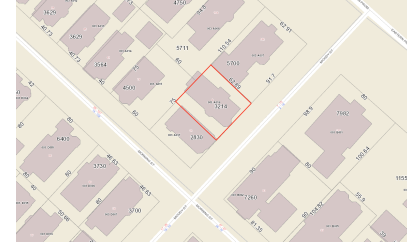


APPLICABLE CODES:	City of Portland, Maine Code of Ordinances	Maine Uniform Building and Energy Code (MUBEC)
1999 NFPA 70 - National Electrical Code	2009 International Residential Code (IRC)	
2009 NFPA 101 - Life Safety Code	2009 International Building Code (IBC)	
The Maine Subsurface Wastewater Disposal Rule	2009 International Energy Conservation Code (IECC)	
2009 NFPA Plumbing Code	2009 Uniform Plumbing Code	
2009 NFPA 1 Fire Code	2007 ASHRAE 62.1 - Ventilation for Acceptable Indoor Air Quality	
	2007 ASHRAE 90.1 - Energy Standard for Buildings except Low-Rise Residential Buildings with	

**PROJECT DESCRIPTION:**

**PROJECT NARRATIVE:**  
 New Construction of a story Two Family Dwelling located at 9 Moody Street on Portland's East End. Project requires alterations to various utilities in the immediate vicinity.  
 The building will be constructed in accordance with IRC 2009 Construction Type V8 requirements. A NFPA 13R Sprinkler system will be installed.  
 The first floor will consist of a parking garage, residential entries, and outdoor space.  
 The second floor will consist of a one-story residential unit.  
 Floors three and four will consist of a two-story residential unit for the building owners with a roof terrace on the roof of the 4th floor.



**CODE REVIEW SUMMARY:**

**PORTLAND ZONING ORDINANCE REVIEW:**

ITEM #	ITEM	CITY OF PORTLAND, MAINE CODE OF ORDINANCES (Chapter 14 Land Use Code)	REQUIREMENT/DESCRIPTION	PROPOSED COMPLIANCE
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**01 ZONING USE STANDARDS:**

ITEM #	ITEM	CITY OF PORTLAND, MAINE CODE OF ORDINANCES (Chapter 14 Land Use Code)	REQUIREMENT/DESCRIPTION	PROPOSED COMPLIANCE
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**02 DIMENSIONAL REQUIREMENTS:**

ITEM #	ITEM	CITY OF PORTLAND, MAINE CODE OF ORDINANCES (Chapter 14 Land Use Code)	REQUIREMENT/DESCRIPTION	PROPOSED COMPLIANCE
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**03 OTHER NOTABLE REQUIREMENTS:**

ITEM #	ITEM	CITY OF PORTLAND, MAINE CODE OF ORDINANCES (Chapter 14 Land Use Code)	REQUIREMENT/DESCRIPTION	PROPOSED COMPLIANCE
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**LIFE SAFETY CODE REVIEW BY SECTION: IRC and NFPA 101**

ITEM #	ITEM	MUBEC / 2009 IRC SECTION	REQUIREMENT/CONDITION	PROPOSED COMPLIANCE
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**1.0 USE AND OCCUPANCY:**

ITEM #	ITEM	MUBEC / 2009 IRC SECTION	REQUIREMENT/CONDITION	PROPOSED COMPLIANCE
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**2.0 CONSTRUCTION TYPE & GENERAL BUILDING HEIGHT AND AREA LIMITATIONS:**

ITEM #	ITEM	MUBEC / 2009 IRC SECTION	REQUIREMENT/CONDITION	PROPOSED COMPLIANCE
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3.0 BUILDING SEPARATION & EXPOSURE PROTECTION	602. Type V8	Exterior Walls: Load Bearing & Non-load Bearing	Exterior Openings	Separation of Occupancies	Dwelling Unit Separation
		A/R/S-2: Distance X x 30 ft = 1 Hour A/R/S-2: Distance 3.5 X x 10ft = 1 Hour A/R/S-2: Distance 10 X x 30 ft = 0 Hour	Table 705.8 Distance 0 to less than 3 = Not permitted. Distance 3 to less than 5 = 25% Sprinklered (1) Distance 5 to less than 10 = No Limit Distance 10 to less than 15 = No Limit Distance 15 to less than 20 = No Limit Distance 20 to less than 25 = No Limit Distance 25 to less than 30 = No Limit Distance 30 to less than 35 = No Limit	Table 508.4 1 hour separation required between 5-2 and 4	420.2 / 709.3 / 420.3 / 712.3 Separation Walls: no less than 1 hr Horizontal: no less than 1 hr

**4.0 FIRE RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS**

Primary Structural Frames	Table 601	0 hr	A.2.1.2	NFPA 5000 Table not adopted by Maine State Fire Marshal Office, there is no construction type table within NFPA 101 for type "Single or Two Family Dwelling" use
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**5.0 FIRE AND SMOKE PROTECTION FEATURES**

Automatic Sprinkler System	903 / 903.3	Required in R use, may be NFPA 13R for R use up to and including 4 stories	40.3.2	NFPA 13R Sprinkler System Provided. NFPA 13R is to be installed in lieu of a NFPA13D system due to allowance of a story increase with V8 construction
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**6.0 MEANS OF EGRESS**

Occupant Load	Table 1004.1.1	1004.1.1	7.3.1.2	See Occupancy Chart
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**7.0 SPECIAL OCCUPANCY REQUIREMENTS**

Stairways	Table 1009.1	44" Min (36" min. for <50 Occupants)	7.2.2.2.1.2	44" Min (36" min. for <50 Occupants)
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9.0 INTERIOR ENVIRONMENT REQUIREMENTS	1203.1	Ventilation	Required to follow International Mechanical Code (not adopted by the State of Maine) Refer to ASHRAE 62.1:2007	Project to comply with ASHRAE 62.1:2007
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**10.0 EMERGENCY SIGNAGE**

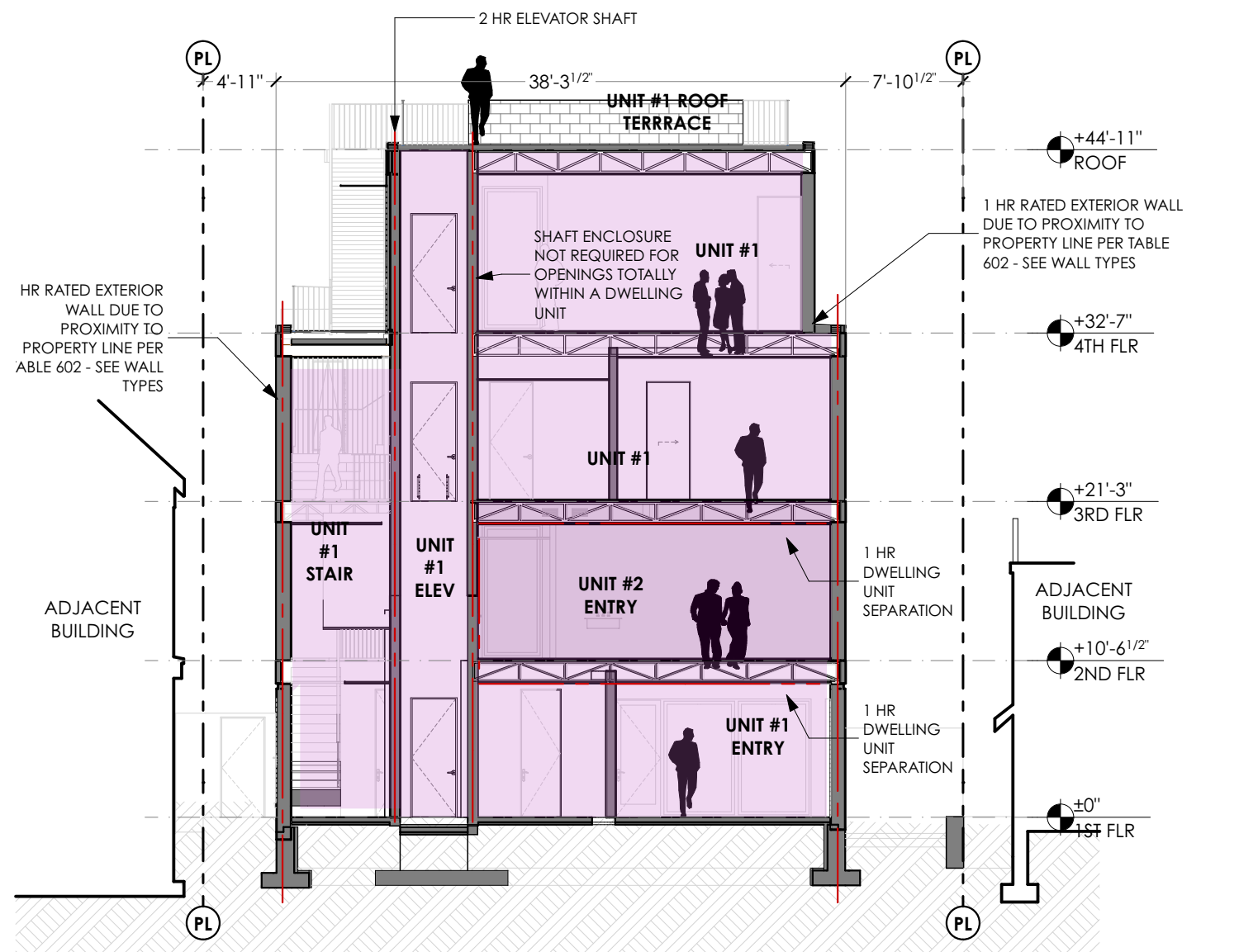
Exit Signs	1011.1	Exit signs not required in rooms with only one required means of egress	1011.1	Exit signs not required with two-family dwellings
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**INTERNETION ENERGY CONSERVATION CODE (Code Standard Adopted by the State of Maine)**

Climate Zone	201 - IECC, 6A	Residential Buildings	402.2(1) IECC	Celling R-Factor = R-49 Wood Frame Wall= R-20 or R-15 + R-5 Mass Wall= R-15/R-19 Floor R-3 Basement Wall = R-15/R-19 Slab and Depth = R-10 and 4ft Crawl Space = R-10/R-13 Min U-value for glazing = 0.35	See wall types and floor types with R-values listed or details, R-3 use of building adheres to these residential requirements
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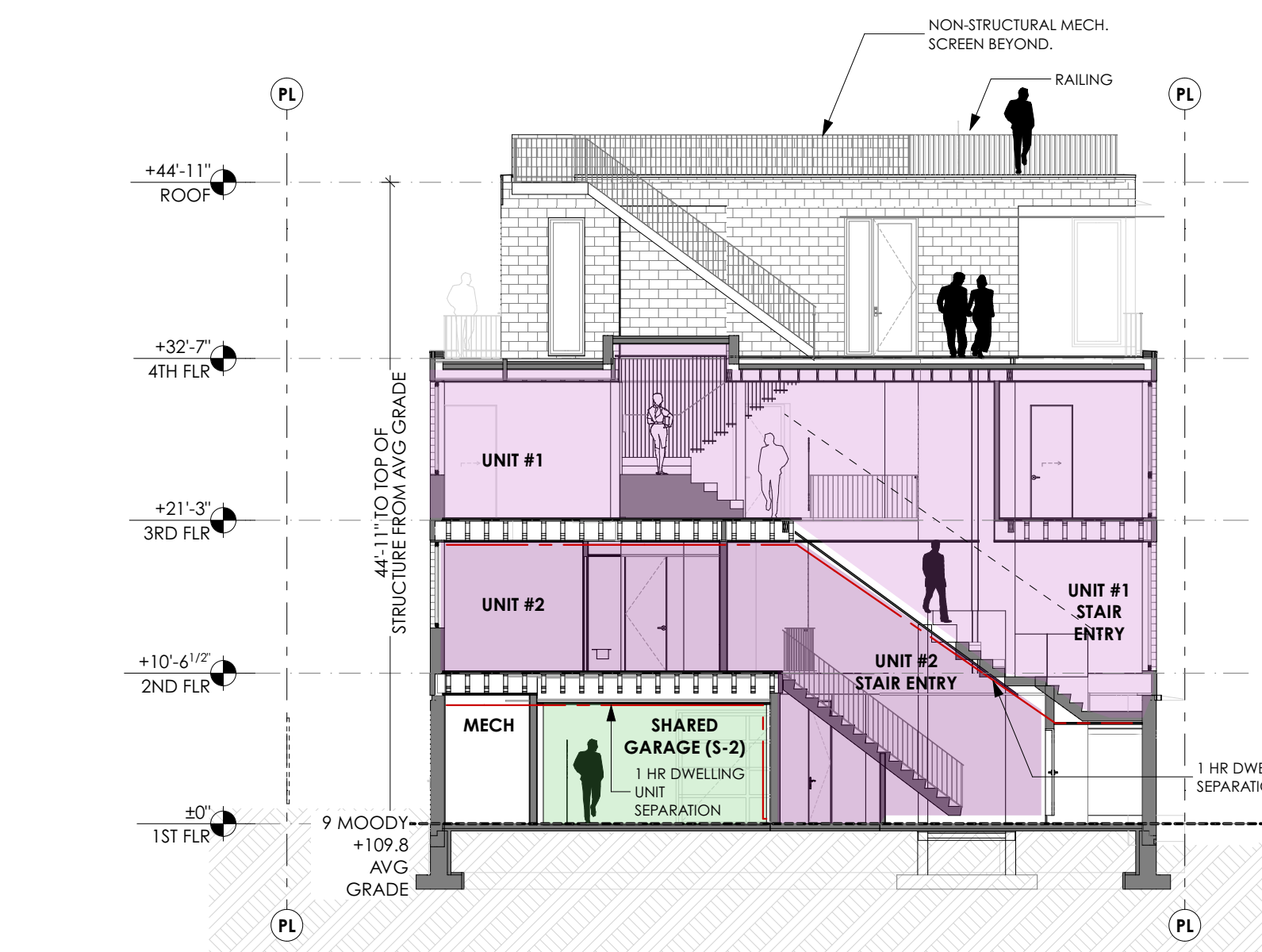
**ACCESSIBILITY CODE REVIEW BY SECTION: 2010 ADA Standards by the US Department of Justice (Code Standard Adopted by the State of Maine)**

Accessibility Compliance Summary	File #	Not required with two-family dwellings
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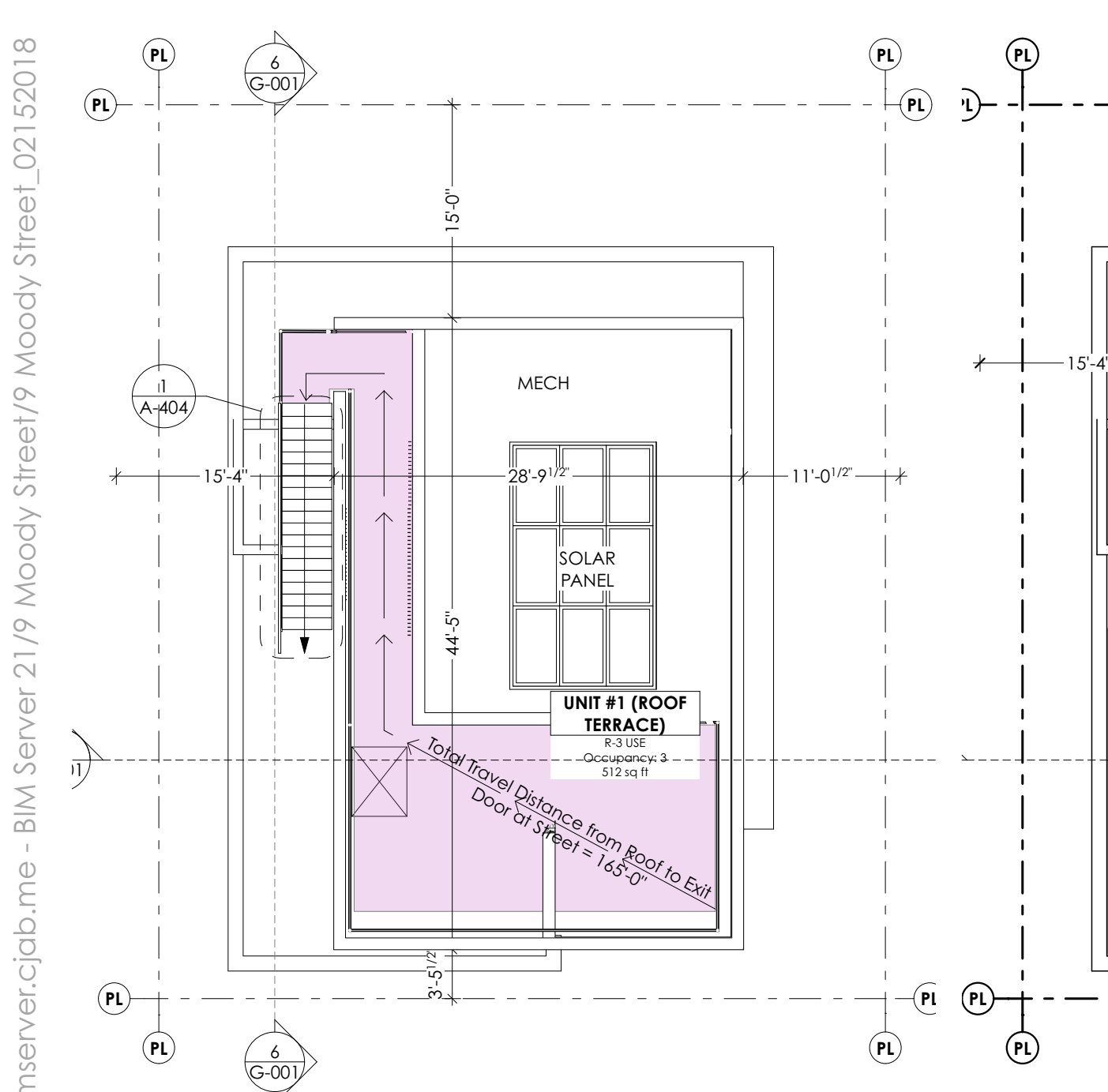


**7 LIFE SAFETY BUILDING SECTION TRANSVERSE**  
 SCALE: 3/32" = 1'-0"

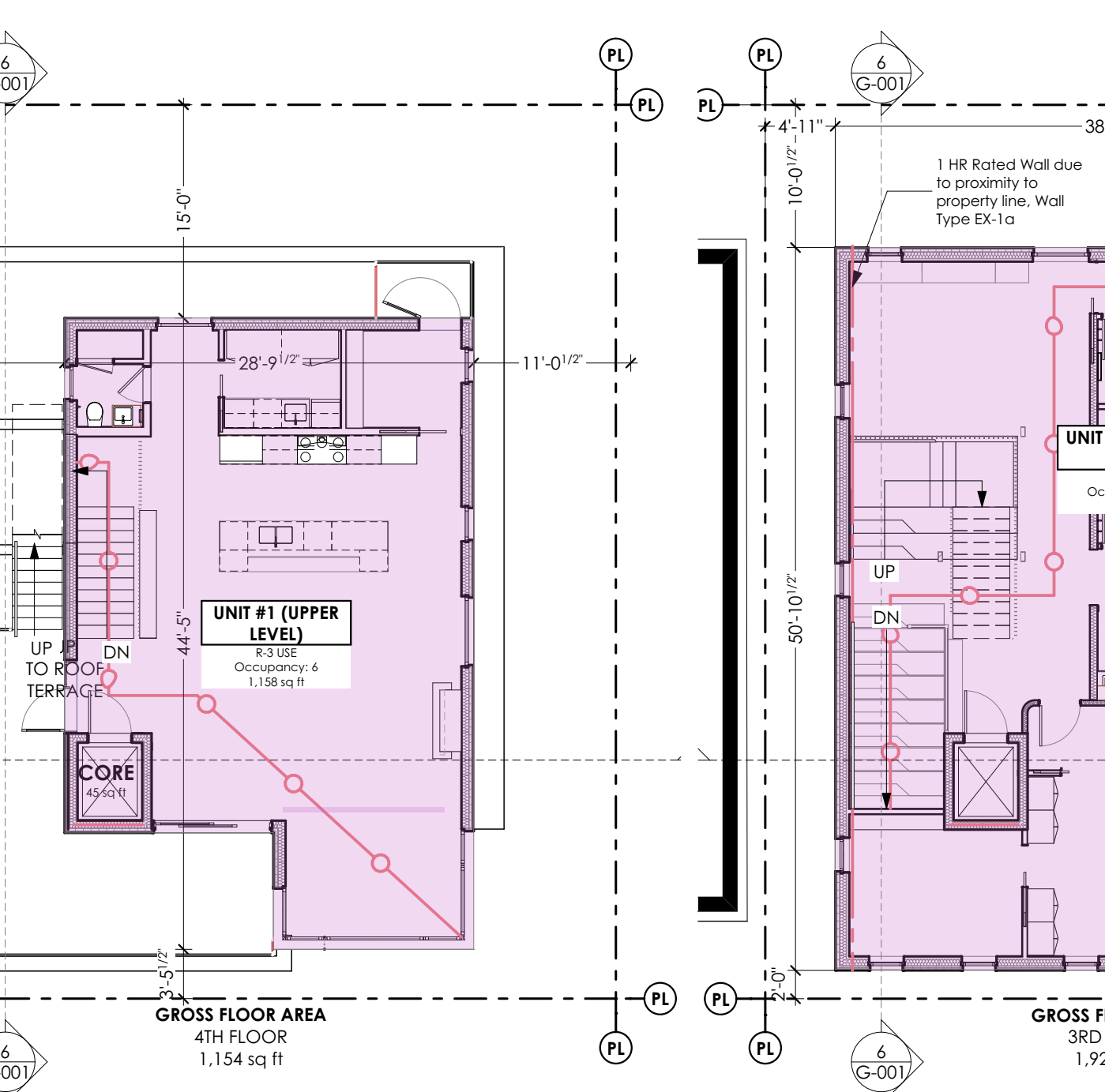
QUICK BUILDING STATS	Construction Type:	V-B (IBC), V-000 (NFPA)
Occupancy Types:	Residential R-3 (Primary) and S-2 Low Hazard Storage	
Buildign Height:	44'-11" (from average grade) to top of Roof Deck	
Sprinkler System:	NFPA 13R	
Mixed-Use:	No	
Required Separation:	Yes between dwelling units and use. Provided	
Fire Alarm:	None, Interconnected smoke detectors	
1st Floor:	1,784sf	
2nd Floor:	1,910sf	
3rd Floor:	1,910sf	
4th Floor:	1,154sf	
Building Area:	<b>6,758sf total gross</b>	



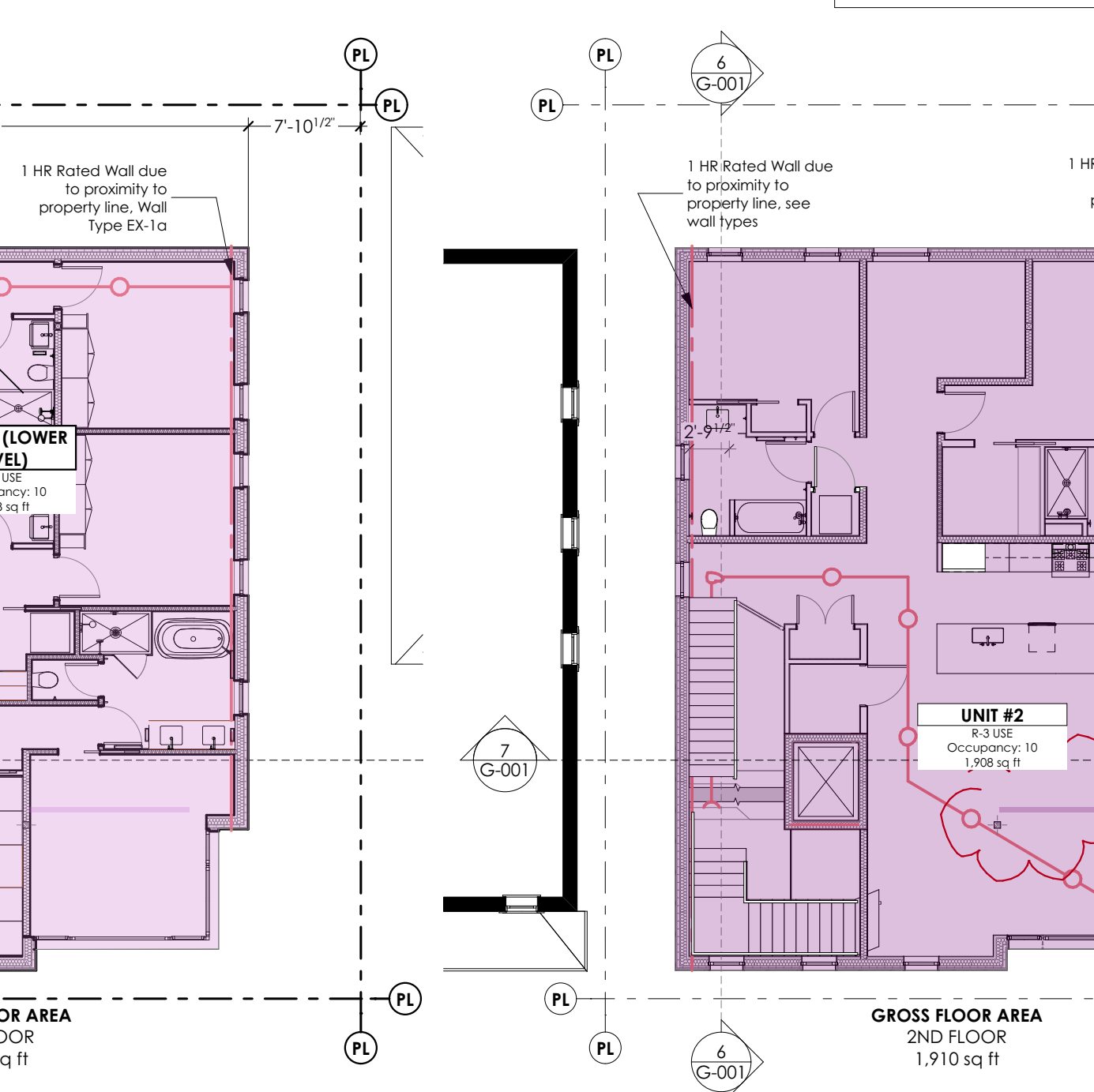
**6 LIFE SAFETY BUILDING SECTION LONGITUDINAL**  
 SCALE: 3/32" = 1'-0"



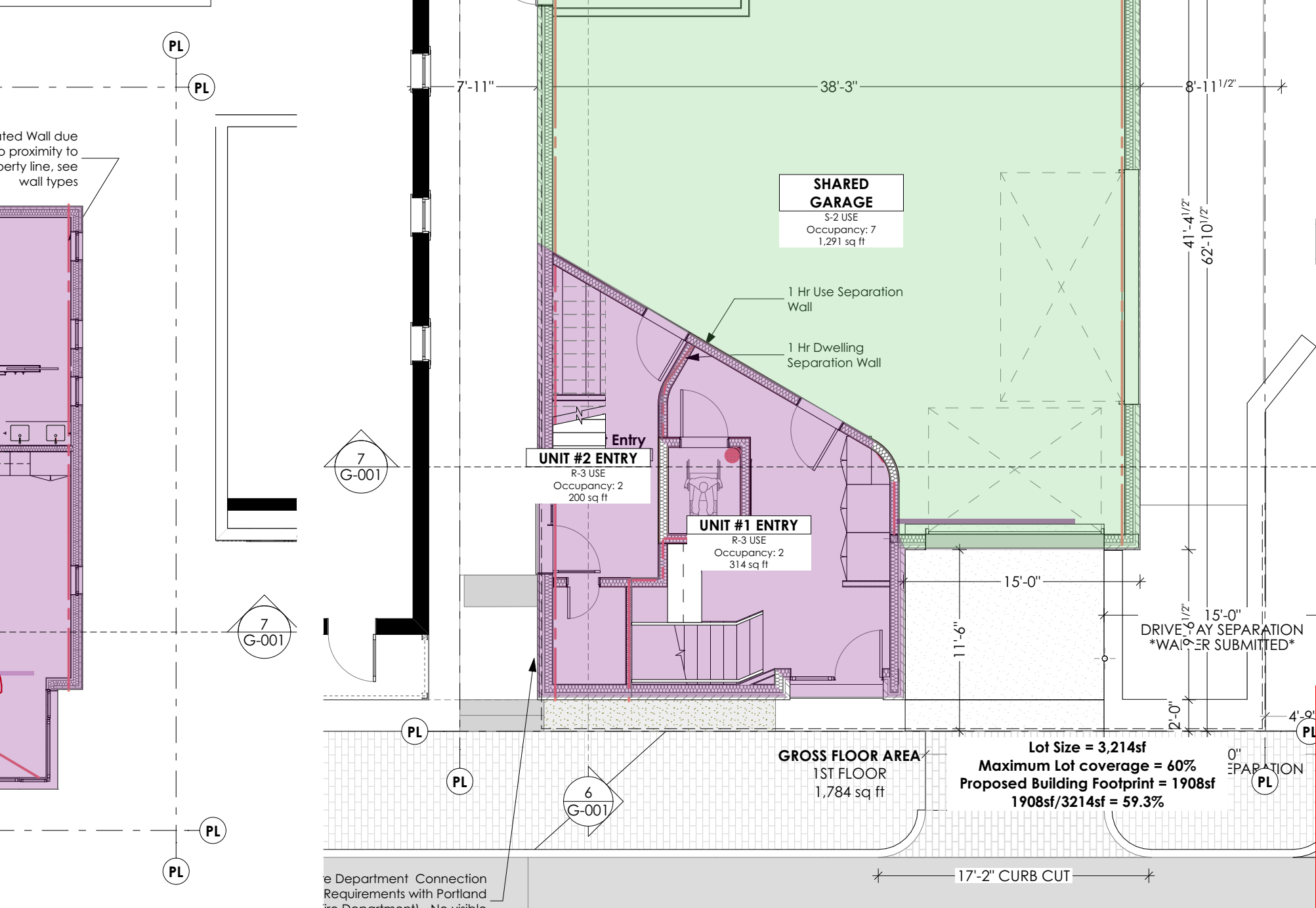
**5 LIFE SAFETY - ROOF**  
 SCALE: 3/32" = 1'-0"



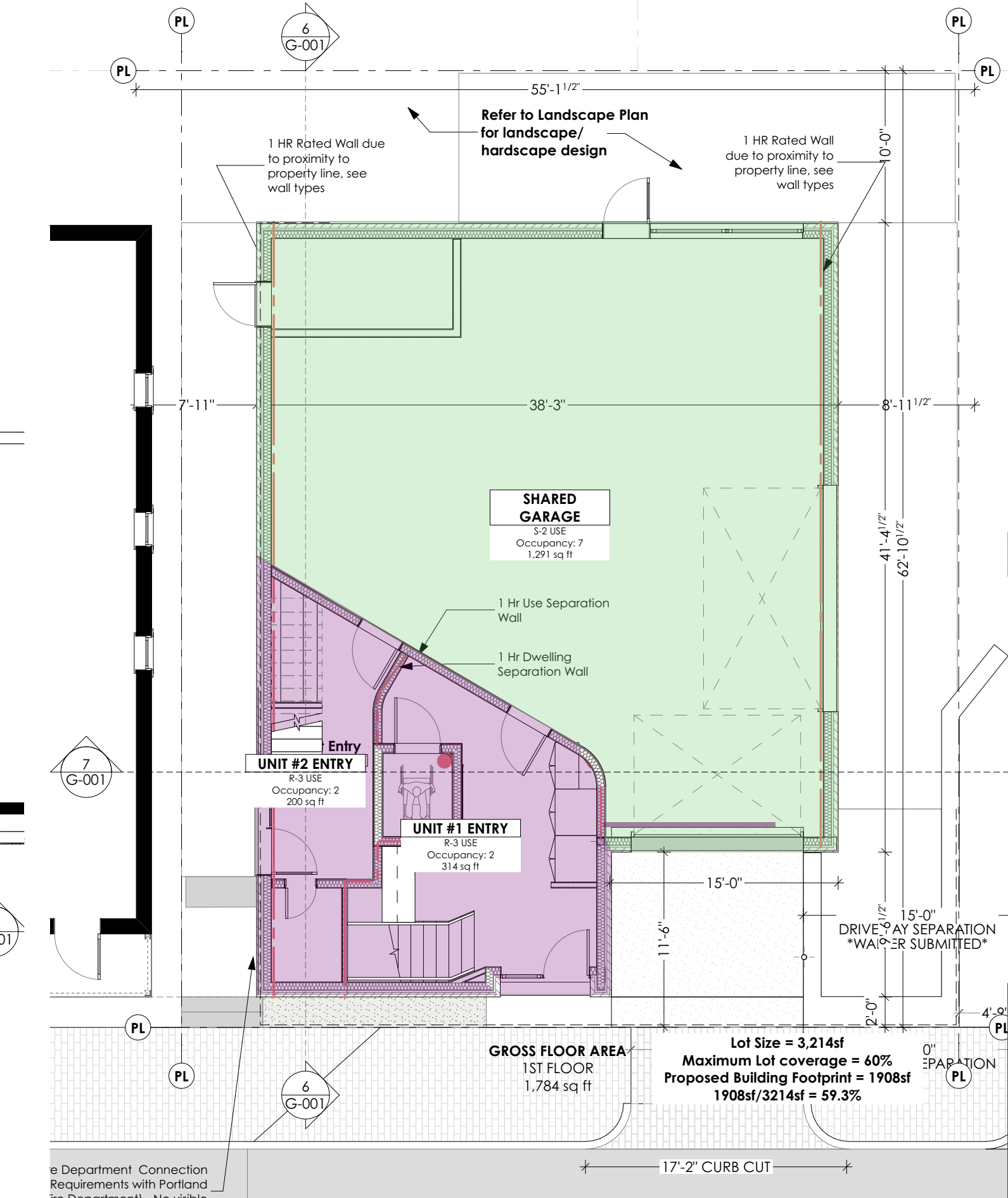
**4 LIFE SAFETY - 4TH FLR**  
 SCALE: 3/32" = 1'-0"



**3 LIFE SAFETY - 3RD FLR**  
 SCALE: 3/32" = 1'-0"



**2 LIFE SAFETY - 2ND FLOOR**  
 SCALE: 3/32" = 1'-0"



**1 LIFE SAFETY - 1ST FLOOR AND LOT COVERAGE**  
 SCALE: 1/8" = 1'-0"

BIM Server: bimservers.cjab.me - BIM Server: 21/9 Moody Street/9 Moody Street\_02152018

**CALEB JOHNSON**  
 STUDIO

110 EXCHANGE ST. 2ND FLOOR, PORTLAND, ME 04101  
 1-207-263-9777

**Brady Residence**  
 Jim and Julia Brady  
 9 Moody Street Portland ME 04101

**ARCHITECT:** CAJ  
**DATE:** 12/01/2017  
**ISSUE:** 02  
**DESCRIPTION:** CITY REVIEW COMMENTS  
**REVISIONS:** 02

**CONSULTANT:**

**ARCHITECT:** CAJ  
**DATE:** 12/01/2017  
**ISSUE:** 02  
**DESCRIPTION:** CITY REVIEW COMMENTS  
**REVISIONS:** 02

**PROJECT STATUS:** 90% CD'S

**PRELIMINARY**  
**NOT FOR CONSTRUCTION**

**G-001**

CODE ANALYSIS & LIFE SAFETY