

FLOOR PLAN GENERAL NOTES

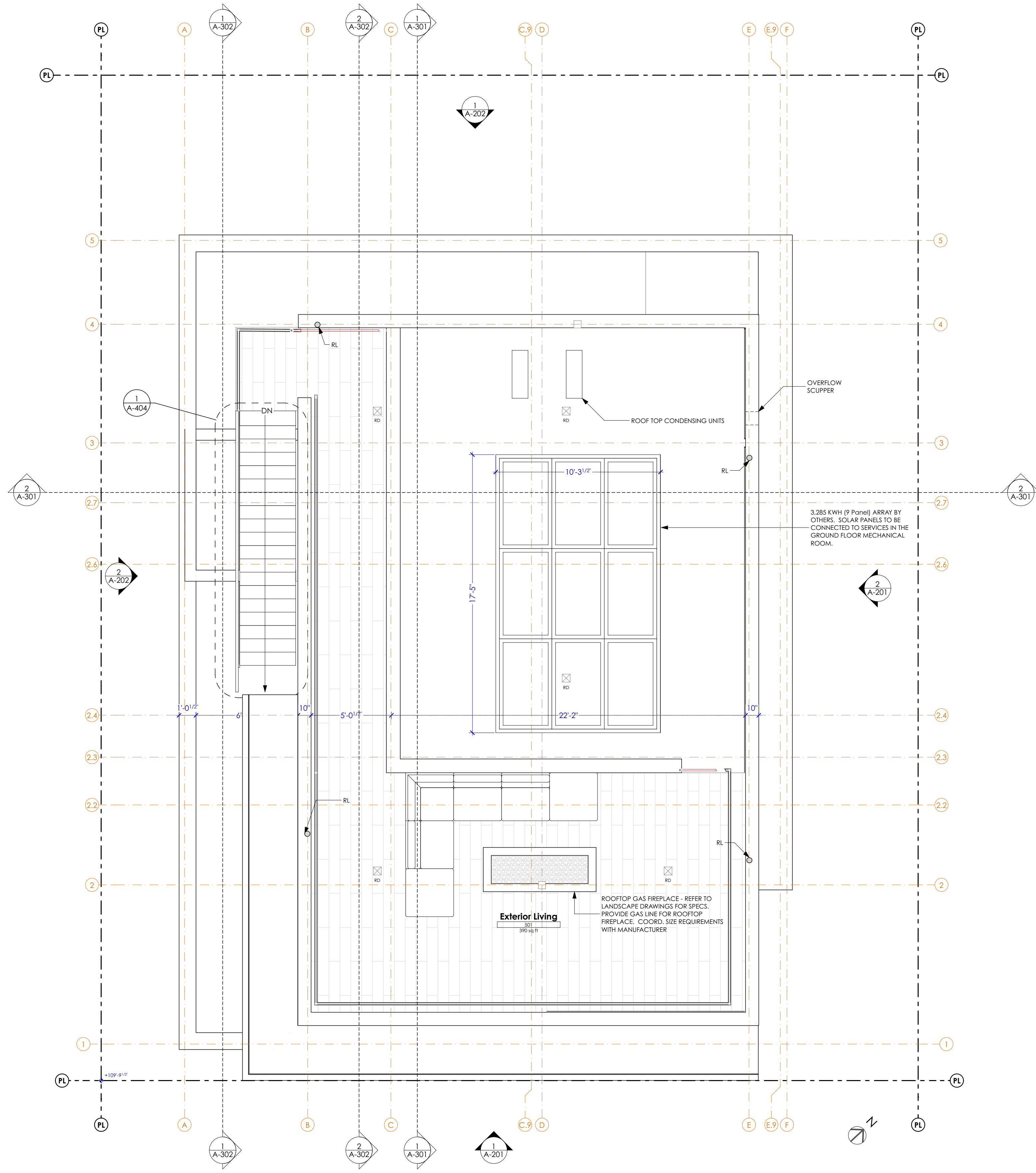
1. These Drawings constitute a design progress set. Additional information, dimensions and specifications will be provided by the Architect and/or Owner at a later date or as requested with estimate for clarification.
2. Dimensions on these 1/4" floor plans are from face of stud to face of stud or to grid. Wall composition materials are shown on larger scale floor plans, refer to wall types. All walls to be Wall Type A1 U.N.O on plans.
3. Project Specifications. Refer to outline specifications on sheets G-004 and G-005, where discrepancies exist between specifications and Drawings, consult with Architect for clarification before providing bids.
4. MEP: Mechanical, Electrical and Plumbing work is to be design build by the Contractor. The Architect and Mechanical Engineer have provided design-build performance specifications and has made basic assumptions for size and space requirements and locations for incoming service. Contractor is to review and bring to the Architect's attention if additional information is required.

FLOOR PLAN GENERAL NOTES CONT.

5. Elevator: Elevator is a limited access type elevator. Basis of Design is a Savaria Eclipse Model 40x54 Type 1L. Refer to Elevator detail sheet A-405 and specifications for more information.
6. Automatic Sprinkler System: New NFPA 13R sprinkler system is design-build by the sprinkler subcontractor. Fire department connection (only if required by the Portland Fire Department) to be along West face of building. See RCP and specifications for additional notes regarding design intent. Contractor is to provide shop drawings to Architect for Review before installation.
7. Smoke Detection: Refer to Life Safety sheets and RCPs for locations.
8. Schedules: For more information regarding wall components, doors, windows, finishes, etc. Refer to Schedules in the A-600 series with corresponding tags.
9. Storm Water and Drainage: Provide Sound Attenuating Pipe Wrap or Cast Iron pipes for all Rain Leaders. Overflow scuppers to be 1" higher than roof where indicated on

FLOOR PLAN GENERAL NOTES CONT.

10. Showers: All showers are to receive glass surrounds, refer to interior elevations and specifications.
11. Closets: All closets to receive 1" diameter wood rod with tung oil and finish wood shelves unless noted otherwise.



1 ROOF PLAN
SCALE: 1/4" = 1'-0"



CHANGES THIS ISSUE

ID	DESCRIPTION

SUBMISSIONS:

ISSUE	DATE	DESCRIPTION
001	12.01.2017	CITY REVIEW
002	03.07.2018	REVISOR'S CITY REVIEW COMMENTS

CONSULTANT:

ARCHITECT
DRAFTSPERSON:
PJ/J/J/04
3/7/18
PROJECT STATUS:
90% CD'S

Brady Residence
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PRELIMINARY
NOT FOR CONSTRUCTION