

# CODE ANALYSIS

## 3 UNIT APARTMENTS - 162 EASTERN PROMENADE PORTLAND, MAINE

### CODE ANALYSIS

#### NFPA 101 Life Safety Code - 2009 Edition (###) denotes if fully sprinkled - NFPA 13R

Building Classification:	Chapter 30 - New Apartments (5,500 Gross sf) (3) 2 & 3-Bedroom Units
Construction Type:	V (000)
Hazard Classification:	Class B - Ordinary Hazard
Occupant Loads:	Residential 200 sf/occ. @ 5,175 sf net = 26 occ.
Dwelling Unit Separation Floors:	1 hour
Janitor, Mech. Stor Rating:	1 hour (none within unit if under 12sf)
Exit Stair Rating:	1 hour - 3 Stories or less @ exit enclosure
Minimum Stair width:	36" - less than 50 occupants
Maximum Riser height:	7"
Minimum Tread width:	11"
Minimum Headroom:	6'-8" at stairs; 7'-6" at occupied spaces
Maximum ht between landings:	12'-0"
Guardrail Height:	42"
Handrail height:	34-38"
Handrail top extension:	12" horiz.
Handrail bottom extension:	11" angled + 12" horz.
Handrail diameter:	1-1/4" O.D.
Maximum baluster open space:	less than 4"
Max. Allowable Travel Distance:	100' Unit to Stair Enclosure (200') 75' within Unit to exit door (125')
Max. Allowable Common Path:	35' (50')
Max. Allowable Dead End Corridor:	35' (50')
Minimum Egress Corridor Width:	44" / 36" if less than 50 occupants
Minimum Number of Required Exits:	2 per floor/unit; 1 if sprinkled and per 30.2.4.4
Minimum Horiz Egress Enclosure rating:	1 hr.
Separation of exits:	0.5 the diagonal distance (33 if fully sprinkled)
Panic Hardware:	Required if over 50 total occupants
Minimum Egress Door Width:	36" (32" clear) Self-closing at rated assembly
Exit Lighting:	Required
Emergency Lighting:	Not Required (less than 11 units)
Fire Sprinkler System:	Required - NFPA 13R
Fire Alarm System:	Not Required (less than 11 units)
Portable Fire Extinguishers:	Not Required
Smoke Detector/Alarms:	Required at all sleeping & living areas (inter-connected within dwelling unit)
Carbon Monoxide Detectors:	Required outside of sleeping rooms and a fuel-burning rooms
Classification of Finishes:	Class A at Exit Enclosures Class A or Class B at Lobbies and non-rated Corridors

#### International Building Code - 2009 Edition (###) denotes if fully sprinkled - NFPA 13R

Use Group Classification:	Residential (R-2) 5,500 gross sf (3) 2 & 3 Bedroom Units
Occupant Loads:	Residential 200 sf/occ. @ 5,175 net sf = 26
Tenant Separation Party Walls/Floors:	1 hour
Janitor, Mech & Storage Rooms:	1 hour
Building Limitations:	VA Combustible/Protected/Sprinkled
Construction Type:	3 Story/50'
Maximum Area / Floor:	12,000 sf
Height/Area Sprinkler Increases:	Add 1 Story/10' and add 24,000 sf
Fire Resistance Design Criteria:	1 hr.
Load Bearing Exterior Walls:	1 hr.
Load Bearing Interior Walls:	1 hr.
Floor/Roof Structure:	1 hr.
Penetrations @ Rated Assemblies:	Firestopping required per Section 713
Fire Separation Exits (Stairs):	1 hour enclosure at 3 floors
Dwelling Unit Separations:	1 hour at walls and floors
Exit Corridors:	1 hour (none)
Attic Draftstop Area:	3,000 sf maximum
Minimum Number of Exits:	2, except 1 per Unit if less than 20 occupants per Unit, 4 Units maximum per structure/building, and fully sprinkled (1021.1, Exception 4; 1021.2, IEBC 705.2 & NFPA 101)
Egress Windows:	Required per 1029 at Bedrooms above LED
Maximum Dead End Corridor Length:	20' (50')
Maximum Common Travel Path:	75' (125')
Maximum Exit Travel Distance:	200' (250')
Minimum Stair/Corridor Width:	44" / 36" if less than 50 occupants
Maximum Riser Height:	7"
Minimum Tread Depth:	11"
Minimum Ramp Width:	44" / 36" if less than 50 occupants
Maximum Ramp Pitch:	1:12
Handrails & Guardrails:	Same as NFPA 101
Minimum Ceiling Height:	7'-6"
Fire Alarm System:	Required - 4 story structure
Fire Sprinkler System:	Required - 4 story 5A structure - NFPA 13R
Smoke Detection/Alarm System:	Required @ living & sleeping areas & storage - Interconnected within units
Exit Lighting:	Not Required in Units; required at egress areas
Emergency Lighting:	Required @ egress areas
Portable Fire Extinguishers:	Not Required, except by AHJ
Finish Surfaces Classification:	Class B minimum
Wall/Floor Separation Acoustic Rating:	STC 50 at units

#### Building Live Loads

Stairs:	100 psf (except 80 psf @ upper floor corridors)
Apartments:	40 psf

#### 2009 INTERNATIONAL ENERGY EFFICIENCY CODE (IECC)

#### MUBEC (Maine Uniform Building Energy Code)

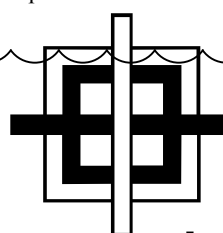
Per 2009 IECC; Table 402.1.1 and 402.1.3  
Chapter 4 - Residential Use

#### ZONE 6 R-VALUE U-FACTOR SHGC

Exterior wall*	13.0-7.5 ci	0.057	NA
Ceiling Attic	38.0	0.026	NA
Floor Joists	30.0	0.033	NA
Slab (24" band)	10.0	0.10	NA
Crawl Space (ci)	10.0	0.10	NA
Doors - Opaque 1.42	0.70	NA	NA
Windows	2.86	0.35	0.40

(ci) = continuous insulation

\*R-21 per performance criteria for existing buildings



# 3 UNIT APARTMENT BUILDING

162 EASTERN PROMENADE STREET

PORTLAND, MAINE  
CBL: 003 - A007001

162 EASTERN PROMENADE L.L.C.

### ABBREVIATIONS

AFB	ABOVE FINISH FLOOR	HC	HANDICAP	S	SOUTH
ALUM or AL	ALUMINUM	HD WP	HARDWOOD	SAT	SUSPENDED ACOUSTICAL
AWP	ACOUSTICAL WALL PANEL	HR	HEADER	SC	SHOWER CURTAIN
BRT	BRIQUETTES	HRE	HARDWARE	SC	SOAP DISPENSER
BW	BENCH MARK	HM	HOLLOW METAL	SD	SCHEDULE
BCT	BOTTOM	HORIZ	HORIZONTAL	SECT	SECTION
BRG	BEARING	HT	HEIGHT	SGP	SUSPENDED GYPSUM BOARD CEILING
BRK	BRICK	ID	INSIDE DIAMETER	SH	SHEET
C	CABINET	IF	INSIDE FACE	SHM	SANITARY WASTE DISPOSAL
CAB	CABINET	IN	INCHES	SIM	SIMILAR
CB	CHALK BOARD	INSUL	INSULATION	SND	SQUARE
CC	CENTER TO CENTER	INT	INTERIOR	SPEC	SYNTHETIC SPORTS SURFACE
CH	CONCRETE FLOOR WITH HARDENER	JNT or JT	JOINT	SP	SPANDREL
CL	CONTROL JOINT	KEC	KITCHEN EQUIPMENT CONSULTANT	SS	STEEL
CLG	CENTERLINE	KP	KICK PLATE	ST	STRUCTURAL
CLM	CEILING	LAB	LAVATORY	STV	STEEL VINYL SHEET VINYL
CLM	CONCRETE MASONRY UNIT	L	LAVATORY LABEL (FIBR)	T	TEMPERED (GLASS)
CONC	CONCRETE	LAB	LABEL (FIBR)	TACK	TACK BOARD
CONT	CONTINUOUS	LOC	LOCATION	TR	TRIM
CONST	CONSTRUCTION	LOC	LOCATION	TH	THICKNESS
CONTR	CONTRACTOR	LS	LOCKSET	TK	TOP OF BEAM
CT	CERAMIC TILE	M	MARBLE	TOB	TOP OF MASONRY
DBL	DOUBLE	MAS	MASONRY	TOW	TOP OF WALL
DC	DOOR CLOSER	MAS	MASONRY	TOW	TOILET PAPER DISPENSER
DM	DIMENSION	MWB	MARBLE BOARD	TP	TYPICAL
DNA	DOES NOT APPLY	MECH	MECHANICAL	VP	VAPOR BARRIER
DR	DOOR	MFR	MANUFACTURER	VC	VINYL COMPOSITION TILE
DRG	DRAWING	MIN	MINIMUM	VERT	VERTICAL
DWG	DRAWING	MISC	MISCELLANEOUS	VCT	VINYL WALL COVERING
E	EAST	MO	MORTAR	VERT	VERTICAL
EA	EACH	MOR	MORTAR	VWC	VINYL WALL COVERING
EF	EACH FACE	MSL	MOISTURE RESISTANT GYPSUM BOARD	W	WEST
EJ	EXPANSION JOINT	N	NORTH	WC	WATER CLOSET
ELEV	ELEVATION	NA	NOT APPLICABLE	WF	WOOD FOUNTAIN
ELEC	ELECTRICAL	NC	NOT IN CONTRACT	WG	WOOD PANELING
EMHO	ELECTROMAGNETIC HOLD OPEN	NCM	NOT TO SCALE	WP	WOOD PANELING
EQ	EQUAL	NIS	NOT TO SCALE		
EW	EACH WAY	GA	OVERALL		
EW	ELECTRIC WATER COOLER	OC	ON CENTER		
EXIST OF (E)	EXISTING	OD	OUTSIDE DIAMETER		
EXP	EXPANSION	OP	OPENING		
EXT	EXTERIOR	OPP	OPPOSITE		
FCS	FLOOR COATING SYSTEM	P	PAINT		
FD	FLOOR DRAIN	PPD	PAINTED		
FDN	FOUNDATION	PF	PAINTED FINISH FLOOR ELEVATION		
FE	FIRE EXTINGUISHER	PL	PLATE		
FFE	FINISH FLOOR ELEVATION	PLY WP	PLYWOOD		
FIN	FINISH	PNL	PANEL		
FIN FL or FF	FINISH FLOOR	PS	PASSAGE LATCH SET		
FIN GR	FINISH GRADE	P	PRESURE TREATED		
FL	FLOOR	P.T.	PRESURE TREATED		
FL	FLOOR	PT & P	PAPER TOWEL & WASTE DISPENSER		
FR	FIRE RATING	PTN	PARTITION		
FRAG	FRAMING	RD	ROUGH OPENING		
FT	FEET (FOOT)	RE	REFER		
FW	FIELD VERIFY	REF	REFER		
FWC	FABRIC WALL COVERING	REFR	REFRIGERATOR		
G	GRANITE	REIN	REINFORCED		
GA	GALVANIZED	REQ	REQUIRED		
GLV	GLASS	RM	ROOM		
GP	GENERAL CONTRACTOR	RO	ROUGH OPENING		
CC	GENERAL CONTRACTOR				
GWB	GYPSUM WALL BOARD				

### GENERAL NOTES

- ALL WORK SHALL CONFORM TO LOCAL AND STATE LAWS, ORDINANCES AND PREVAILING EDITIONS OF ADOPTED BUILDING CODES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO SECURE ALL PERMITS FOR WORK.
- THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO COMMENCING THE WORK AND REPORT ANY DISCREPANCIES TO THE ARCHITECT. CONTRACTOR SHALL PROCEED WITH THE WORK ONLY AFTER SUCH DISCREPANCIES HAVE BEEN RESOLVED BY THE ARCHITECT. CONTRACTOR SHALL ALLOW A 48 HOUR TIME FRAME FOR RESOLVING DISCREPANCIES ONCE THE ARCHITECT HAS ACKNOWLEDGED THE CONDITION.
- THE CONTRACTOR SHALL REVIEW AND VERIFY ALL EXISTING CONDITIONS PRIOR TO STARTING THE WORK. IN ANY GIVEN AREA.
- WORK WITH GIVEN DIMENSIONS AND LARGE SCALE DETAILS. DO NOT SCALE THE DRAWINGS AS THE REPRODUCTIVE PROCESS TENDS TO DISTORT THE ACCURACY OF THE GRAPHIC SCALE INDICATED.
- ALL CONSTRUCTION ACTIVITIES SHALL BE PERFORMED IN A NEAT, SAFE, AND CLEAN MANNER. ALL CONSTRUCTION WASTE SHALL BE REMOVED FROM THE BUILDING. SITE BURNING IS NOT ALLOWED. LEAVE WORK AREA IN A CLEAN, SAFE CONDITION AT THE END OF EACH WORK DAY.
- ALL CONSTRUCTION DEBRIS SHALL BE DISPOSED OF AT AN APPROVED OFF-SITE FACILITY IN COMPLIANCE WITH ALL REGULATIONS.
- ALL WOOD IN CONTACT WITH MASONRY OR CONCRETE SHALL BE PRESSURE TREATED.
- ALL CEILINGS SHALL BE LEVEL TO A TOLERANCE OF 1/8" IN A 20'-0" RADIUS WHEN CHECKED WITH A 10' STRAIGHT EDGE.
- INSTALL SOLID BLOCKING AT WALL FRAMING BEHIND ALL SURFACE MOUNTED FIXTURES, TRIM AND HANDRAILS.
- ALL GRAB BARS AND HANDRAILS SHALL BE ABLE TO SUPPORT A DEAD WEIGHT OF 250 LBS. AT ANY POINT.
- THESE ARCHITECTURAL DRAWINGS WERE PREPARED FOR THE OWNER AS PART OF AN ABBREVIATED SERVICES AGREEMENT, AND AS SUCH, DO NOT DELINEATE ALL ASPECTS OF THE WORK.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF ALL ASPECTS OF THE WORK INCLUDING, BUT NOT LIMITED TO MECHANICAL AND ELECTRICAL DESIGN-BUILD ENGINEERING DISCIPLINES AND TRADES.
- THE LOCATION OF ANY DOOR JAMBS NOT DIMENSIONED SHALL BE 6" FROM ADJACENT PERPENDICULAR WALL.
- ALL WALL PARTITIONS SHALL EXTEND FLOOR TO STRUCTURE ABOVE, UNLESS OTHERWISE NOTED.
- ALL NEW SHEETROCK IN WET AREAS SHALL BE MOISTURE-RESISTANT TYPE, UNLESS OTHERWISE NOTED.
- ALL INTERIOR WALLS SHALL HAVE FULL-THICK ACOUSTICAL BATT INSULATION UNLESS NOTED OTHERWISE.
- THE OWNER SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL HAZARDOUS MATERIALS PRIOR TO THE COMMENCEMENT OF THE CONTRACTOR'S WORK.
- REFER TO THE ACCESSIBILITY DETAILS FOR AMERICANS WITH DISABILITIES ACT (ADA) AND MAINE HUMAN RIGHTS ACT (MHRA) CONSTRUCTION CRITERIA.
- SEAL ALL PENETRATIONS AT FIRE RATED ASSEMBLIES IN ACCORDANCE WITH IBC SECTION 713 AND APPLICABLE UL ASSEMBLIES. PROVIDE ALL WITH MATERIAL SPECIFICATIONS SHEETS FOR EACH PRODUCT INCORPORATED IN THE WORK. SEE DETAIL 18/ A10.

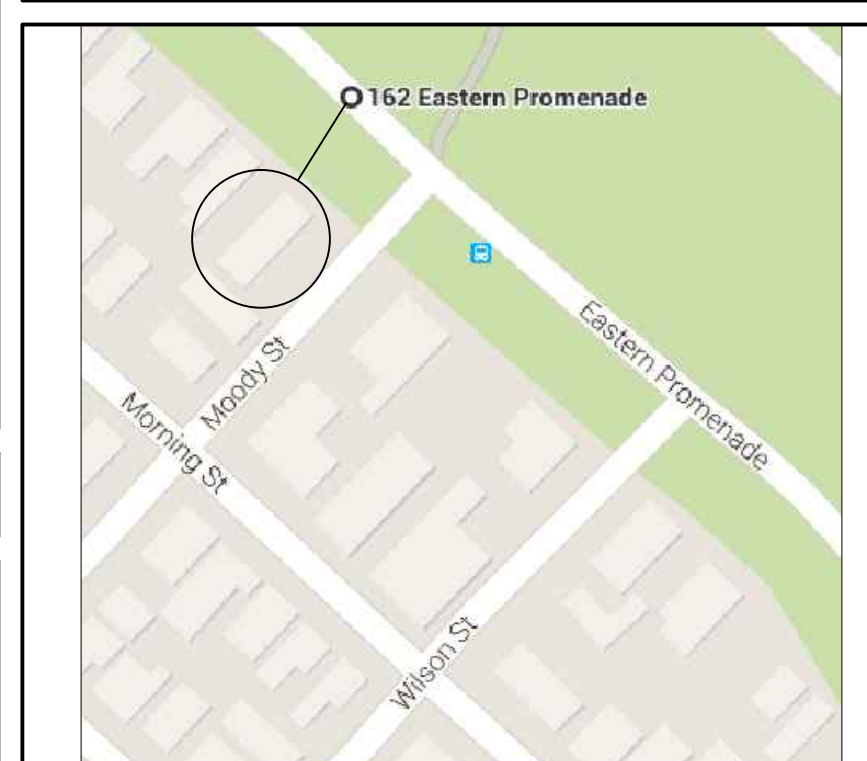
### MATERIALS

	CONCRETE
	CONCRETE MASONRY UNIT
	BRICK
	GRAVEL
	SOIL
	STUD PARTITION (EXISTING)
	STEEL
	WOOD FRAMING
	WOOD BLOCKING
	PLYWOOD
	GYPSUM BOARD
	SUSPENDED ACOUSTICAL TILE
	BATT INSULATION
	RIGID INSULATION
	FINISH WOOD
	ONE HOUR RATED PARTITION
	TWO HOUR RATED PARTITION
	EXISTING PARTITION (SCREENED)
	NEW PARTITION
<b>OWNER</b>	
162 EASTERN PROMENADE L.L.C. 162 EASTERN PROMENADE PORTLAND, MAINE 04101	

### SYMBOLS

	ROOM NUMBER
	DOOR NUMBER
	WINDOW NUMBER
	BUILDING SECTION
	WALL SECTION
	DETAIL
	CASEWORK ELEVATION
	INTERIOR ELEVATION
	VERTICAL ELEVATION
	PARTITION TYPE
	STRUCTURAL CENTERLINE

### PROJECT LOCATION MAP



### DRAWING INDEX

A-0	COVER SHEET-CODE ANALYSIS
A-1	MOODY STREET ELEVATION
A-2	WEST SIDE ELEVATION
A-3	EASTERN PROMENADE & NORTH SIDE ELEVATION
A-4	BASEMENT PLAN
A-5	FIRST FLOOR PLAN
A-6	SECOND FLOOR PLAN
A-7	BUILDING SECTION & DOOR & WINDOW SCHEDULE
A-8	BUILDING SECTIONS
A-9	BUILDING SECTIONS
A-10	DETAILS & SECTIONS
A-11	BUILDING SECTIONS
S-1	DETAILS, SECTIONS & NOTES
S-2	FOUNDATION PLAN
S-3	1ST FLOOR FRAMING PLAN
S-4	2ND FLOOR FRAMING PLAN
S-5	3RD FLOOR FRAMING PLAN
S-6	ROOF FRAMING PLAN

### STRUCTURAL ENGINEER:

ENGINEERING DESIGN PROFESSIONALS  
P.O. BOX 575  
FREEPORT, MAINE 04032

DATE: 19 OCT 2015

SCALE: 1/4"=1'-0"

DRAWN: JAM/MFH

JOB NO.: 150815

SHEET

# AO

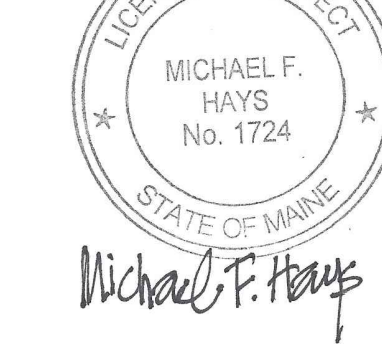
BUILDING PERMIT SET

REPRODUCTION OR RELIEF OF THIS DOCUMENT WITHOUT WRITTEN PERMISSION FROM GRANT HAYS ASSOCIATES IS PROHIBITED.

SCALE

12.29.2015

08.01.2017 EDITS PER PLAN REVIEW



REVISION

PROJECT NAME

3 UNIT APARTMENT BUILDING  
162 EASTERN PROMENADE

SHEET

COVER SHEET

DATE: 19 OCT 2015

SCALE: 1/4"=1'-0"

DRAWN: JAM/MFH

JOB NO.: 150815

SHEET

# AO

REPRODUCTION OR RELIEF OF THIS DOCUMENT WITHOUT WRITTEN PERMISSION FROM GRANT HAYS ASSOCIATES IS PROHIBITED.