

CODE ANALYSIS
3 UNIT APARTMENT BUILDING - 162 EASTERN PROMENADE
PORTLAND, MAINE

NFPA 101 Life Safety Code - 2012 Edition

Building Classification: Chapter 20 - New Apartments (5,500 Gross sq ft)
(3) 2 & 3-Bedroom Units
Construction Type: Class B - Ordinary Hazard
Hazard Classification: Residential 200 sf occ. @ 5,175 net sf = 26 occ.
Occupant Loads: 1 hour
Dwelling Unit Separation Floors: 1 hour (none within unit if under 12sf)
Janitor, Mech, Stor Rating: 1 hour - 3 Stories or less
Exit Stair Rating: 36" - less than 50 occupants
Minimum Stair width: 7' 11"
Maximum Riser height: 6'-8" at stairs; 7'-6" at occupied spaces
Minimum Headroom: 12'-0"
Maximum ht between landings: 42"
Handrail height: 34-38"
Handrail top extension: 12" horz.
Handrail bottom extension: 11" angled + 12" horz.
Handrail diameter: 1-1/4" O.D.
Maximum baluster open space: less than 4"
100' Unit to Stair Enclosure: 75' within Unit to exit door
Max. Allowable Travel Distance: 35'
Max. Allowable Common Path: 35'
Max. Allowable Dead End Corridor: 44' / 36" if less than 50 occupants
Minimum Egress Corridor Width: 44' / 36" if less than 50 occupants
Minimum Number of Required Exits: 2 per floor/unit; 1 if sprinkled and per 302.4.6 / 302.4.6
Minimum Horiz Egress Enclosure rating: 1 hr.
Separation of exits: 0.5 the diagonal distance (.33 if fully sprinkled)
Panic Hardware: Required if over 50 total occupants
Minimum Egress Door Width: 36" (32" clear) Self-closing at rated assembly
Exit Lighting: Required
Emergency Lighting: Not Required (less than 11 units)
Fire Sprinkler System: Required - NFPA 13R
Fire Alarm System: Not Required (less than 11 units)
Portable Fire Extinguishers: Not Required (less than 11 units)
Smoke Detector/Alarms: Required at all sleeping & living areas (inter-connected within dwelling unit)
Carbon Monoxide Detectors: Required at all egress areas & common areas
Required outside of sleeping rooms and a fuel-burning rooms
Classification of Finishes: Class A at Exit Enclosures
Class A or Class B at Lobbies and non-rated Corridors

International Building Code - 2009 Edition

Use Group Classification: Residential (R-2) 5,500 gross sq ft
(3) 2 & 3 Bedroom Units
Occupant Loads: Residential 200 sf occ. @ 5,175 net sf = 26
Tenant Separation Party Walls/Floors: 1 hour
Janitor, Mech & Storage Rooms: 1 hour
Building Limitations: VB Combustible/Unprotected/Sprinkled
Construction Type: 2 Story/4F
Maximum Height: 7,000 sf
Maximum Area / Floor: Add 1 Story/2F and add 14,000 sf
Height/Area Sprinkler Increases: Add 1 Story/2F and add 14,000 sf
Fire Resistance Design Criteria: None
Load Bearing Exterior Walls: None
Load Bearing Interior Walls: None
Floor/Roof Structure: None
Penetrations @ Rated Assemblies: Firestopping required per Section 713
Fire Separation Exits (Stairs): 1 hour at walls and floors
Dwelling Unit Separations: 1 hour
Exit Corridors: 3,000 sf maximum
Attic Draftstop Area: 2; except 1 per Unit if less than 20 occupants per Unit, 4 Units maximum per structure/building, and fully sprinkled (1021.1, Exception 4; 1021.2, IEBC 705.2 & NFPA 101)
Minimum Number of Exits: Required per 1029 at Bedrooms above LED
Egress Windows: 20'
Maximum Dead End Corridor Length: 75'
Maximum Common Travel Path: 200'
Maximum Exit Travel Distance: 44' / 36" if less than 50 occupants
Minimum Stair/Corridor Width: 7"
Maximum Riser Height: 11"
Minimum Tread Depth: 44" / 36" if less than 50 occupants
Minimum Ramp Width: 112
Maximum Ramp Pitch: Same as NFPA 101
Handrails & Guardrails: 7'-6"
Minimum Ceiling Height: Not Required
Fire Alarm System: Required (NFPA 13R, Monitored)
Fire Sprinkler System: Required @ living & sleeping areas & storage - Interconnected within units
Smoke Detection/Alarm System: Not Required in Units
Exit Lighting: Required @ egress areas
Emergency Lighting: Not Required, except by AHJ
Portable Fire Extinguishers: Class B minimum
Finish Surfaces Classification: Wall/Floor Separation Acoustic Rating: STC 50 at units

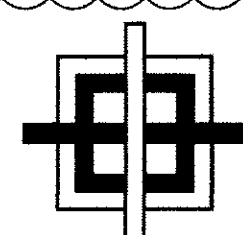
Building Live Loads: 100 psf (except 80 psf @ upper floor corridors)
Stairs: 40 psf
Apartment: 40 psf

2009 INTERNATIONAL ENERGY EFFICIENCY CODE (IECC)

MUEBC (Maine Uniform Building Energy Code) MINIMUM INSULATION VALUES
Per 2009 IECC, Table 402.1.1 and 402.1.3
Chapter 4 - Residential Use

ZONE 6	R-VALUE	U-FACTOR	SHGC
Exterior wall*	13.0+7.5 ci	0.057	NA
Ceiling Attic	38.0	0.026	NA
Floor Joists	30.0	0.033	NA
Slab (24" band)	10.0	0.10	NA
Crawl Space (ci)	10.0	0.10	NA
Doors - Opaque	1.42	0.70	NA
Windows	2.86	0.35	0.40

(ci) = continuous insulation
*R-21 per performance criteria for existing buildings



3 UNIT APARTMENT BUILDING

162 EASTERN PROMENADE STREET

PORTLAND, MAINE

162 EASTERN PROMENADE L.L.C.

CBL: 003 - A007001

ABBREVIATIONS

APP	ABOVE FINISH FLOOR	HC	HANDICAP	S	SOUTH
ALUM or AL	ALUMINUM	HD	HEADER	SAT	SUBMERGED ACOUSTICAL
AMP	ACOUSTICAL WALL PANEL	HR	HARDWARE	SC	SHOWER CURTAIN
BHT	BATHING	HU	HOLLOW METAL	SD	SOFFIT
BK	BRICK	HT	HEIGHT	SECT	SECTION
CB	CABINET	ID	INSIDE DIAMETER	SH	SHIM
CD	CHALK BOARD	IF	INSIDE FACE	SHD	SHOWER DRAIN
CH	CONCRETE FLOOR	IN	INSULATION	SI	SIMILAR
CI	CENTER LINE	INT	INTERIOR	SM	SMOOTH
CL	CENTERLINE	JNT or JT	JOINT	SP	SPRINKLER
CLG	Ceiling	KBC	KITCHEN EQUIPMENT	SPC	SPRINKLER
CMU	CONCRETE MASONRY UNIT	KCP	KICK PLATE	SR	STRUC
CONC	CONCRETE	L	LAVATORY	SV	SLAB
CONT	CONTRACTOR	LAB	LABEL (FREE)	T	TEMPERED (GLASS)
CONTR	CONTRACTOR	LAV	LAVATORY	TR	TRIM
CT	CERAMIC TILE	LOC	LOCATION	TH	THICKNESS
DBL	DOUBLE	LS	LOCKSET	TK	TOP OF
DC	DOOR CLOSER	M	MARBLE	TD	TOP OF DECK
DIA	DIAMETER	MAS	MASONRY	TO	TOP OF
DM	DIAMETER	MAX	MAXIMUM	TOP	TOP OF
DNA	DOES NOT APPLY	MECH	MECHANICAL	TP	TOP OF
DR	DOOR	MFR	MANUFACTURER	TR	TRIM
DRL	DETAIL	MIN	MINIMUM	VB	VAPOR BARRIER
DWG	DRAWING	MPC	MISCELLANEOUS	VCL	VERTICAL
E	EAST	MR	MASONRY OPENING	VCT	VERTICAL
EA	EACH	MRE	MASONRY REINFORCING	VNC	VERTICAL
EF	EACH FACE	MTL	METAL	W	WITH
EL	ELEVATION	N	NORTH	W/	WOOD
ELC	ELECTRICAL	NA	NOT APPLICABLE	WC	WOOD CLADDING
ELV	ELEVATION	NC	NOT IN CONTRACT	WF	WOOD FINISH
EMHO	ELECTROMAGNETIC FIELD OPEN	NO	NOT	WG	WOOD GRADING
EQ	EQUIPMENT	NTS	NOT TO SCALE	WP	WOOD PANELING
EW	ELECTRIC WATER COOLER	OA	OVERALL		
EXP	EXPANSION	OC	ON CENTER		
EXT	EXTERIOR	OD	OUTSIDE DIAMETER		
FCS	FLOOR COATING SYSTEM	OP	OPENING		
FDR	FLOOR DRAIN	OPP	OPPOSITE		
FE	FIRE EXTINGUISHER	P	PAINT		
FF	FINISH FLOOR ELEVATION	PD	PANIC DOOR		
FFL	FINISH FLOOR	PL	PLATE		
FFR	FINISH GRADE FLOOR	PLY	PLYWOOD		
FR	FIRE RATING	PLS	PASSAGE LATCH SET		
FRNG	FRAMING	P.T.	PAPER TREATED		
FV	FIELD VERIFY	PT & D	PARTITION		
FVC	FABRIC WALL COVERING	RD	ROUGH OPENING		
G	GRANITE	REF	REFRIGERATOR		
GA	GALVANIZED	REN	RENDERED		
GLV	GLASS	REQ	REQUIRED		
GR	GENERAL CONTRACTOR	RM	ROOM		
GWB	GYPSONUM WALL BOARD	RO	ROUGH OPENING		

GENERAL NOTES

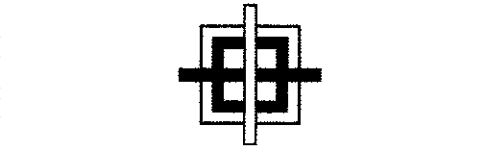
1. ALL WORK SHALL CONFORM TO LOCAL AND STATE LAWS, ORDINANCES AND PREVAILING EDITIONS OF ADOPTED BUILDING CODES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO SECURE ALL PERMITS FOR WORK.
2. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO COMMENCING THE WORK AND REPORT ANY DISCREPANCIES TO THE ARCHITECT. CONTRACTOR SHALL PROCEED WITH THE WORK ONLY AFTER SUCH DISCREPANCIES HAVE BEEN RESOLVED BY THE ARCHITECT. CONTRACTOR SHALL ALLOW A 48 HOUR TIME FRAME FOR RESOLVING DISCREPANCIES ONCE THE ARCHITECT HAS ACKNOWLEDGED THE CONDITION.
3. THE CONTRACTOR SHALL REVIEW AND VERIFY ALL EXISTING CONDITIONS PRIOR TO STARTING THE WORK IN ANY GIVEN AREA.
4. WORK WITH GIVEN DIMENSIONS AND LARGE SCALE DETAILS, DO NOT SCALE THE DRAWINGS AS THE REPRODUCTIVE PROCESS TENDS TO DISTORT THE ACCURACY OF THE GRAPHIC SCALE INDICATED.
5. ALL CONSTRUCTION ACTIVITIES SHALL BE PERFORMED IN A NEAT, SAFE, AND CLEAN MANNER. ALL CONSTRUCTION WASTE SHALL BE REMOVED FROM THE BUILDING. SITE CLEANING IS NOT ALLOWED. LEAVE WORK AREA IN A CLEAN, SAFE CONDITION AT THE END OF EACH WORK DAY.
6. ALL CONSTRUCTION DEBRIS SHALL BE DISPOSED OF AT AN APPROVED OFF-SITE FACILITY IN COMPLIANCE WITH ALL REGULATIONS.
7. ALL WOOD IN CONTACT WITH MASONRY OR CONCRETE SHALL BE PRESSURE TREATED.
8. ALL CEILINGS SHALL BE LEVEL TO TO A TOLERANCE OF 1/8" IN A 20'-0" RADII WHEN CHECKED WITH A 10' STRAIGHT EDGE.
9. INSTALL SOLID BLOCKING AT WALL FRAMING BEHIND ALL SURFACE MOUNTED FIXTURES, TRIM AND HANDRAILS.
10. ALL GRAB BARS AND HANDRAILS SHALL BE ABLE TO SUPPORT A DEAD WEIGHT OF 250 LBS. AT ANY POINT.
11. THESE ARCHITECTURAL DRAWINGS WERE PREPARED FOR THE OWNER AS PART OF AN ABBREVIATED SERVICES AGREEMENT, AND AS SUCH, DO NOT DELINEATE ALL ASPECTS OF THE WORK.
12. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF ALL ASPECTS OF THE WORK INCLUDING, BUT NOT LIMITED TO MECHANICAL AND ELECTRICAL DESIGN-BUILD ENGINEERING DISCIPLINES AND TRADES.
13. THE LOCATION OF ANY DOOR JAMBS NOT DIMENSIONED SHALL BE 6" FROM ADJACENT PERPENDICULAR WALL.
14. ALL WALL PARTITIONS SHALL EXTEND FLOOR TO STRUCTURE ABOVE, UNLESS OTHERWISE NOTED.
15. ALL NEW SHEETROCK IN WET AREAS SHALL BE MOISTURE-RESISTANT TYPE, UNLESS OTHERWISE NOTED.
16. ALL INTERIOR WALLS SHALL HAVE FULL-THICK ACOUSTICAL BATT INSULATION UNLESS NOTED OTHERWISE.
17. THE OWNER SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL HAZARDOUS MATERIALS PRIOR TO THE COMMENCEMENT OF THE CONTRACTOR'S WORK.
18. REFER TO THE ACCESSIBILITY DETAILS FOR AMERICANS WITH DISABILITIES ACT (ADA) AND MAINE HUMAN RIGHTS ACT (MHRA) CONSTRUCTION CRITERIA.
19. SEAL ALL PENETRATIONS AT FIRE RATED ASSEMBLIES IN ACCORDANCE WITH IBC SECTION 713 AND APPLICABLE UL ASSEMBLIES. PROVIDE AHJ WITH MATERIAL SPECIFICATIONS SHEETS FOR EACH PRODUCT INCORPORATED IN THE WORK. SEE DETAIL 18/A10.

MATERIALS

	CONCRETE
	CONCRETE MASONRY UNIT
	BRICK
	GRAVEL
	SOIL
	SUD PARTITION (EXISTING)
	STEEL
	WOOD FRAMING
	WOOD BLOCKING
	PLYWOOD
	GYPSONUM BOARD
	SUSPENDED ACOUSTICAL TILE
	BATT INSULATION
	RIGID INSULATION
	FINISH WOOD
	ONE HOUR RATED PARTITION
	TWO HOUR RATED PARTITION
	EXISTING PARTITION (SCREENED)
	NEW PARTITION
OWNER	
162 EASTERN PROMENADE L.L.C. 162 EASTERN PROMENADE PORTLAND, MAINE 04101	

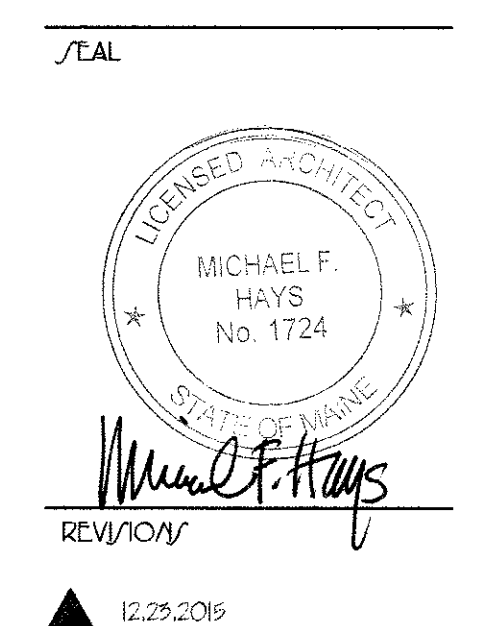
SYMBOLS

	ROOM NUMBER
	DOOR NUMBER
	WINDOW NUMBER
	BUILDING SECTION
	WALL SECTION
	DETAIL
	CASEWORK ELEVATION
	INTERIOR ELEVATION
	VERTICAL ELEVATION
	PARTITION TYPE
	STRUCTURAL CENTERLINE
PROJECT LOCATION MAP	
STRUCTURAL ENGINEER:	
ENGINEERING DESIGN PROFESSIONALS P.O. BOX 575 FREEPORT, MAINE 04032	
BUILDING PERMIT SET	



GRANT HAYS ASSOCIATES

ARCHITECTURE & INTERIOR DESIGN
P.O. BOX 6179 FALMOUTH MAINE 04103
207.871.5900 www.granthays.com



REVISION 12.29.2015

PROJECT NAME

3 UNIT APARTMENT BUILDING
162 EASTERN PROMENADE
162 EASTERN PROMENADE L.L.C.
162 EASTERN PROMENADE
PORTLAND, MAINE 04101

SHEET

COVER SHEET

DATE 19 OCT 2015
SCALE 1/4"=1'-0"
DRAWN JAM/MFH
JOB NO. 150815
SHEET

AO
COPYRIGHT REPRODUCTION OR REVUE OF THIS DOCUMENT WITHOUT WRITTEN PERMISSION FROM GRANT HAYS ASSOCIATES IS PROHIBITED.