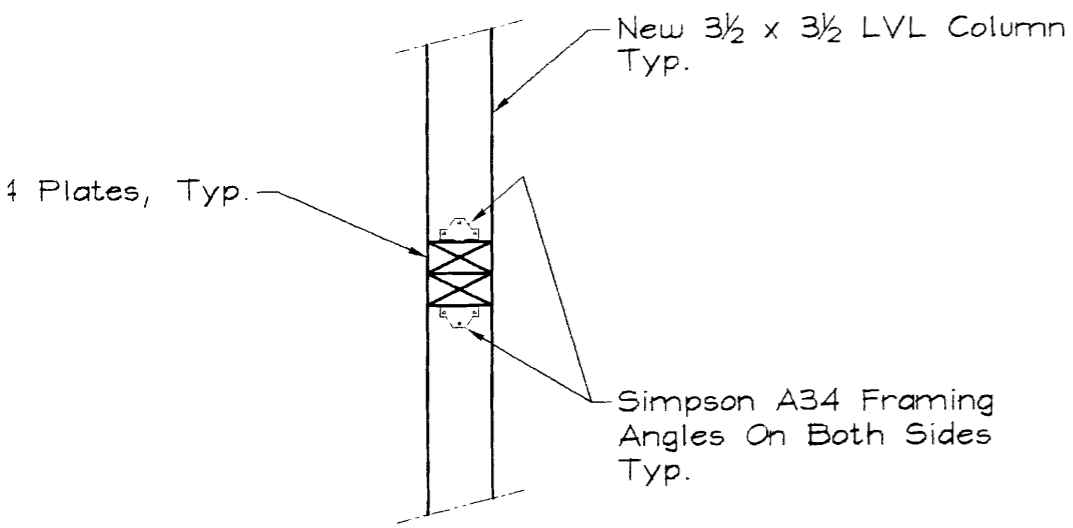
Location/Address of Construction: <u>55 Manning Street Portland</u>		
Total Square Footage of Proposed Structure <u>500? ±</u>	Square Footage of Lot <u>3000 ±</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>3</u> Block# <u>B</u> Lot# <u>5011</u>	Owner: <u>55 Manning St Condo Assoc.</u>	Telephone: <u>774 2702</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>Uinal Zapuros Phoenix Associates PO Box 349 Gray, Me. 04039</u>	Cost Of Work: \$ <u>90,000</u> Fee: \$ <u>831.00</u>
Current use: <u>Condo Units</u>		
If the location is currently vacant, what was prior use: _____		
Approximately how long has it been vacant: _____		
Proposed use: _____		
Project description: <u>Replaced New wall & Brick Back of Building</u>		
Contractor's name, address & telephone: <u>Phoenix Associates PO Box 349 Gray, Me. 04039</u>		
Who should we contact when the permit is ready: <u>Uinal Zapuros</u>		
Mailing address: _____		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>233-0506</u>		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

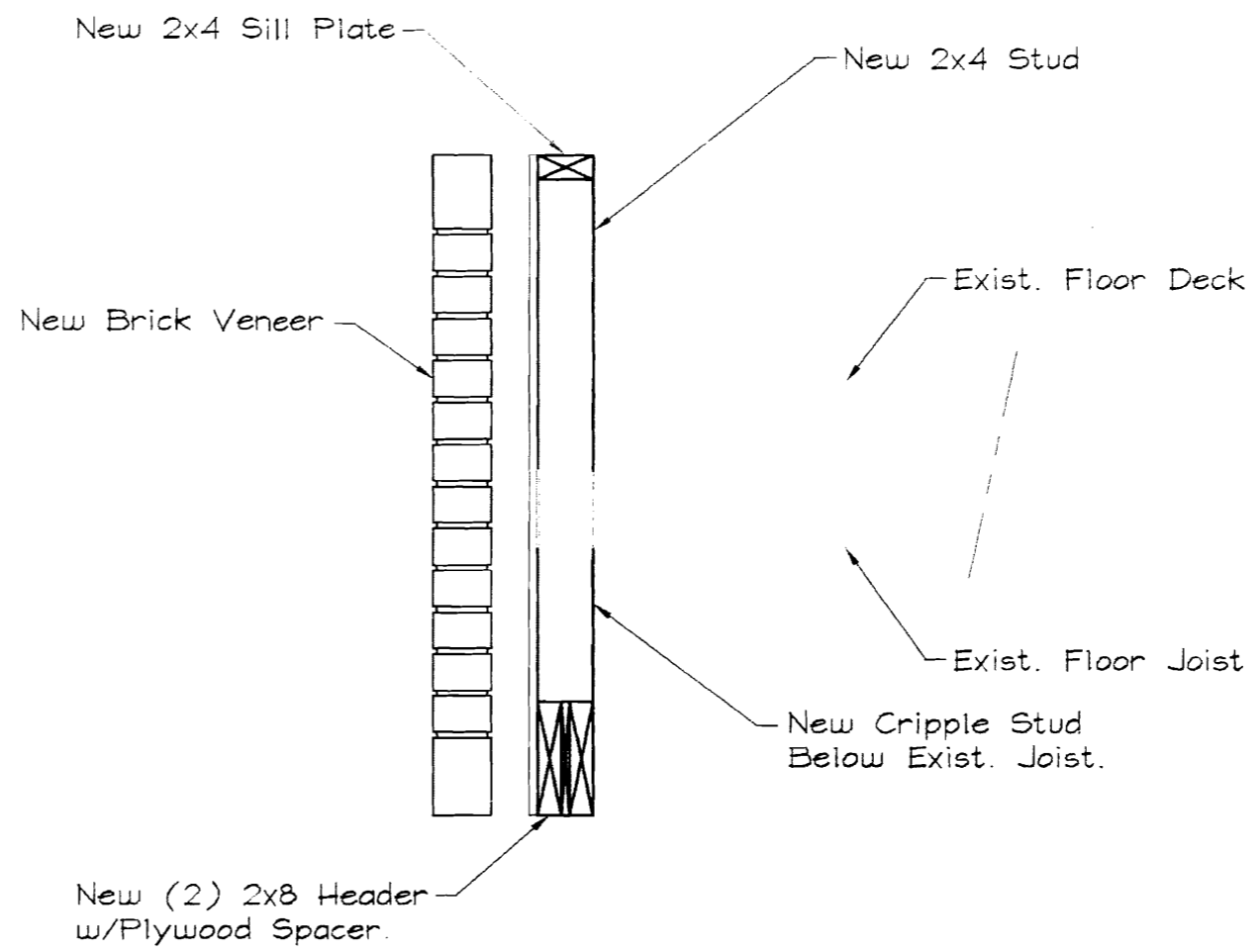
Signature of applicant: <u>Uinal Zapuros</u>	Date: <u>6-23-2009</u>
--	------------------------

This is NOT a permit, you may not commence ANY work until the permit is issued.
If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall



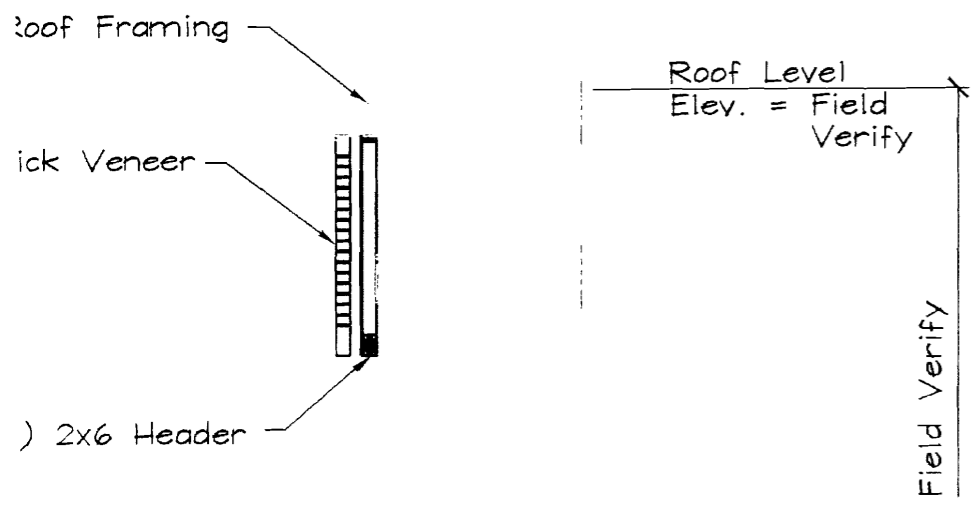
TYP. - WALL SPLICE DETAIL

SCALE: 1" = 1'-0"



TYP. - EXIST. FLOOR JOIST SUPPORT DETAIL

SCALE: 1" = 1'-0"



GENERAL NOTES:

1. ALL DIMENSIONS AND CONDITIONS MUST BE VERIFIED IN THE FIELD. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH THE AFFECTED PART OF THE WORK.
2. THE STRUCTURE IS DESIGNED TO BE SELF SUPPORTING AND STABLE AFTER THE BUILDING IS COMPLETE. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE ERECTION PROCEDURES AND SEQUENCE TO ENSURE SAFETY OF THE STRUCTURE AND PERSONNEL DURING ERECTION. THIS INCLUDES THE ADDITION OF THE NECESSARY SHORING, SHEETING, TEMPORARY BRACING, GUYS OR TIEDOWNS. SUCH MATERIAL SHALL REMAIN THE PROPERTY OF THE CONTRACTOR AFTER

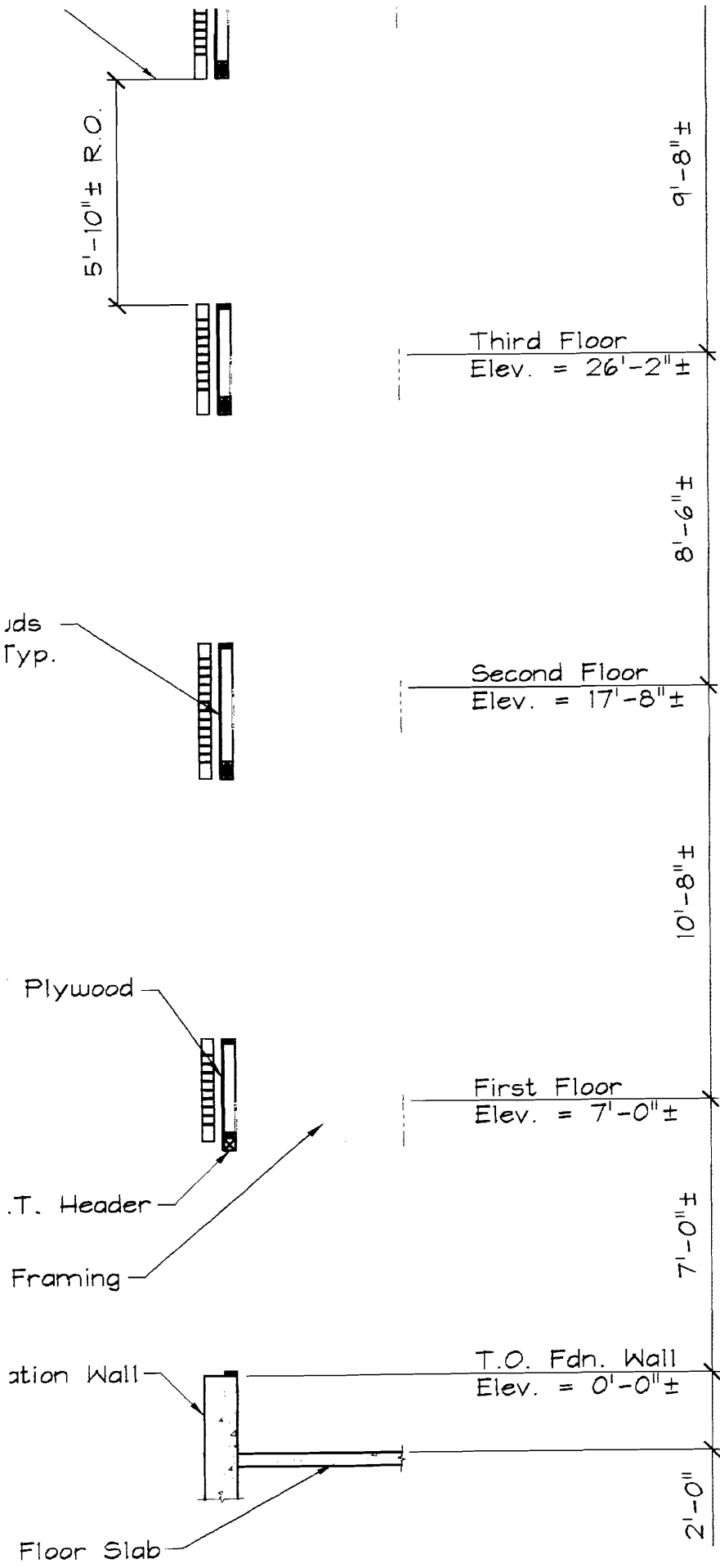
THIS DRAWING IS ISSUED

<input type="checkbox"/> NOT FOR CONSTRUCTION	<input checked="" type="checkbox"/> FOR CONSTRUCTION	
CURRENT REVISION		
#	DATE	DESCRIPTION
1	6-16-04	ISSUED FOR CONSTRUCTION
2	6-21-04	REVISED FRAMING ISSUED FOR CONST.
3	6-24-04	REVISED FRAMING ISSUED FOR CONST.

DRN BY: GSM / TRB
CHK'D BY: TGS
DATE: 6-16-04
SCALE: AS NOTED
JOB NO.: 2004-

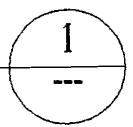
**REET
CEMENT**

MAINE



SECTION

SCALE: 1/4" = 1'-0"



STRUCTURAL DESIGN CRITERIA:

1. BUILDING CODE: 1999 EDITION OF THE BOCA NATIONAL BUILDING CODE
2. DESIGN WIND LOADS - MAIN WIND FORCE RESISTING SYSTEM:
 - DESIGN WIND SPEED = 85 MPH
 - BUILDING USE IMPORTANCE FACTOR (WIND) = 1.1
 - BUILDING EXPOSURE CATEGORY = C
3. SNOW:
 - GROUND SNOW LOAD = 60 PSF
 - IMPORTANCE FACTOR, I = 1.0
 - EXPOSURE FACTOR, Ce = 0.7
 - FLAT ROOF SNOW LOAD = 42 PSF
4. ROOF DEAD LOAD = 15 PSF

WOOD FRAMING NOTES:

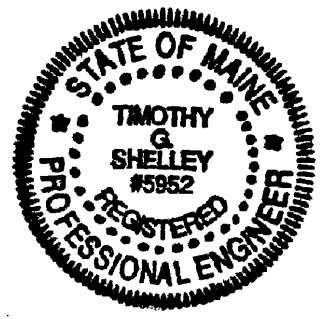
1. STRUCTURAL LUMBER: No. 2 SPRUCE PINE FIR OR BETTER.
 Fb = 750 PSI Fv = 70 PSI
 Fc = 975 PSI E = 1100000 PSI
2. DESIGN CODE: NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION BY THE NATIONAL FOREST PRODUCTS ASSOCIATION.
3. FASTENERS: COMPLY WITH RECOMMENDED FASTENING SCHEDULE OF THE BOCA BUILDING CODE, 1996 EDITION, UNLESS SHOWN OTHERWISE ON THE DRAWINGS.
4. SPIKE TOGETHER ALL FRAMING MEMBERS WHICH ARE BUILT-UP USING MULTIPLE 2x LUMBER.
5. PROVIDE PRESSURE TREATED LUMBER FOR ALL LUMBER IN CONTACT WITH MASONRY OR CONCRETE.

53 MORN
TOWER WALL

PORTLAND

SHELLEY ENGINEERING, INC.
STRUCTURAL CONSULTANTS
90 BRIDGE STREET
WESTBROOK, MAINE 04092
PHONE (207) 854-5465
FAX (207) 854-8706
WWW.SHELLEYENGINEERING.COM

SEI



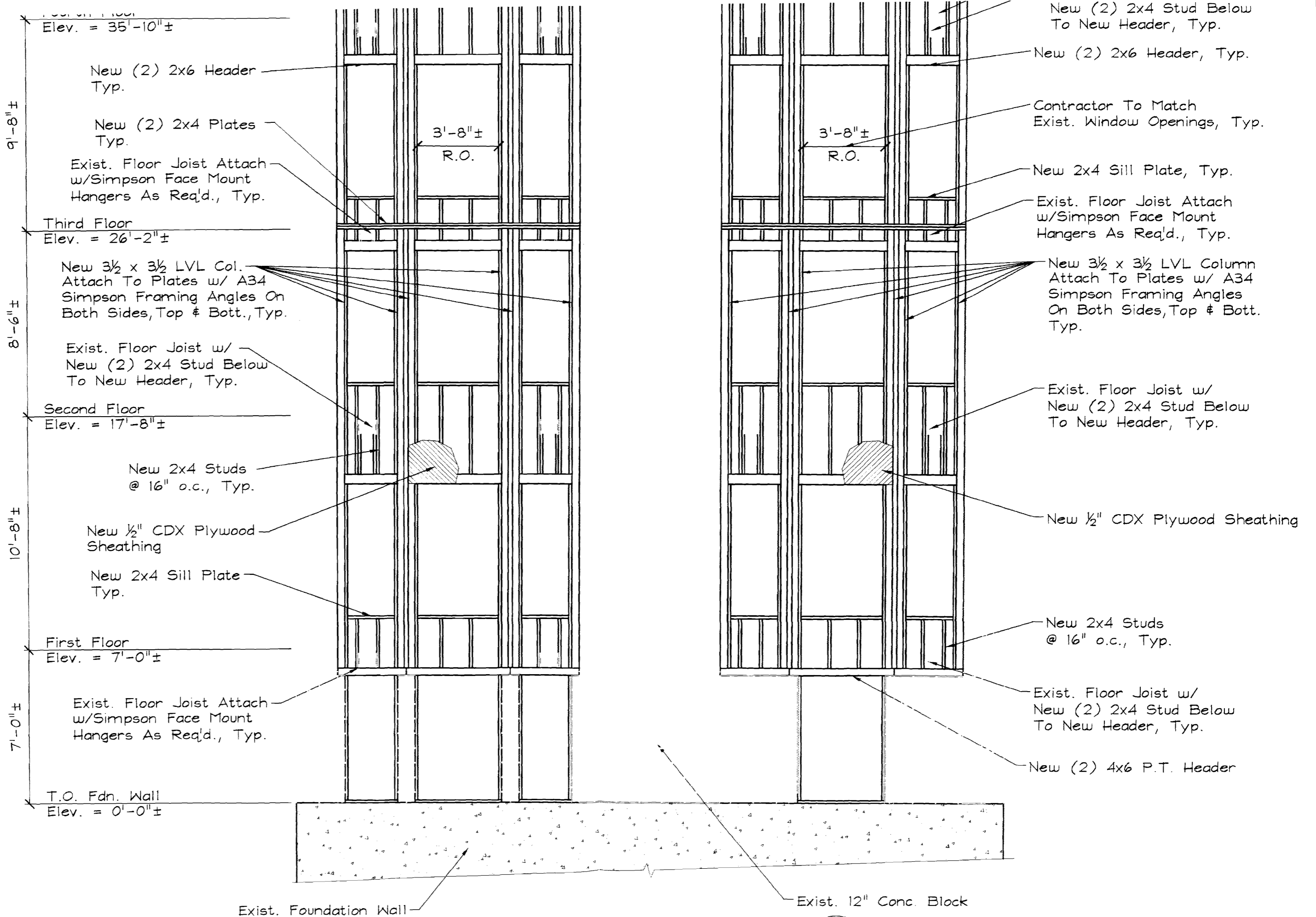
SHEET TITLE:

FRAMING
PLANS &
SECTION

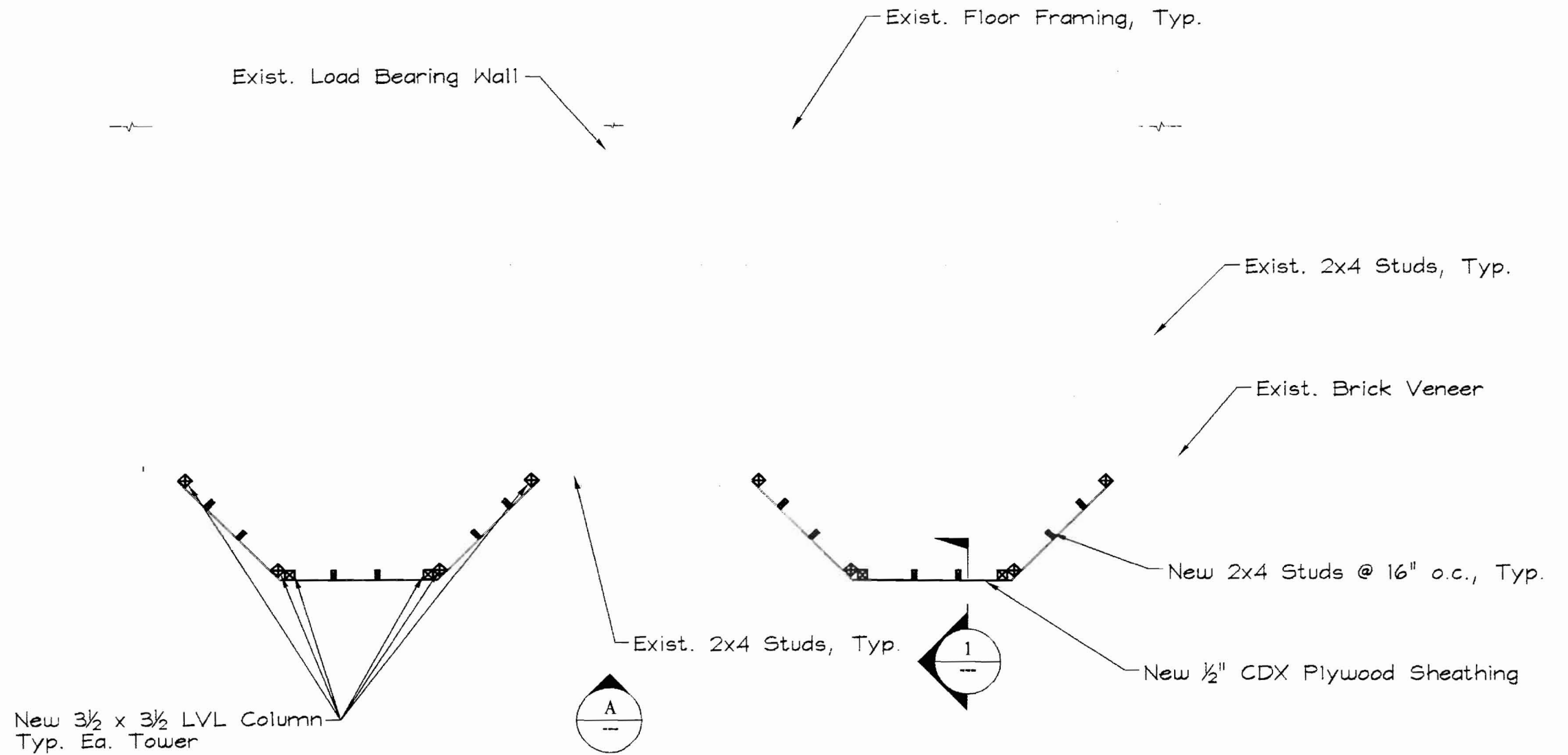
S1 OF 1

CADD 2004-384

production of this document without the written consent of Shelley Engineering, Inc. is prohibited



REAR WALL ELEVATION A



TYPICAL FLOOR FRAMING PLAN

SCALE: 1/4" = 1'-0"

