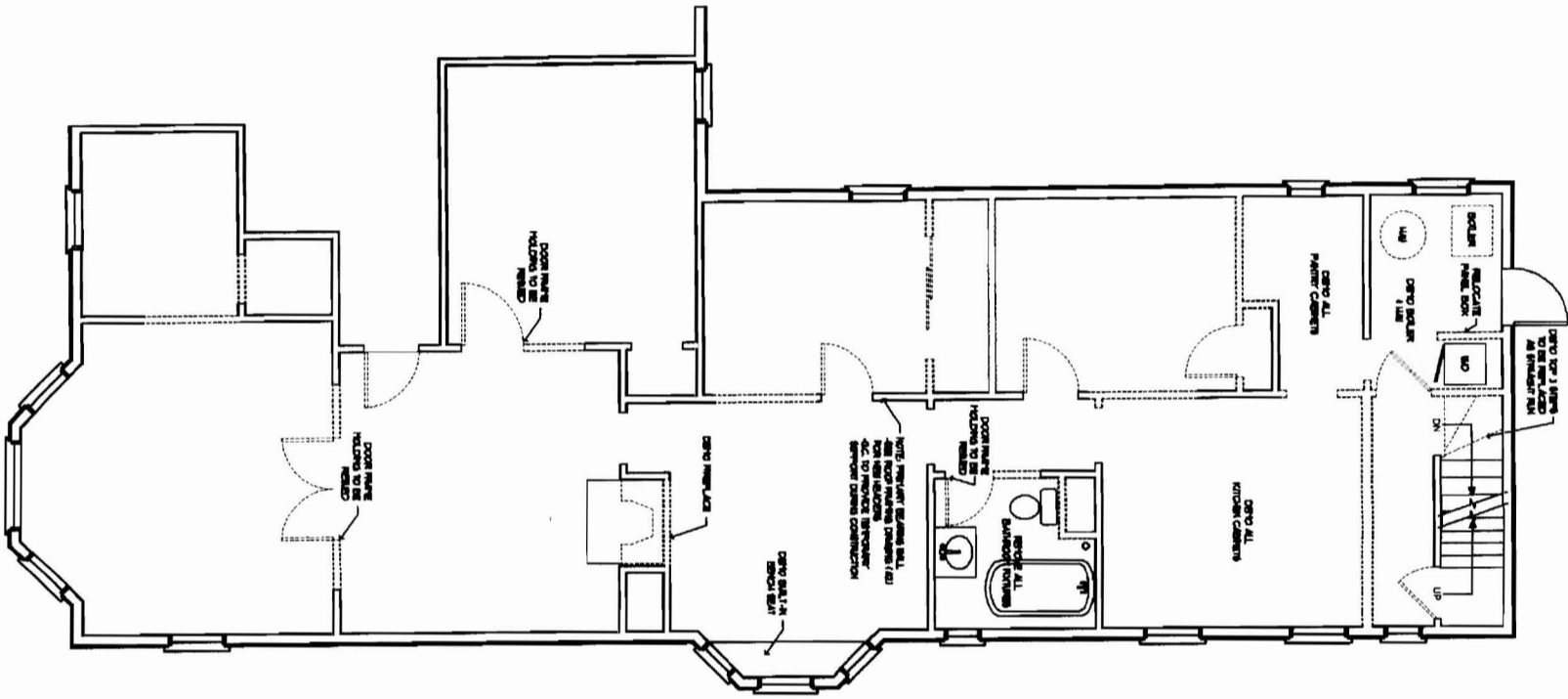


1 DEMO PLAN
SCALE: 1/4" = 1'-0"



D01

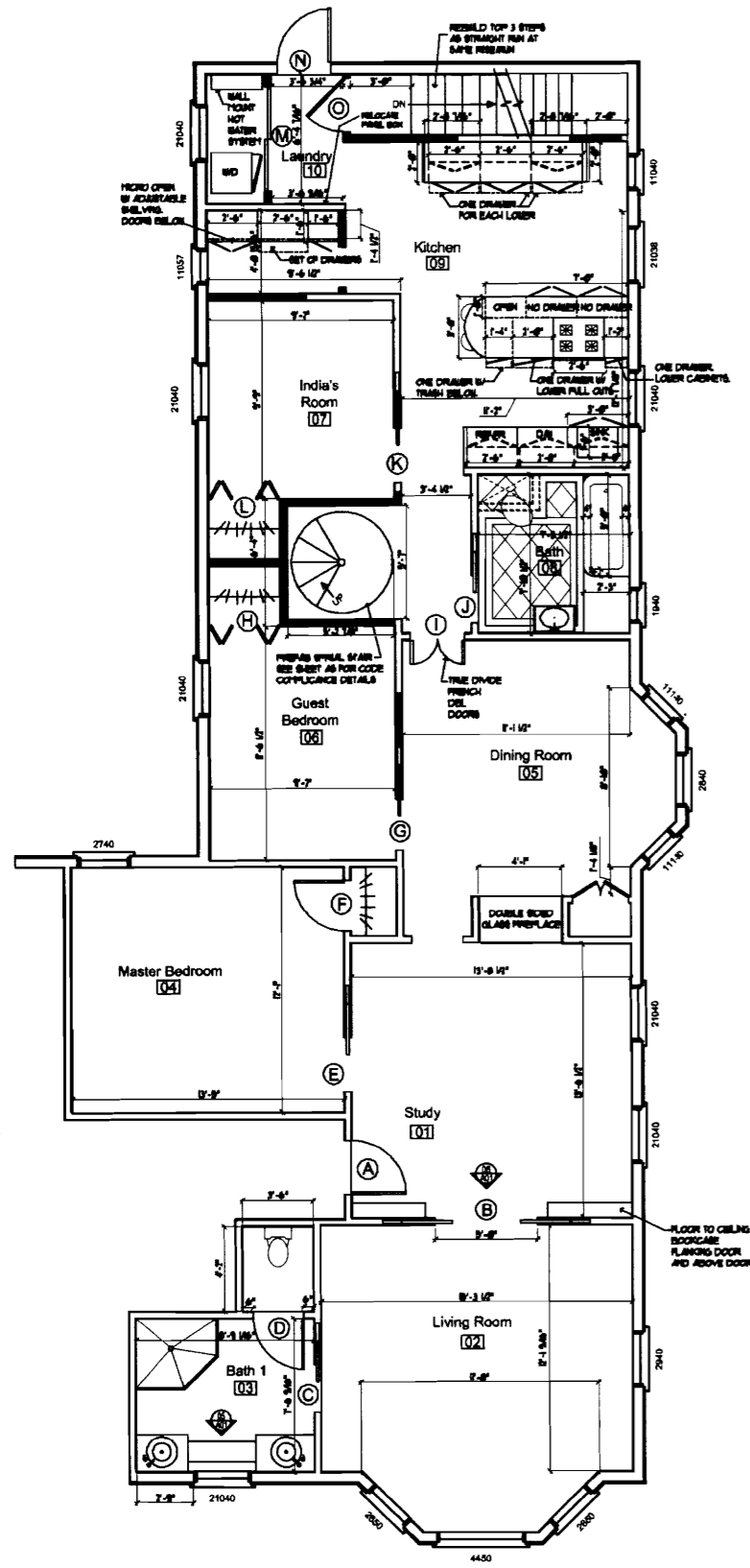
Date	January 25, 2007
Scale	1/4" = 1'-0"
DEMO PLAN	

Revisions:

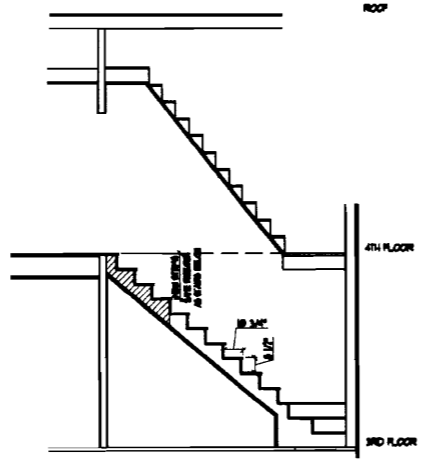
Project:
JENKINS CONDO
MORNING STREET PORTLAND, ME

ARCHETYPE, P.A. ARCHITECTS
48 Union Wharf Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056

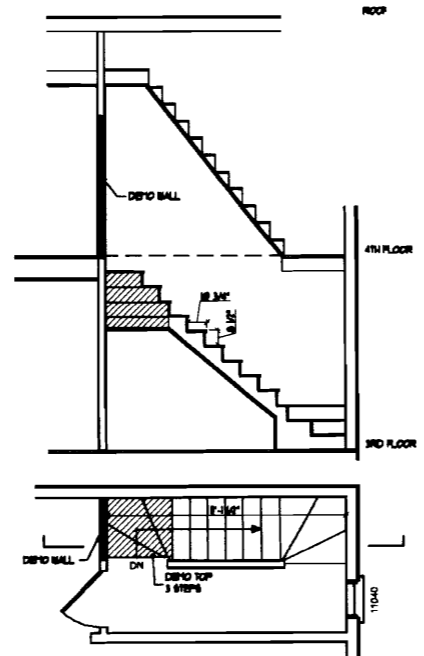
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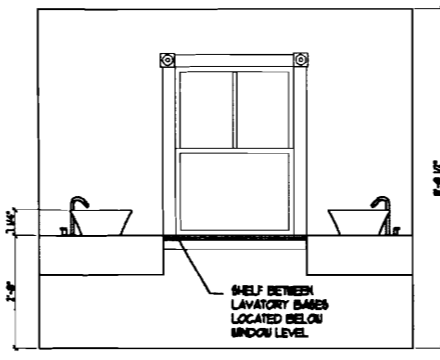
1 FLOOR PLAN
SCALE: 1/4" = 1'-0"



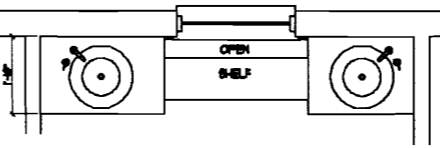
3 REAR STAIR - NEW
SCALE: 1/4" = 1'-0"



2 REAR STAIR - EXISTING/DEMO
SCALE: 1/4" = 1'-0"



5 BATH 1 - LAVATORIES ELEV.
SCALE: 1/2" = 1'-0"



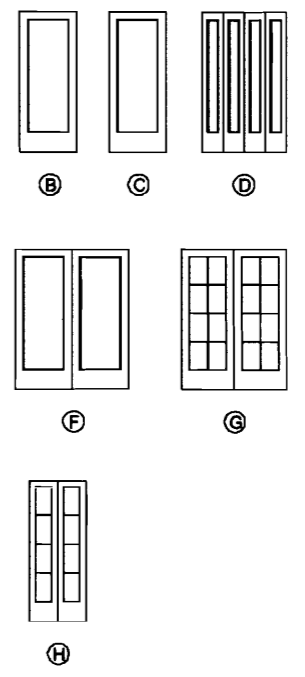
4 BATH 1 - LAVATORIES PLAN
SCALE: 1/2" = 1'-0"



6 BOOKCASE WALL IN STUDY
SCALE: 1/2" = 1'-0"

*** DOOR SCHEDULE ***

DOOR	LOCATION	Width	Height	Thick	Type	Material	THRESH	FRAME Material	LABEL	REMARKS
A	Unit Entry	3'-0"	6'-8"	1 3/4"	A	Wood	Grassie	Existing	45 MIN	Custom Built
B	Living Room	2'-6"	6'-8"	1 3/4"	G	Wood & Glass	None	Existing		Pocket
C	Bath 1	2'-10"	6'-8"	1 3/4"	B	Wood	None	Wood		Pocket
D	Bath 2 W.C.	2'-6"	6'-8"	1 3/4"	B	Wood	None	Wood		Pocket
E	Master Bedroom	2'-8"	6'-8"	1 3/4"	B	Wood	None	Existing		Pocket
F	M. Bedrm Closet	2'-6"	6'-8"	1 3/4"	C	Wood	None	Existing		
G	Guest Bedrooms	2'-6"	6'-8"	1 3/4"	B	Wood	None	Wood		Pocket
H	Guest Bed Closet	3'-0"	6'-8"	1 3/4"	D	Wood	None	Wood		Bi-Fold
I	Dining Room	2'-8"	6'-8"	1 3/4"	H	Wood	None	Wood		True Drive French Doors
J	Bath 2	2'-4"	6'-8"	1 3/4"	B	Wood	None	Wood		Existing
K	India's Bedroom	2'-8"	6'-8"	1 3/4"	B	Wood	None	Wood		Pocket
L	India's Closet	3'-0"	6'-8"	1 3/4"	D	Wood	None	Wood		Bi-Fold
M	Laundry Closet	5'-0"	6'-8"	1 3/4"	F	Wood	None	Wood		Bi-Pass
N	Back Deck	2'-8"	6'-8"	1 3/4"						Existing
O	Rear Entry	2'-8"	6'-8"	1 3/4"	E	Metal	Alum			45 MIN



*** ROOM FINISH SCHEDULE ***

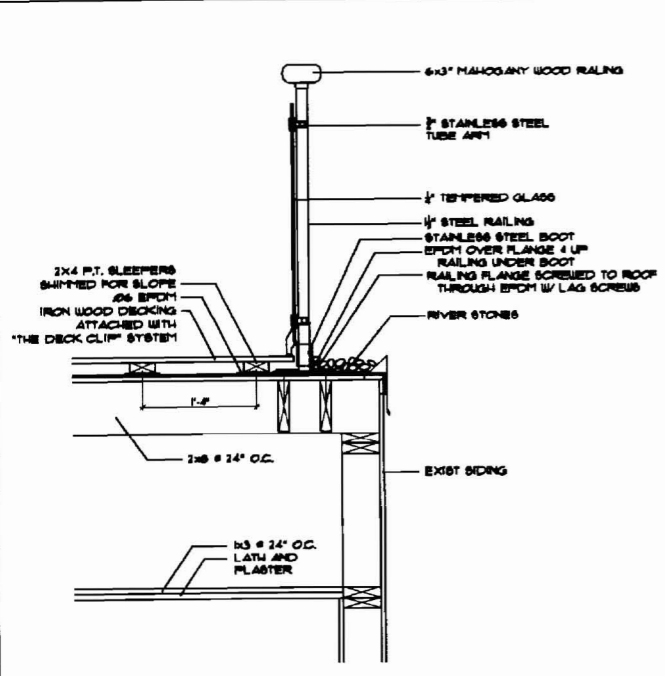
#	FLOOR FINISH	CEILING FINISH	CLG. HGT.	WALL FINISH	BASEBOARD	CROWN	REMARKS
01	Wood - Clear Poly	SW 7103 Flat		SW 0052	SW 7103	SW 7103	Bass & Trim - Semi Gloss Walls - Eggshell
02	Wood - Clear Poly	SW 7103 Flat		SW 0052	SW 7103	SW 7103	
03							
04	Wood - Clear Poly	SW 7103 Flat		SW 6379	SW 7103	SW 7103	
05	Wood - Clear Poly	SW 7103 Flat		SW 6386	SW 7103	SW 7103	
06	Wood - Clear Poly	SW 7103 Flat		SW 6379	SW 7103	SW 7103	
07	Wood - Clear Poly	SW 7100 Flat		SW 6681	SW 7100	SW 7100	
08	Slab Marble	SW 7100 Flat		SW 6212			
09	Wood - Clear Poly	SW 7103 Flat		SW 6232	SW 7103	SW 7103	
10	Wood - Clear Poly	SW 7103 Flat		SW 6232	SW 7103	SW 7103	

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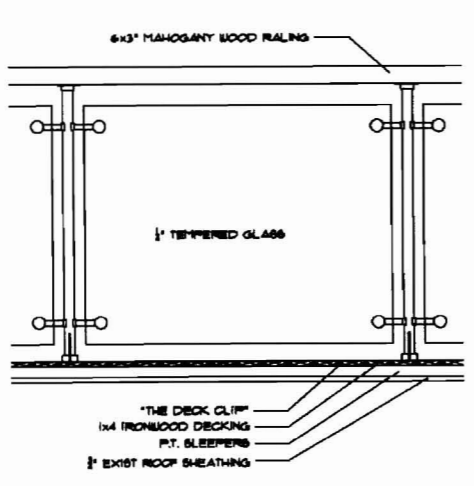
JENKINS CONDO
MORNING STREET
PORTLAND, ME

Scale AS NOTED
Date January 25, 2007
FLOOR PLAN, INTERIOR ELEVATIONS AND DOOR/FINISH SCHEDULES

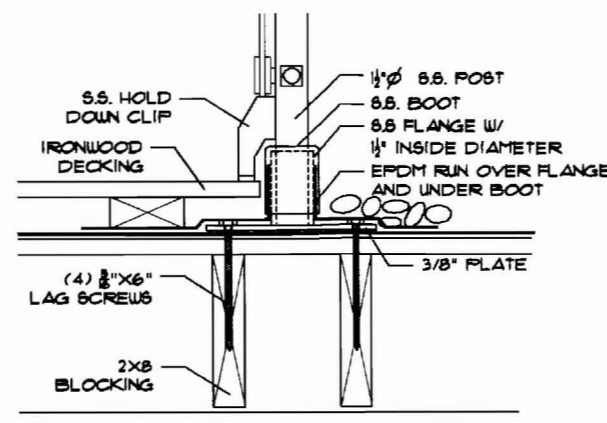
A01



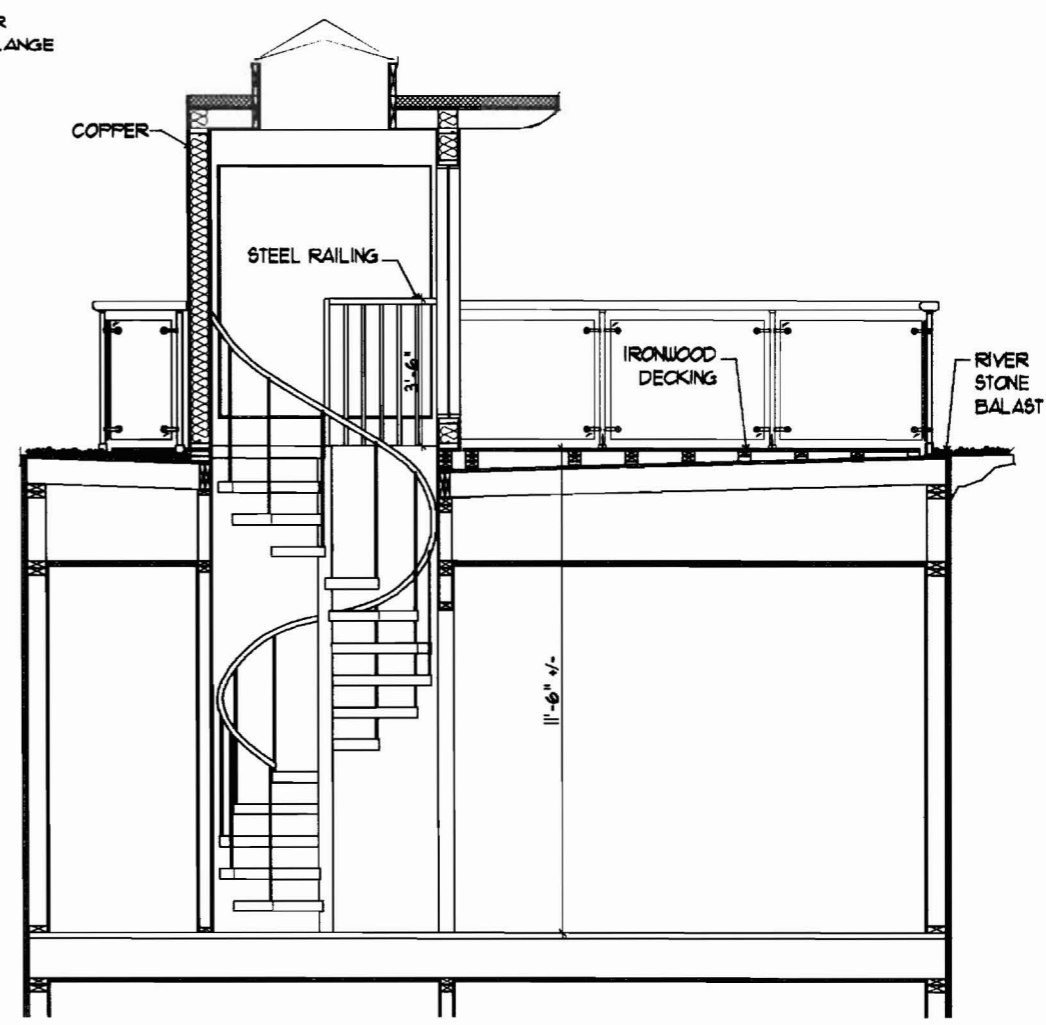
5 RAILING SYSTEM DETAIL
SCALE: 1" = 1'-0"



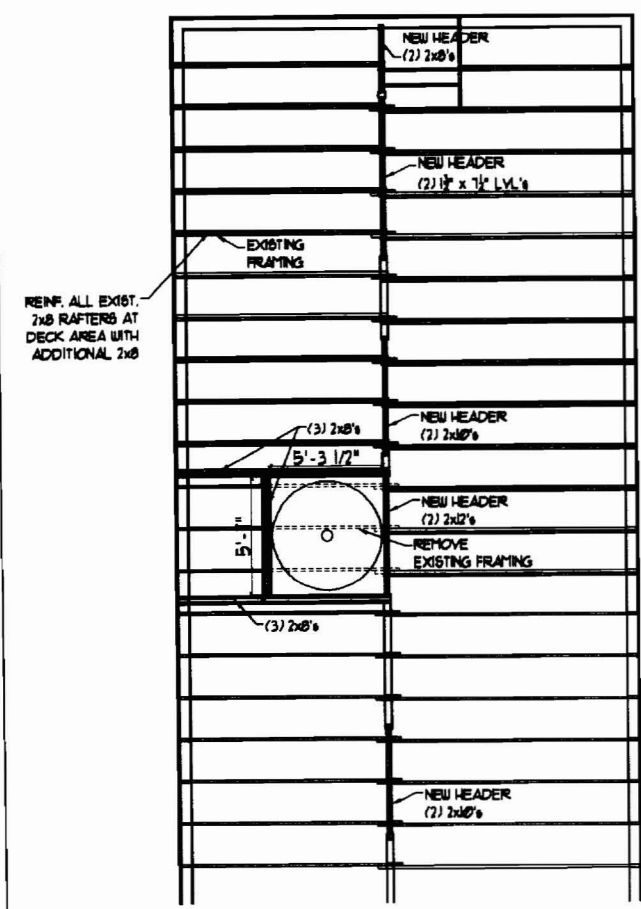
6 RAILING SYSTEM ELEVATION
SCALE: 1" = 1'-0"



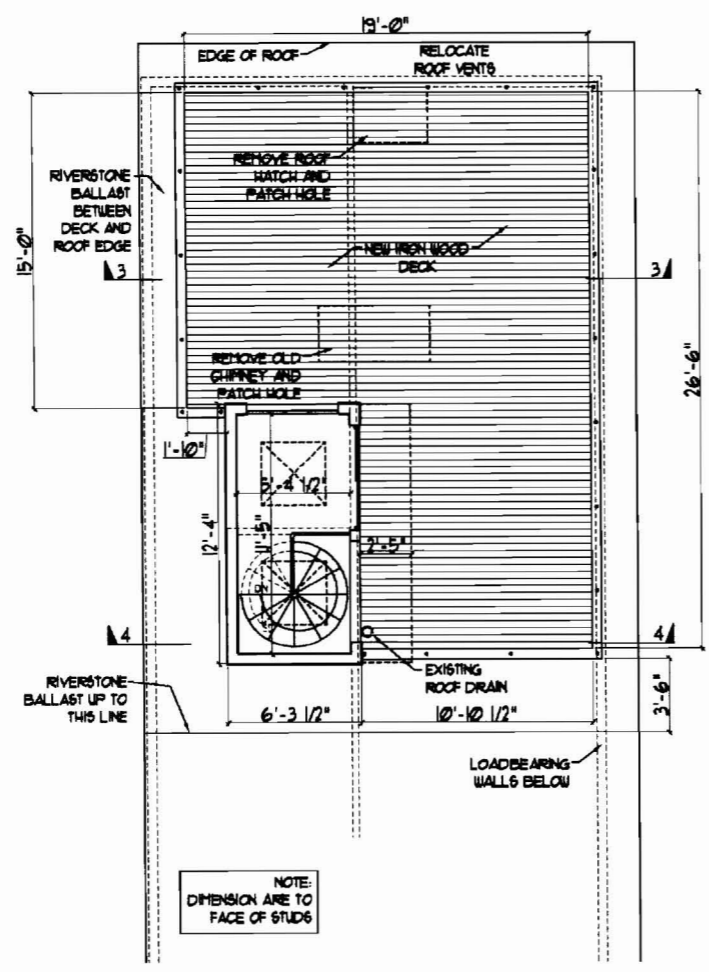
7 RAILING DETAIL
SCALE: 1 1/2" = 1'-0"



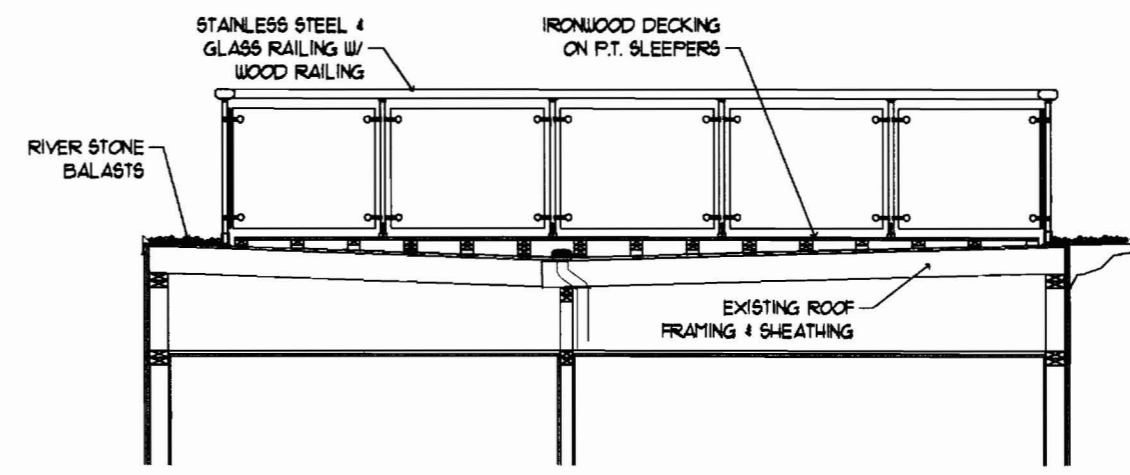
4 SECTION THROUGH PENTHOUSE
SCALE: 1/2" = 1'-0"



1 ROOF FRAMING PLAN
SCALE: 1/4" = 1'-0"



2 ROOF DECK PLAN
SCALE: 1/4" = 1'-0"



3 SECTION THROUGH ROOF DECK
SCALE: 1/2" = 1'-0"

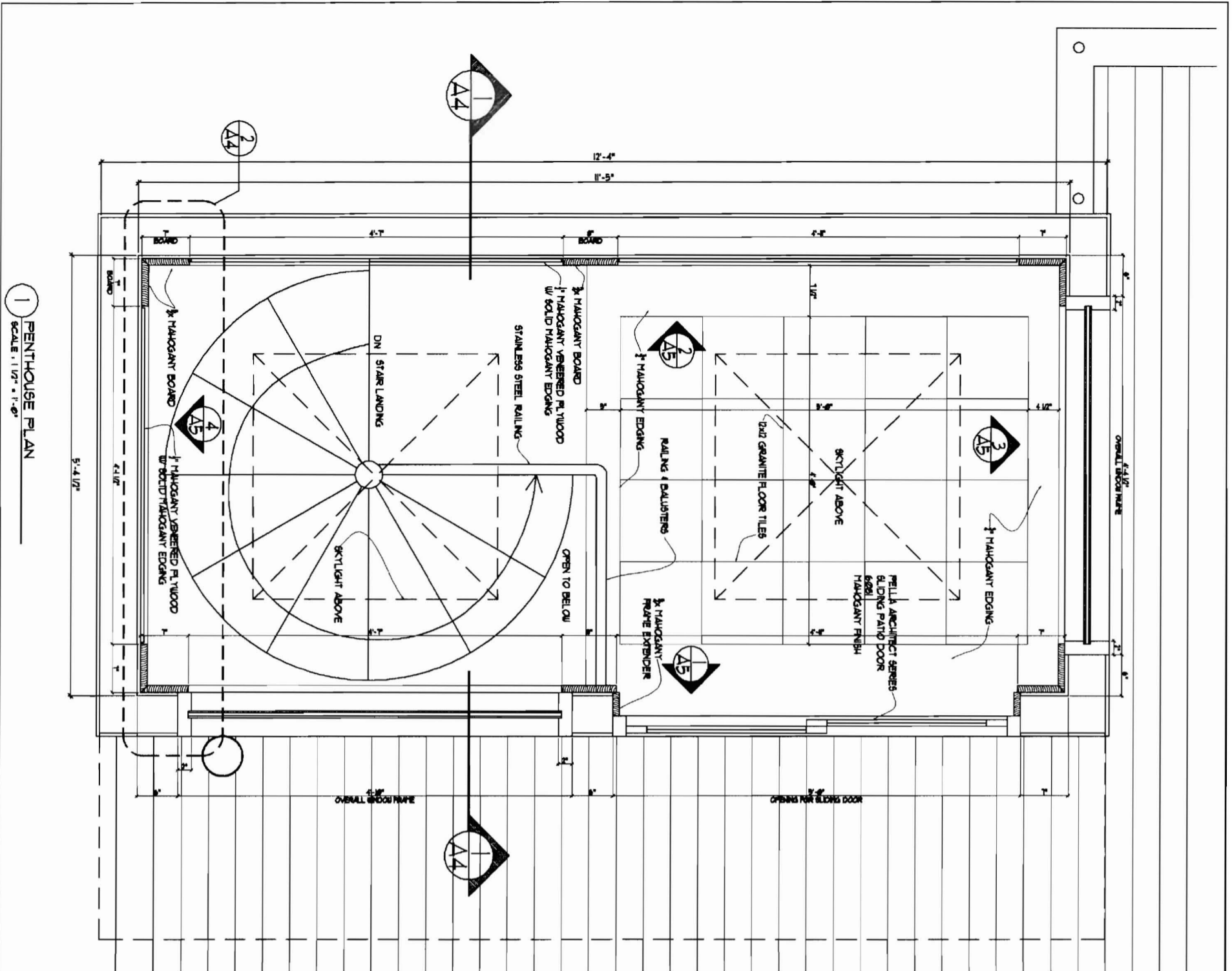
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(207) 772-6022 Fax (207) 772-4056

JENKINS CONDO
MORNING STREET
PORTLAND, ME

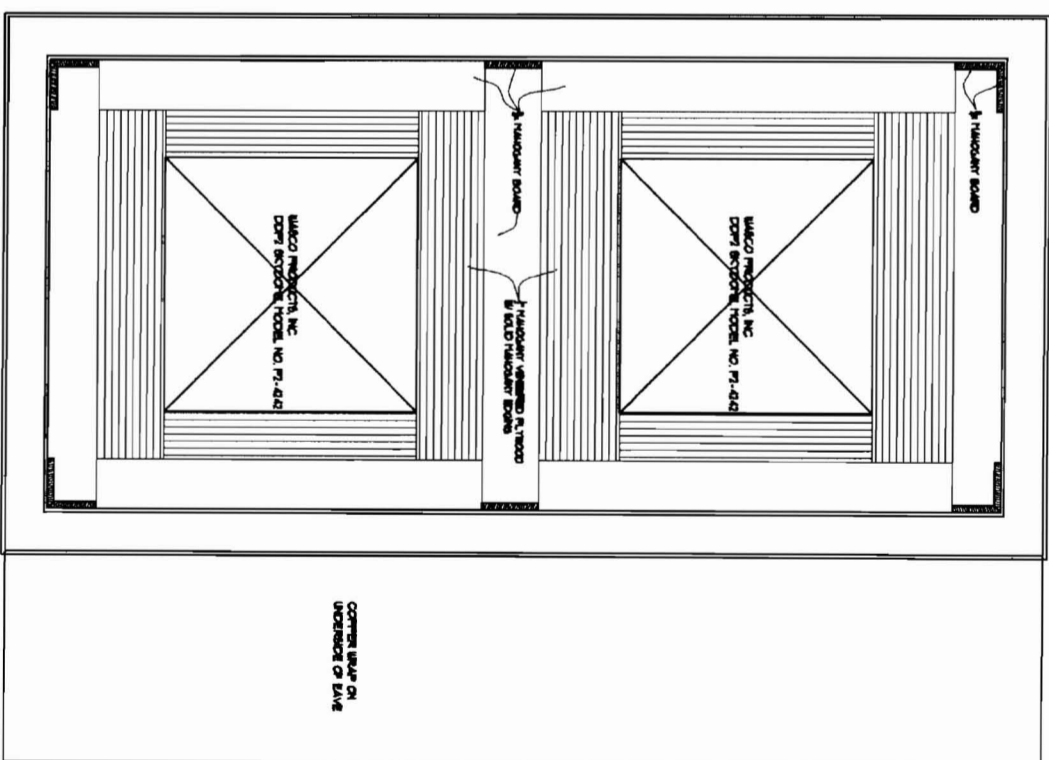
Date: January 25, 2007
Scale: 1/4" = 1'-0"

ROOF DECK

A2



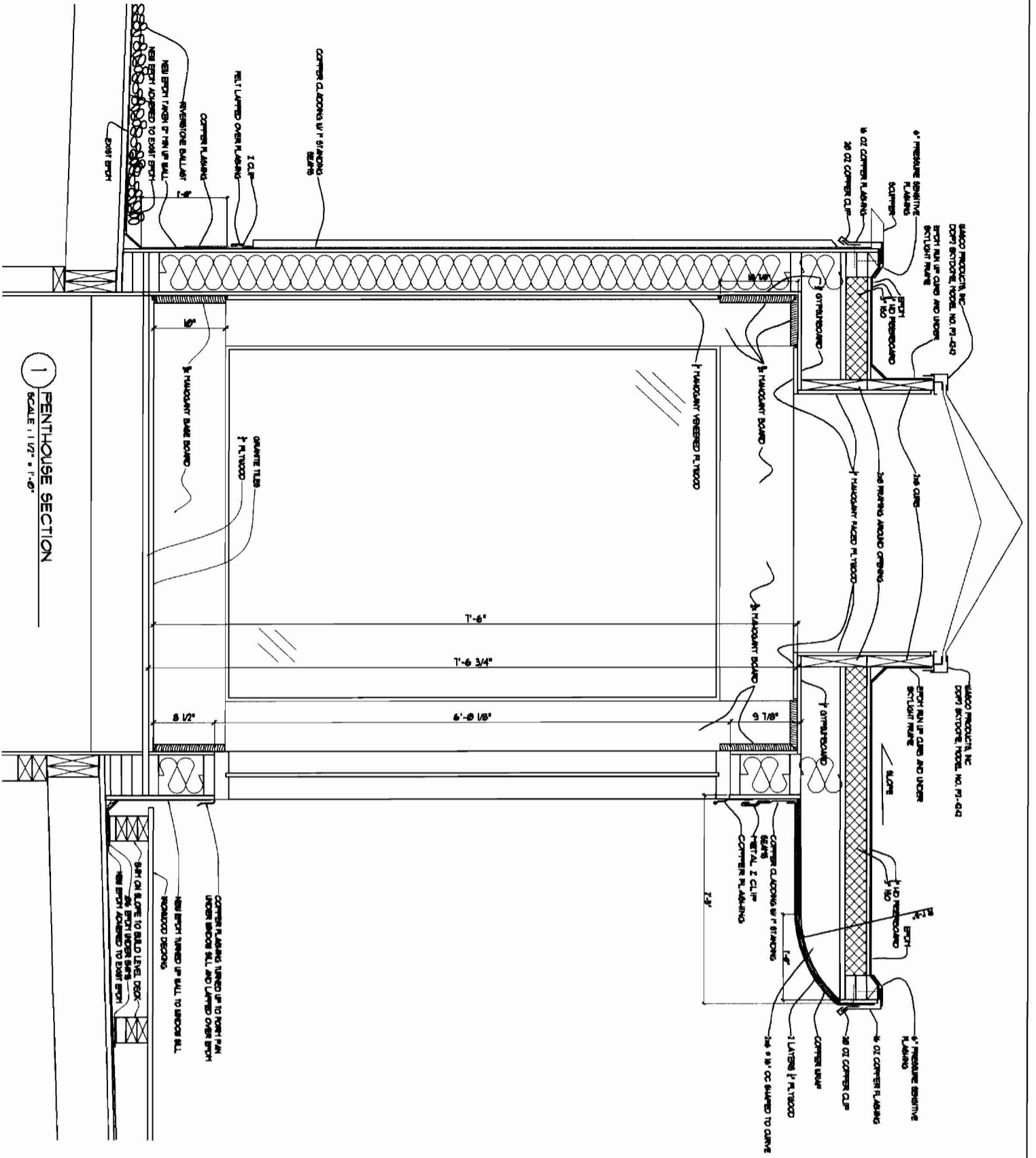
1 PENTHOUSE PLAN
SCALE: 1/2" = 1'-0"



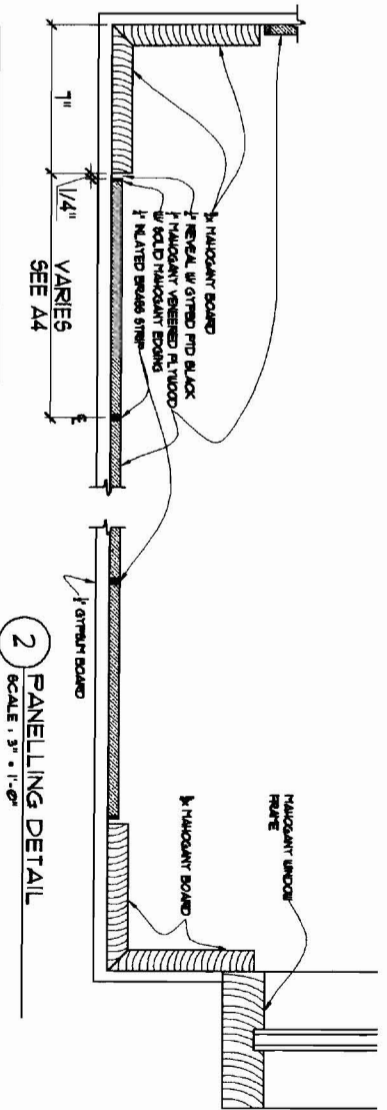
2 PENTHOUSE REFLECTED CEILING PLAN
SCALE: 1" = 1'-0"

NOTE:
LINES SHOWN ON 1/2" MAHOOGANY
VENEERED PLYWOOD INDICATE
DIRECTION OF GRAIN

A3	Date January 25, 2007	Scale 1/2" = 1'-0" 1" = 1'-0"	Revisions:	Project: JENKINS CONDO MORNING STREET PORTLAND, ME	ARCHETYPE, P.A. ARCHITECTS 48 Union Wharf Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056
	ROOF PENTHOUSE PLANS				

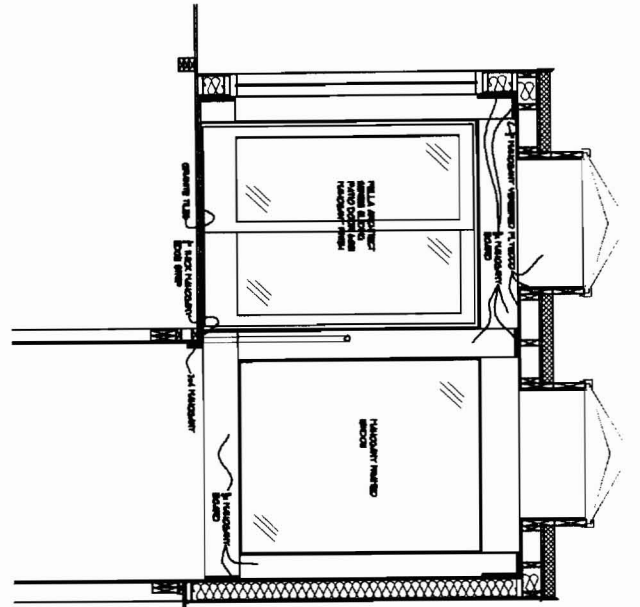


1 PENTHOUSE SECTION
SCALE: 1/2" = 1'-0"

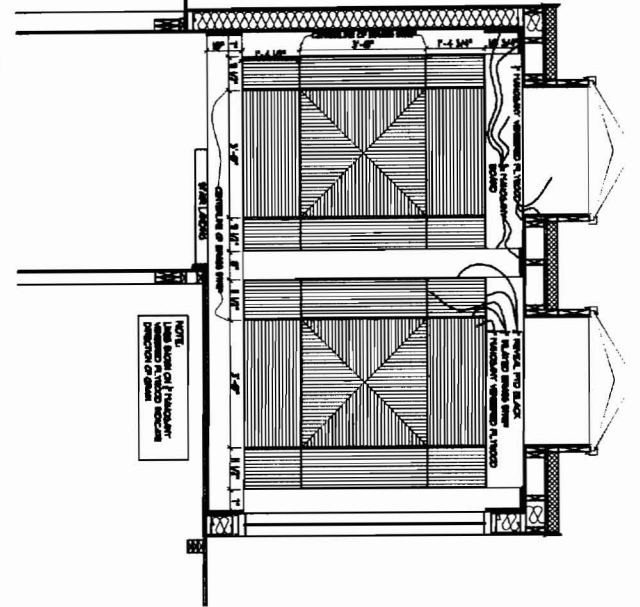


2 PANELLING DETAIL
SCALE: 3/4" = 1'-0"

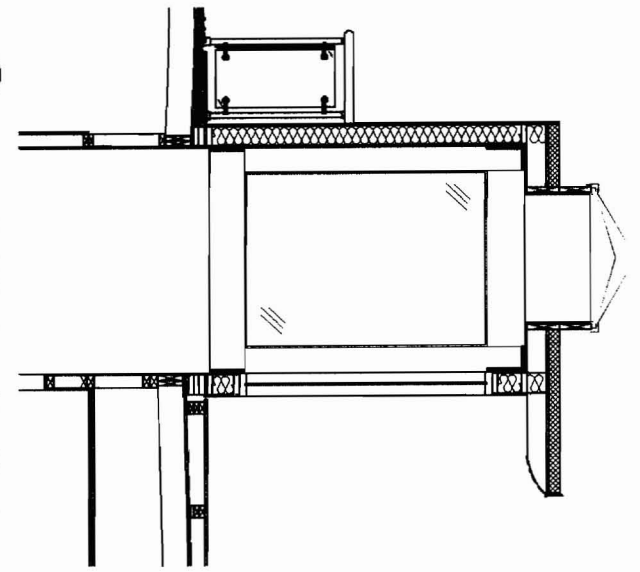
A4	Date January 25, 2007	Scale 1 1/2" = 1'-0" 3" = 1'-0"	Revisions:	Project: JENKINS CONDO MORNING STREET PORTLAND, ME	ARCHETYPE, P.A. ARCHITECTS 48 Union Wharf Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056
	ROOF PENTHOUSE SECTION & DETAILS				



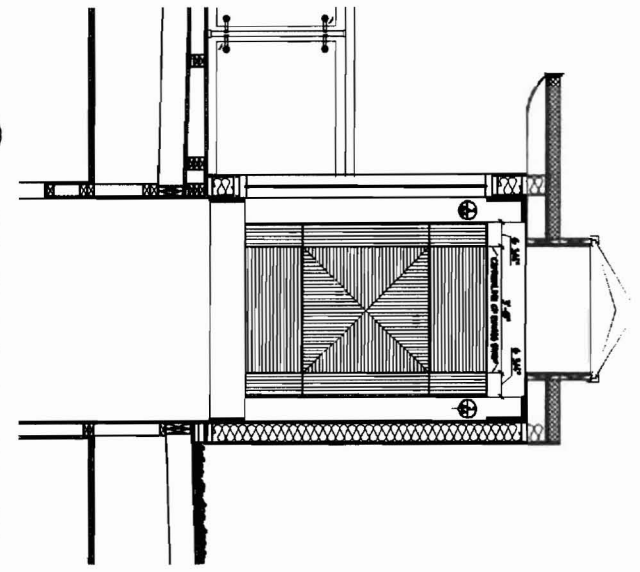
1 PENTHOUSE INTERIOR ELEVATION
SCALE: 1/2" = 1'-0"



2 PENTHOUSE INTERIOR ELEVATION
SCALE: 1/2" = 1'-0"

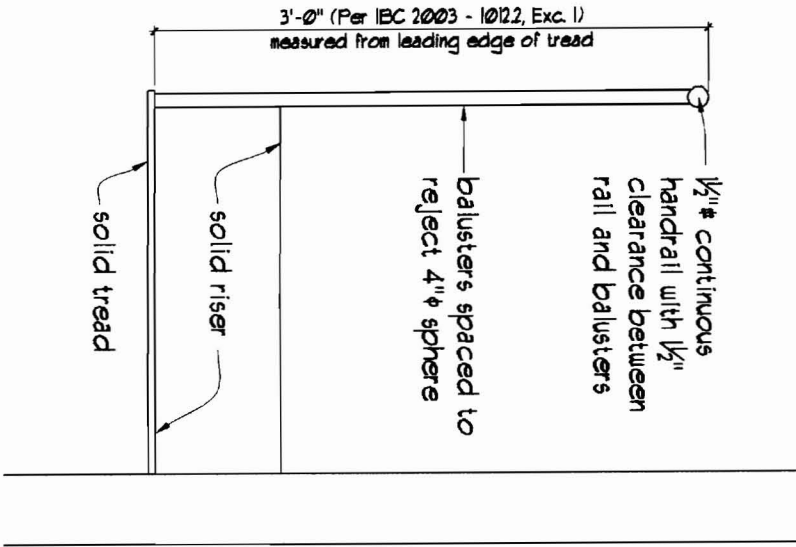
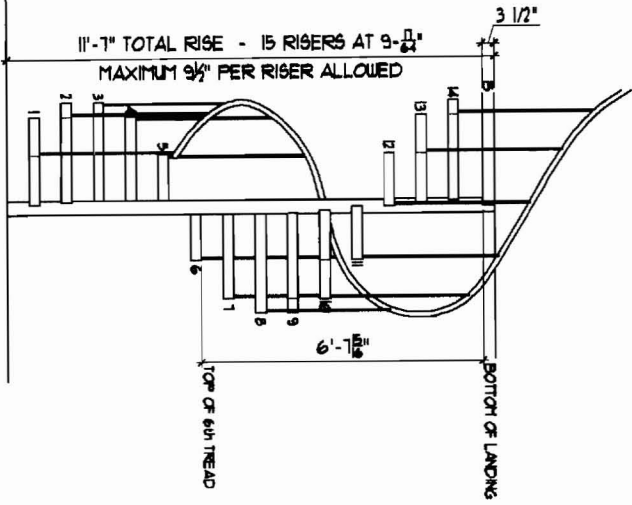
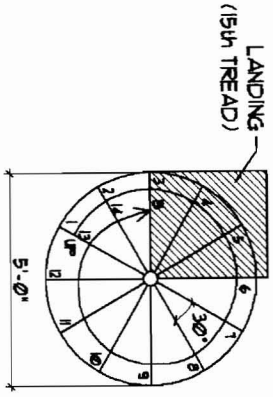


3 PENTHOUSE INTERIOR ELEVATION
SCALE: 1/2" = 1'-0"



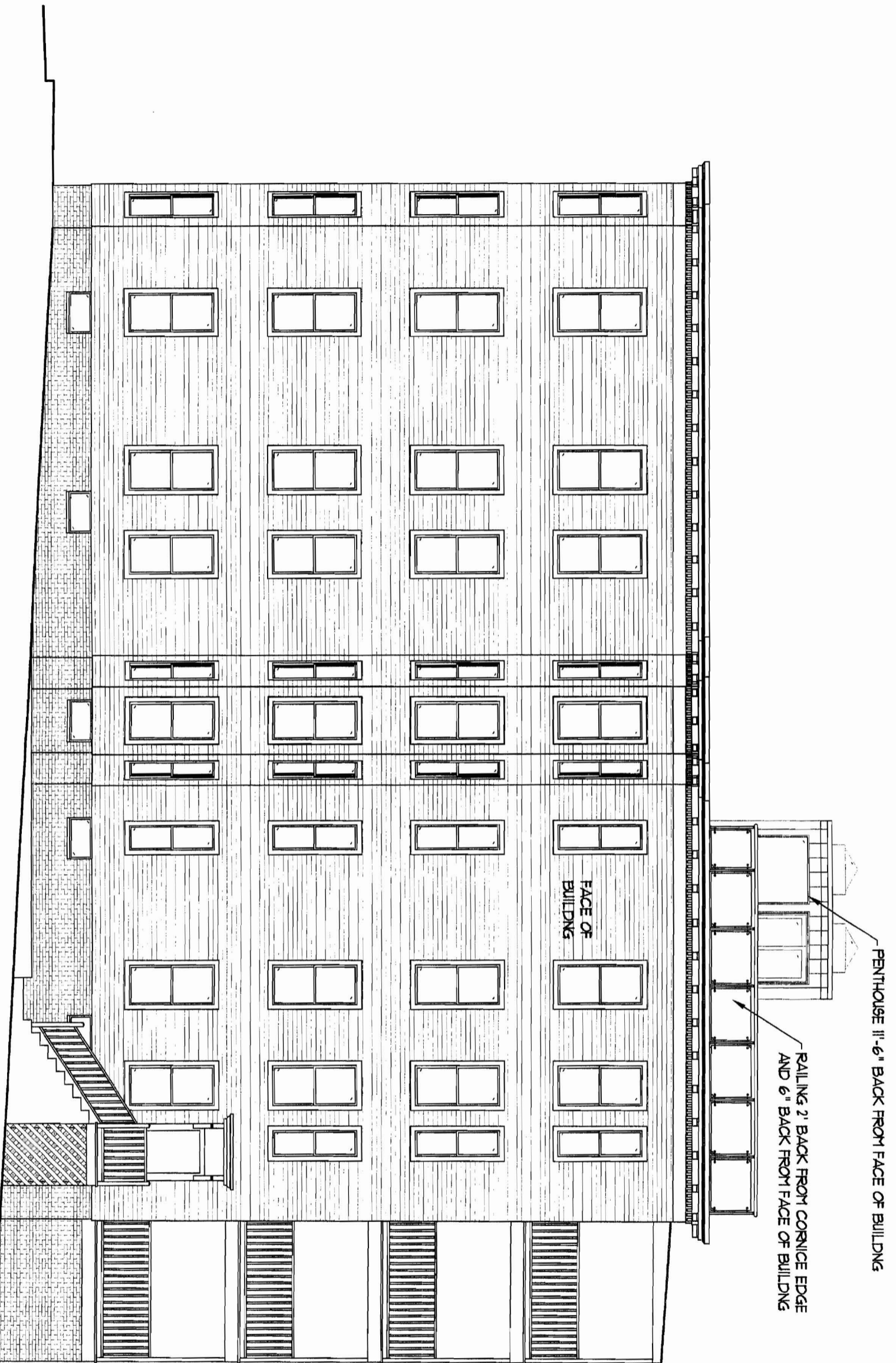
4 PENTHOUSE INTERIOR ELEVATION
SCALE: 1/2" = 1'-0"

5'-0" DIAMETER STAIR
30° TREAD
TOTAL RISE = 11'-7"
15 RISERS @ 9-¹/₂"
-MAX RISER ALLOWED 9-¹/₂"

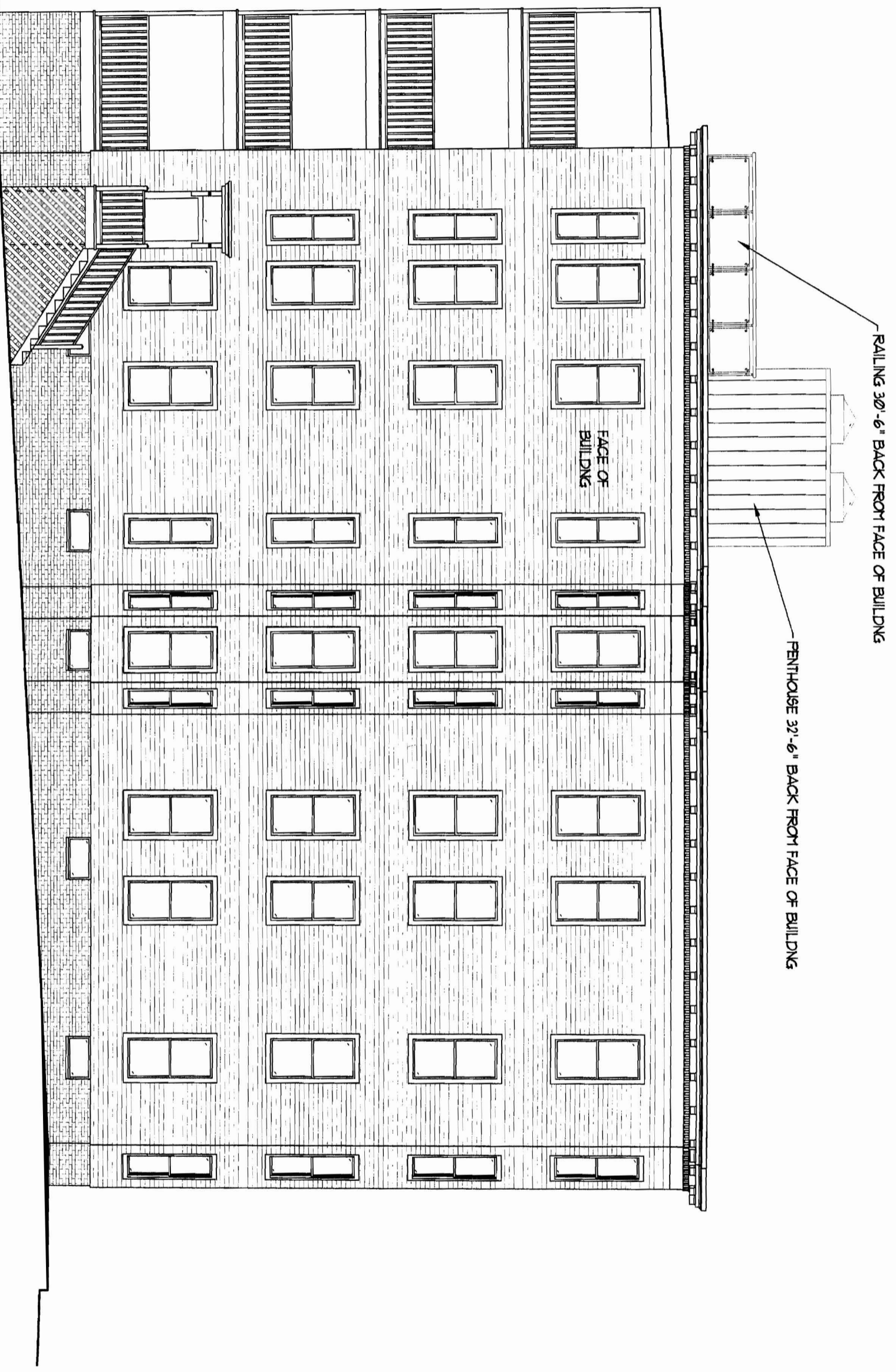


ALLOWABLE WIDTH = 26" REF. IBC 1009.9
The typical 5'-0" diam. stair, with 30 degree treads yields
26" clear.

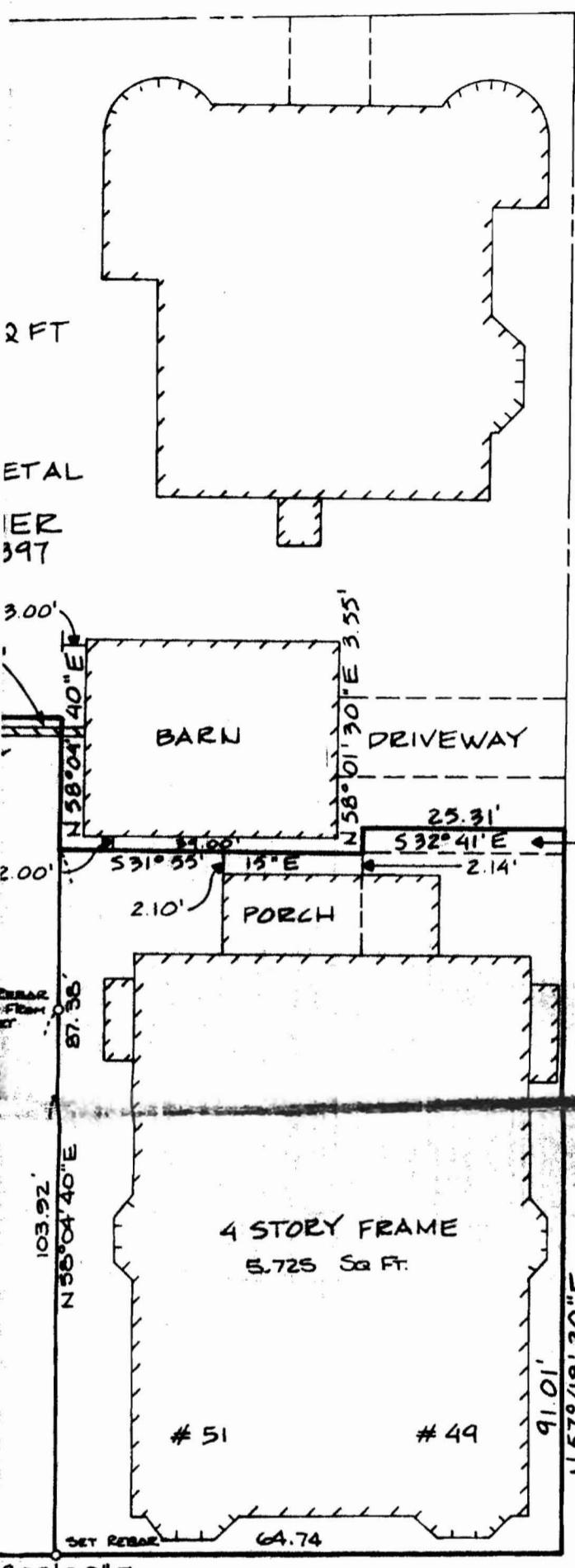
A5	Date January 25, 2007	Scale 1" = 1'-0"	Revisions:	Project: JENKINS CONDO MORNING STREET PORTLAND, ME	ARCHETYPE, P.A. ARCHITECTS 48 Union Wharf Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056
	ROOF PENTHOUSE INTERIOR ELEVATIONS AND STAIR DETAILS				



2 WILSON ST. ELEVATION
SCALE : 1/8" = 1'-0"



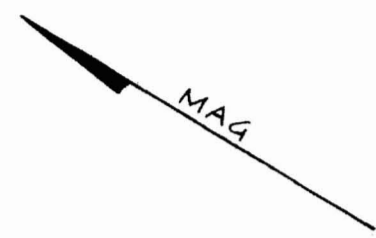
4 SIDE, ELEVATION
SCALE : 1/8" = 1'-0"



2 FT
ETAL
IER
397

3.00'
BARN
DRIVEWAY
25.31'
CONC. WALK
531°55' 15"E
2.10' PORCH
2.14'
532°41'E
2.00'
87.36'
103.92'
N 55°04'40"E
91.01'
N 57°48'20"E
64.74
DET REBAR
51 # 49

WILSON STREET



MSLS PRACTICE REQUIREMENTS
URBAN AREA
ORIGINAL TRAVERSE FIGURE
CLOSURE 1:12,394.39, USING
THEODOLITE AND 100' STEEL TAPE
ORIENTATION BASED ON MAGNETIC
MERIDIAN DETERMINED IN 1899.



Louis T. Maguire

State of Maine, Cumberland ss
Registry of Deeds
Received July 31, 1984
at 3:45 PM and recorded in
Plan Book 1143 Page 143
Attest: James J. Walsh
Register

1 of 7

Plan Book # 143
Page # 61

STREET

DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME
MAR 30 2007
RECEIVED

120 FEET
METERS

DATE	REVISION
PLAN OF PROPERTY IN	
PORTLAND, MAINE	
MADE FOR	
55 MORNING STREET CONDOMINIUM FOR MORNING STREET REALTY ASSOCIATES	
H. I. & E. C. JORDAN — SURVEYORS	
Division of EDWARD C. JORDAN CO., INC.	
DATE	30 APRIL 1984