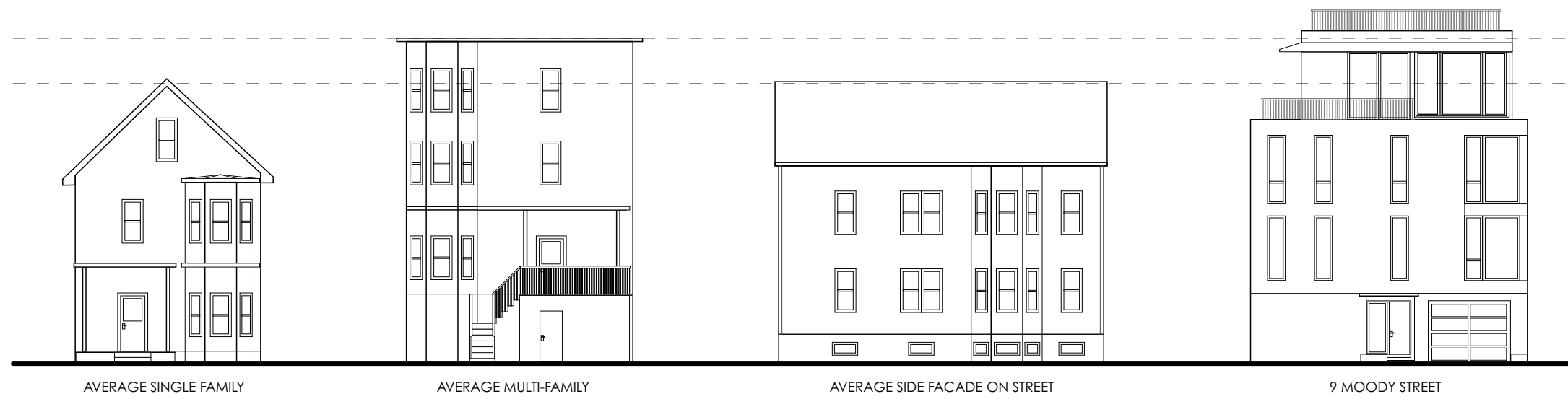


**9 Moody Design Principles and Standards Checklist**

Yes	No	NA	Principles	Content
X			<b>Principle A</b>	<b>Overall Context</b>
				<i>A building design shall contribute to and be compatible with the predominant character-defining architectural features of the neighborhood.</i>
X			Standard A-1	Scale and Form
X			Standard A-2	Composition of Principal Facades
X			Standard S-3	Relationship to the Street
X			<b>Principle B</b>	<b>Massing</b>
				<i>The massing of the building reflects and reinforces the traditional building character of the neighborhood through a well composed form, shape and volume.</i>
	X		Standard B-1	Massing
X			Standard B-2	Roof Forms
X			Standard B-3	Main Roofs and Subsidiary Roofs
	X		Standard B-4	Roof Pitch
X			Standard B-5	Facade Articulation
X			Standard B-6	Garages
X			<b>Principle C</b>	<b>Orientation to the Street</b>
				<i>The building's facade shall reinforce a sense of the public realm of the sidewalk while providing a sense of transition into the private realm of the home.</i>
X			Standard C-1	Entrances
	X		Standard C-2	Visual Privacy
X			Standard C-3	Transition Spaces
X			<b>Principle D</b>	<b>Proportion and Scale</b>
				<i>Building proportions must be harmonious and individual building elements shall be human scaled.</i>
X			Standard D-1	Windows
	X		Standard D-2	Fenestration
X			Standard D-3	Porches
X			<b>Principle E</b>	<b>Balance</b>
				<i>The building's facade elements must create a sense of balance by employing local or overall symmetry and by appropriate alignment of building forms, features and elements.</i>
X			Standard E-1	Window and Door Height
X			Standard E-2	Window and Door Alignment
	X		Standard E-3	Symmetry
X			<b>Principle F</b>	<b>Articulation</b>
				<i>The design of the building is articulated to create a visually interesting and well composed residential facade.</i>
X			Standard F-1	Articulation
X			Standard F-3	Visual Cohesion
X			Standard F-4	Delineation between Floors
X			Standard F-5	Porches, etc.
X			Standard F-6	Main Entries
	X		Standard F-8	Articulation
X			<b>Principle G</b>	<b>Materials</b>
				<i>Building facades shall utilize appropriate building materials that are harmonious with the character defining materials and architectural features of the neighborhood.</i>
X			Standard G-1	Materials
X			Standard G-2	Material and Facade Design
	X		Standard G-3	Chimneys
	X		Standard G-4	Window Types
	X		Standard G-5	Patios and Plazas



**PRINCIPLE A: OVERALL CONTEXT**

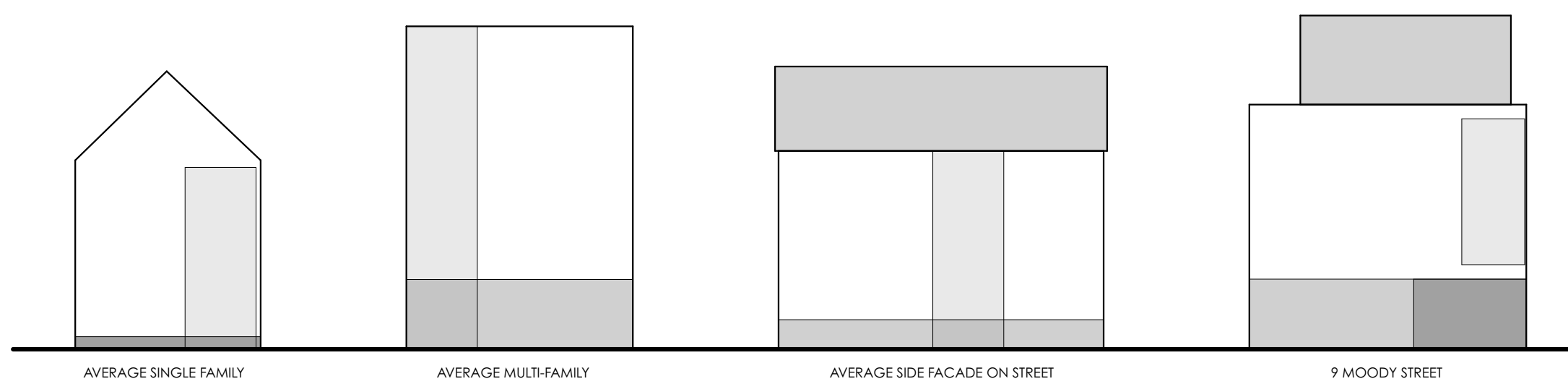
The proposed project is shown here in the context of three average types of facades from a two block area. There are several buildings nearby that are 4 stories with a flat roof and rectangular or mostly rectangular form. To soften the scale of the building on the street the 4th story of the proposed structure is pushed back from the primary exterior facade and the fourth floor is designed to feel light.



**PRINCIPLE A: TOP / MIDDLE / BOTTOM**

The proportions of the facades are reflective of typical floor-to-floor heights in the neighborhood which are between 9'-0" - 9'-6" clear. The concept of the materials is to have a three part facade that is responsive to needs of durability and relationship to the neighborhood, with a "base, middle and top". The lower level is full brick, the middle two levels are horizontal cedar shiplap boards. The boards' height is 6" tall, a traditional exposure height of historic siding and which can be found throughout the Munjoy Hill neighborhood. The upper level at the 4th floor, is designed to be as "light-feeling" as possible, for this we've selected a shingled metal panel in a natural or patina-color, coupled with expansive windows to lighten the set back upper floor.

A building should feel permeable and human scale at the level of the sidewalk. By designing the first floor to cast shadows with overhangs and porch-like openings the building avoids an oppressive wall effect and keeps its scale pedestrian. There are two pedestrian entrances, one for the homeowners in a recessed landing facing the street, the second is on the side of the building near the west side for the tenant. Both entries have canopies for accentuation. The garage entry is minimally sized and placed near the east edge of the property. Further to the east, a new stone retaining wall is proposed with a backdrop of landscaping.



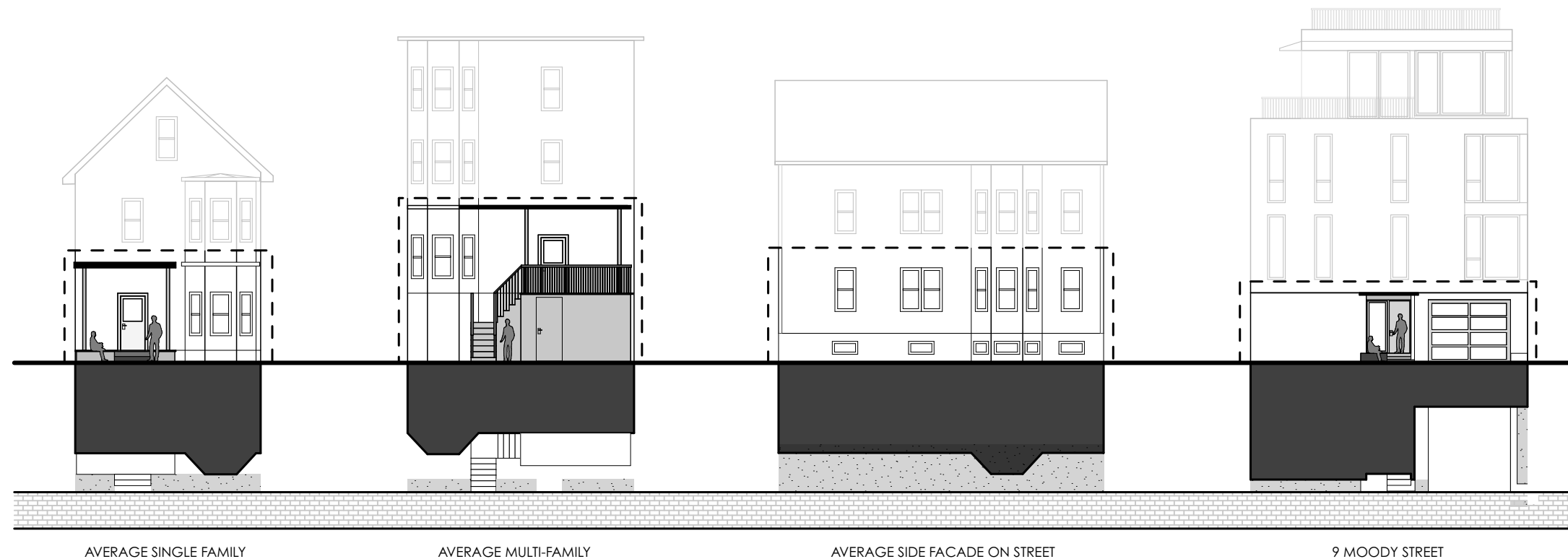
**PRINCIPLE B: MASSING**

The mass of the building is similar to other 4 story buildings in a two-block radius. We have been sensitive to the scale of the building and divided the mass into a three part arrangement to break it up with the fourth floor receding.

Because of the width of the building a flat roof form is the most appropriate. This is a common roof form within the neighborhood where other multi family buildings of similar scale exist. There are two distinguishable roof lines, the first is that on the top of the third floor, which acts as to terminate the siding material. On the fourth floor the primary roof is visible, the front eave of the 4th floor roof is designed to have a thin edge detail to lighten to upper mass.

The facade is balanced with several openings responsive to creating the base, middle and top. For example there is a balcony on the 4th floor to further engage to streetscape and provide facade definition and relief. Also, the main entry at street level is recessed to provide cover and a shadow line from the level above, much like building projections in the surrounding neighborhood.

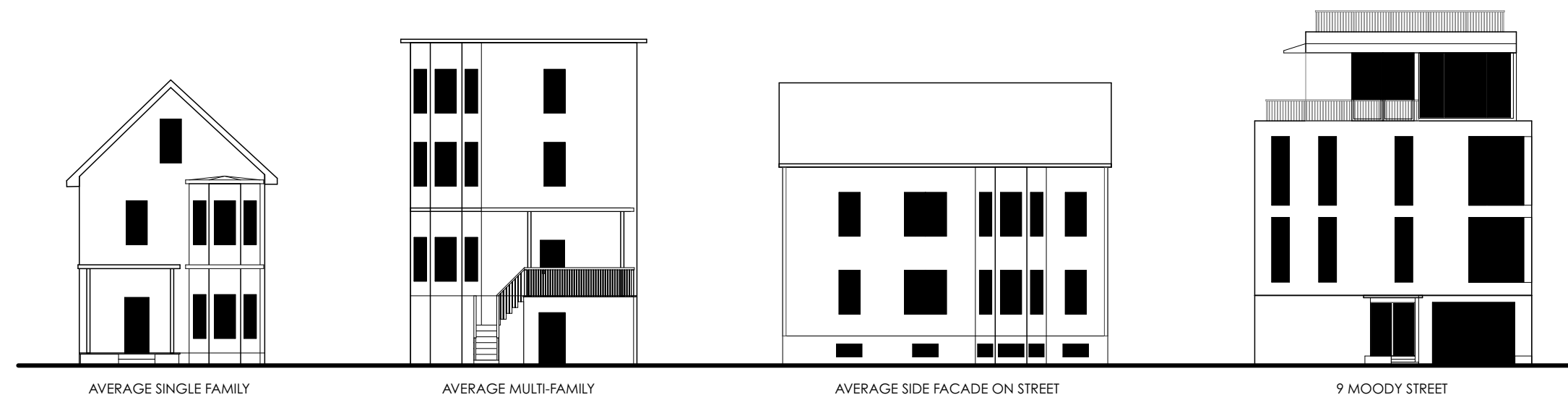
The mass is further broken up by the vertical relationship between the glazing of the garage and the windows at the corner above. This vertical series of "lightness" is our contemporary interpretation of a bay window which achieves the same purpose to break up mass, which is recessed about 10' from the sidewalk for ease of use. This door will be translucent glass to allow light inside and further engage the street with a less visually impeding solid surface. The width of the proposed garage is about 12' which is about 30% the overall width of the facade.



**PRINCIPLE C: ORIENTATION TO THE STREET**

The main entry is emphasized by both the recessed form, but also integration into the landscape design. A new stone retaining wall is proposed to replace the existing. This feature stone material will also be used with the raised entry landing. The idea with this wall is that it would be a nice respite for the homeowners at the street to be able to engage in friendly neighborhood conversations. There is a window to allow light into the entry mudroom. Privacy is achieved as the window is located at a point of circulation. Living spaces are in levels above.

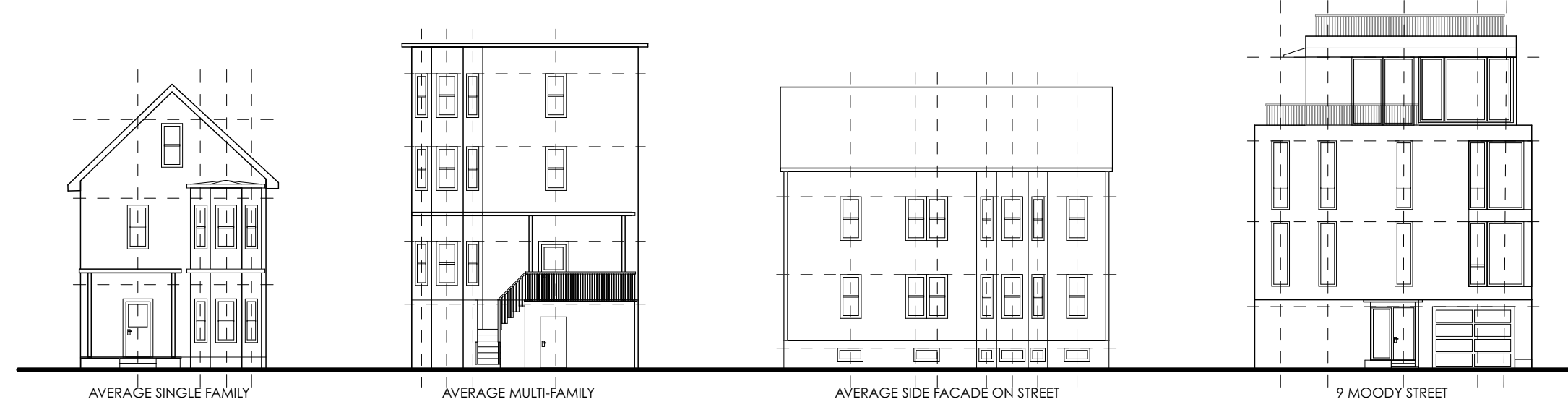
The building engages the street with a pedestrian friendly and common traditional material using brick masonry and clearly identifies the entry way. Simple landscaping between the sidewalk and the building allows for a softening of the hardscape transition to the red brick sidewalk.



**PRINCIPLE D: PROPORTION AND SCALE**

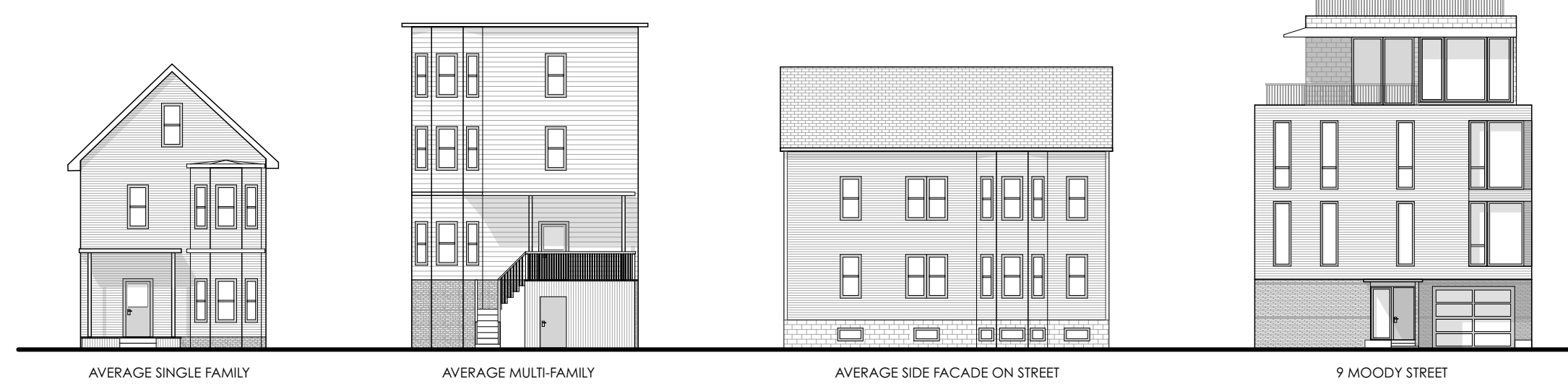
All of the windows are rectangular and vertically proportioned unless to serve another architectural purpose. The windows are floor to ceiling, allowing optimal light and views, particularly at a downward angle towards the ocean.

Because of the need for parking there are no living spaces on the first floor. As a result porch like shadows are cast by the entry to the garage and space is planned for that easy off street conversations could be had with neighbors within this comfortably landscaped indent in the facade.



**PRINCIPLE E: BALANCE**

All of the windows and door follow a horizontal datum and the majority of the windows and door are aligned vertically.

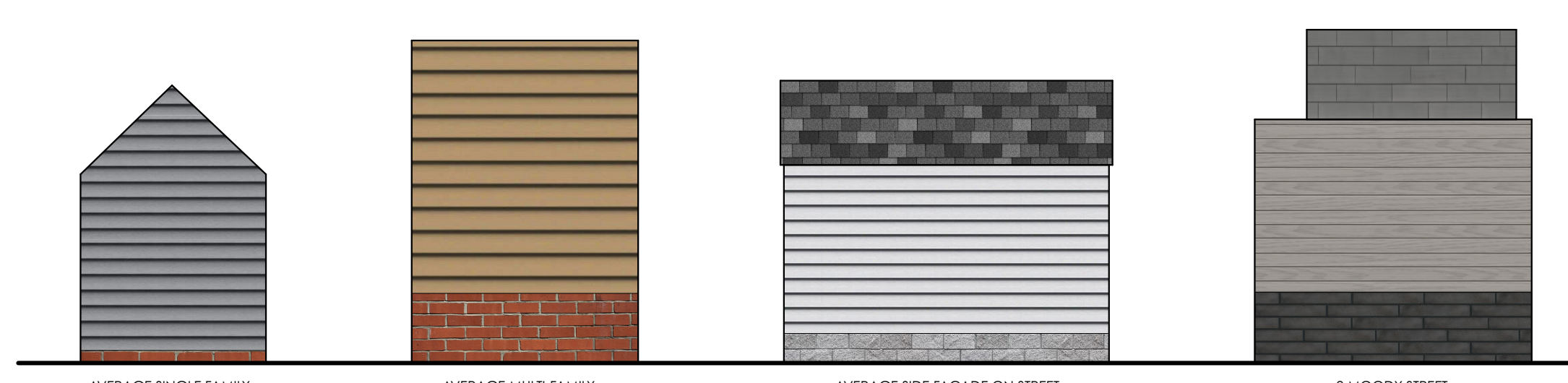


**PRINCIPLE F: ARTICULATION**

The homeowners wish to have a contemporary design using quality material. The exterior articulation is reflective of this aesthetic. The concept of the building material from the ground up is heavy, medium, light (brick, siding, metal panel) each level is consistent with no variation. The change in materials and material orientation as well and larger recesses delineate the levels of the structure.

Windows are set in to cast shadows and the natural materials of the facade provide texture. There are two predominant types of windows, fixed or operable. The operable windows are, for the most part awning type with a sash below eye level.

The building design is contemporary and reflective of the homeowners' wishes. Some elements listed in the R6 standards under this heading such as exterior trim, eaves, rakes, decorative cornices are not conducive to a contemporary design of its time. Other features listed, such as the roof setback is included. What can be achieved is creation of shadow lines at the punched windows on the facade, the middle band articulation or projection over the first level base and set back on all four sides of the upper floor.



**PRINCIPLE G: MATERIAL**

Using quality materials, which require low maintenance and long lasting performance is paramount to the homeowners. The concept of the building material from the ground up is heavy, medium, light. Full clay brick with an iron-spot color is proposed at the base, traditional wood siding with a light semi-solid stain at the middle and a shingled metal panel to be a natural tone such as zinc-coated copper or similar at the top. Each level is consistent with little to no variation and is compatible with materials and patterns within the surrounding neighborhood.

The lot of 9 Moody Street is an opportunity within the Munjoy Hill neighborhood to demonstrate how a building can be of its time and respectful to the historic context of the neighborhood. The preminent urbanist Jane Jacobs states that a healthy city "must mingle buildings that vary in age and condition".

Because of the degraded state of the existing building this lot has become a present an important example of how the city can encourage "a high standard of building design, while allowing for diversity of design" as stated as the Purpose in the cities Design Manual, by providing flexibility to meet a contextually appropriate high level of design with a fully contemporary building.

It proves to be a challenge to avoid the Disneyland like approach of copying the 19th century buildings in the 21st century which will degrade the authenticity of the neighborhood. Consistent with the intent of the city the design put forward by Caleb Johnson Studio aims to augment the diversity and quality of the neighborhood fabric by acknowledging present architectural styles as well as the context of the neighborhood. This approach will help to establish the city of Portland going forward as progressive and it will actively align its planning sophistication with cities such as Boston and London where fully contemporary design lives beside antique buildings acknowledging the progress of cities, technology and architecture.

The building at 9 Moody is divided into the classic architectural division of Base, Middle and Top in the following way to give it a pleasing articulation:

-The first floor or base of the structure will be made of durable full width brick echoing other structures using masonry foundations and full masonry facades in the neighborhood. This masonry base will give the building a familiar texture and importantly the durability that has played a role in preserving the Old Port itself.

-The second and third floor will be sheathed in wood siding similar in scale and appearance to the clapboards common within the neighborhood and New England in general. The windows in this middle section feel familiar with the "punched" rectangular windows commonly found throughout the neighborhood.

-The fourth floor is a shingled metal designed to blend and recede into the background of the sky with lighter feeling construction that effectively reduces the overall feeling of mass that would result in carrying the architectural articulation of the lower floors through to the 45' height limitation.

We have outlined our responses to the Portland R6 Zone Design Standards and request an Alternative Design Review. We appreciate the consideration of Planning Staff for the design and its contribution the vibrant history of the Munjoy Hill / Eastern Promenade neighborhoods.