

CODE ANALYSIS

3 UNIT APARTMENTS - 162 EASTERN PROMENADE PORTLAND, MAINE

NFPA 101 Life Safety Code - 2012 Edition

Building Classification: Chapter 30 - New Apartments (5,500 Gross sf) (3) 2 & 3-Bedroom Units
Construction Type: V (000)
Hazard Classification: Class B - Ordinary Hazard
Occupant Loads: Residential 200 sf/occ. @ 5,175 sf net = 26 occ.
Dwelling Unit Separation Floors: 1 hour
Janitor, Mech, Stor Rating: 1 hour (none within unit if under 12sf)

International Building Code - 2009 Edition

Use Group Classification: Residential (R-2) 5,500 gross sf (3) 2 & 3 Bedroom Units
Occupant Loads: Residential 200 sf/occ. @ 5,175 net sf = 26
Tenant Separation Party Walls/Floors: 1 hour (1/2 hour if sprinkled)
Janitor, Mech & Storage Rooms: 1 hour
Building Limitations: VB Combustible/Unprotected/Sprinkled
Construction Type: 2 Story/40'

2009 INTERNATIONAL ENERGY EFFICIENCY CODE (IECC)

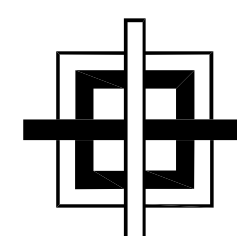
MUBEC (Maine Uniform Building Energy Code) MINIMUM INSULATION VALUES Per 2009 IECC, Table 502.1.2, 502.2(1) and 502.3 Commercial Residential Use

Table with columns: ZONE 6A, R-VALUE, U-FACTOR, SHGC. Rows include Exterior wall, Roof (ci)\*, Attic\*, Floor Joists, Slab (24" band), Frost Wall (ci), Doors - Opaque 1.82, Windows, Storefront (door).

\*Utilize one location (ci) = continuous insulation

Carbon Monoxide Detectors:

Classification of Finishes: Class A at Exit Enclosures Class B or Class C at Lobbies and non-rated Corridors



3 UNIT APARTMENT BUILDING

162 EASTERN PROMENADE STREET

PORTLAND, MAINE CBL: 003 - A007001

162 EASTERN PROMENADE L.L.C.

ABBREVIATIONS

Table of abbreviations and their corresponding terms, organized in columns. Includes terms like AFF, ALUM or AL, AWP, BIT, BRK, etc.

GENERAL NOTES

- 1. ALL WORK SHALL CONFORM TO LOCAL AND STATE LAWS, ORDINANCES AND PREVAILING EDITIONS OF ADOPTED BUILDING CODES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO SECURE ALL PERMITS FOR WORK.
2. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO COMMENCING THE WORK AND REPORT ANY DISCREPANCIES TO THE ARCHITECT. CONTRACTOR SHALL PROCEED WITH THE WORK ONLY AFTER SUCH DISCREPANCIES HAVE BEEN RESOLVED BY THE ARCHITECT. CONTRACTOR SHALL ALLOW A 48 HOUR TIME FRAME FOR RESOLVING DISCREPANCIES ONCE THE ARCHITECT HAS ACKNOWLEDGED THE CONDITION.
3. THE CONTRACTOR SHALL REVIEW AND VERIFY ALL EXISTING CONDITIONS PRIOR TO STARTING THE WORK IN ANY GIVEN AREA.

MATERIALS

- CONCRETE
CONCRETE MASONRY UNIT
BRICK
GRAVEL
SOIL
STUD PARTITION (EXISTING)
STEEL
WOOD FRAMING
WOOD BLOCKING
PLYWOOD
GYPSUM BOARD
SUSPENDED ACOUSTICAL TILE
BATT INSULATION
RIGID INSULATION
FINISH WOOD
ONE HOUR RATED PARTITION
TWO HOUR RATED PARTITION
EXISTING PARTITION (SCREENED)
NEW PARTITION

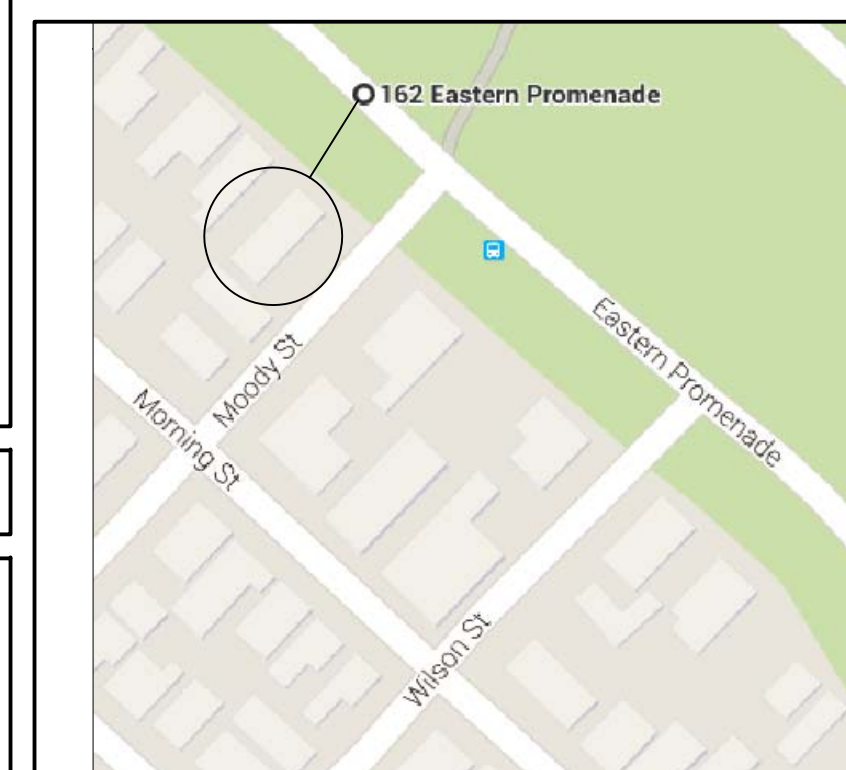
SYMBOLS

- ROOM NUMBER
DOOR NUMBER
WINDOW NUMBER
BUILDING SECTION
WALL SECTION
DETAIL
CASEWORK ELEVATION
INTERIOR ELEVATION
VERTICAL ELEVATION
PARTITION TYPE
STRUCTURAL CENTERLINE

DRAWING INDEX

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S-6 ROOF FRAMING PLAN

PROJECT LOCATION MAP



OWNER

162 EASTERN PROMENADE L.L.C. 162 EASTERN PROMENADE PORTLAND, MAINE 04101

STRUCTURAL ENGINEER: ENGINEERING DESIGN PROFESSIONALS P.O. BOX 575 FREEPORT, MAINE 04032

BUILDING PERMIT SET

GRANT HAYS ASSOCIATES ARCHITECTURE & INTERIOR DESIGN P.O. BOX 6179 FALMOUTH MAINE 04105 207.871.5900 www.granthays.com

PROJECT NAME: 3 UNIT APARTMENT BUILDING 162 EASTERN PROMENADE PORTLAND, MAINE 04101

COVER SHEET

DATE: 13 OCT 2015 SCALE: 1/4"=1'-0" DRAWN: JAM/MFH JOB NO.: 150815

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