VB Combustible/Unprotected/Sprinkled

1 hour (1/2 hour if fully sprinkled) at walls and floors

maximum per structure/building, and fully sprinkled

2; except 1 per Unit if less than 20 occupants per Unit, 4 Units

3,000 sf maximum (unlimited if fully sprinkled)

Add 1 Story/20' and add 14,000 sf

1 hour (½ hr if fully sprinkled)

1 hour (½ hour if fully sprinkled)

75' (125' if fully sprinkled)

200' (250' if fully sprinkled)

Same as NFPA 101

Not Required

44" / 36" if less than 50 occupants

44" / 36" if less than 50 occupants

Required (NFPA 13R, Monitored)

Interconnected within units

Not Required; except by AHJ

STC 50 at units

Not Required in Units

Required @ egress areas

Required @ living & sleeping areas & storage

Class B minimum (Class C if fully sprinkled)

100 psf (except 80 psf @ upper floor corridors)

2 Story/40'

7,000 sf

None

NFPA 101 Life Safety Code - 2012 Edition

Building Classification Construction Type: Hazard Classification: Occupant Loads: **Dwelling Unit Separation Floors** Janitor, Mech, Stor Rating: Exit Stair Rating: Minimum Stair width: Maximum Riser height Minimum Tread width: Minimum Headroom: Maximum ht between landings: Guardrail Height: Handrail height: Handrail top extension: Handrail bottom extension Handrail diameter:

Max. Allowable Travel Distance: Max. Allowable Common Path: Max. Allowable Dead End Corridor Minimum Egress Corridor Width: Minimum Number of Required Exits Minimum Horz Egress Enclosure rating: Separation of exits Panic Hardware Minimum Egress Door Width: Exit Lighting: Emergency Lighting Fire Sprinkler System:

Maximum baluster open space:

Carbon Monoxide Detectors Classification of Finishes

Smoke Detector/Alarms:

Fire Alarm System: Portable Fire Extinguishers Chapter 30 - New Apartments (5,500 Gross sf) (3) 2 & 3-Bedroom Units V (000) Class B - Ordinary Hazard

Residential 200 sf/occ. @ 5,175 sf net = 26 occ. 1 hour (none within unit if under 12sf) 1 hour - 3 Stories or less 36" - less than 50 occupants 6'-8" at stairs; 7'-6" at occupied spaces 12'-0"

34-38" 12" horz. 11" angled + 12" horz. 1-1/4" O.D. less than 4"

100' (200' if fully sprinkled) Unit to Stair Enclosure 75' (125' if fully sprinkled) within Unit to exit door 35' (50' if fully sprinkled) 35' (50' if fully sprinkled) 44" / 36" if less than 50 occupants 2 at each floor/unit; 1 if sprinkled and per 30.2.4.6 1 hr. (1/2 hour if fully sprinkled) 0.5 the diagonal distance (.33 if fully sprinkled) Required if over 50 total occupants 36" (32" clear) Self-closing at rated assembly Not Required (less than 11 units) Required - NFPA 13R Not Required (less than 11 units) Not Required (less than 11 units) Required at all sleeping & living areas

Required at all egress areas & common areas Required outside of sleeping rooms and a fuel-burning Class A at Exit Enclosures Class A or Class B at Lobbies and non-rated

(inter-connected within dwelling unit)

CONTRACTOR'S WORK.

CONSTRUCTION CRITERIA

PORTLAND, MAINE International Building Code - 2009 Edition

Use Group Classification

Residential (R-2) 5,500 gross sf (3) 2 & 3 Bedroom Units Residential 200 sf/occ. @5,175 net sf = 26 Occupant Loads: Tenant Separation Party Walls/Floors: 1 hour (½ hour if sprinkled)

Janitor, Mech & Storage Rooms: Building Limitations Construction Type: Maximum Height: Maximum Area / Floor:

Height/Area Sprinkler Increases Fire Resistance Design Criteria Load Bearing Exterior Walls: Load Bearing Interior Walls: Floor/Roof Structure: Fire Separation Exits (Stairs): **Dwelling Unit Separations:** Exit Corridors:

Attic Draftstop Area:

Minimum Number of Exits: Maximum Dead End Corridor Length: Maximum Common Travel Path: Maximum Exit Travel Distance: Minimum Stair/Corridor Width: Maximum Riser Height: Minimum Tread Depth: Minimum Ramp Width: Maximum Ramp Pitch: Handrails & Guardrails: Minimum Ceiling Height: Fire Alarm System:

Smoke Detection/Alarm System: Exit Lighting: Emergency Lighting: Portable Fire Extinguishers Finish Surfaces Classification: Wall/Floor Separation Acoustic Rating:

Building Live Loads

Fire Sprinkler System:

2009 INTERNATIONAL ENERGY EFFICIENCY CODE (IECC)

MUBEC (Maine Uniform Building Energy Code) MINIMUM INSULATION VALUES Per 2009 IECC; Table 502.1.2, 502.2(1) and 502.3 Commercial Residential Use

ZONE 6A	R-VALUE	U-FACTOR	SHGC
Exterior wall	13 + 7.5 (ci)	0.064	NA
Roof (ci)*	20.0	0.049	NA
Attic*	38.0	0.026	NA
Floor Joists	30.0	0.033	NA
Slab (24" band)	15.0	0.067	NA
Frost Wall (ci)	7.5	0.133	NA
Doors - Opaque 1.82	0.55	NA	
Windows	2.86	0.35	0.40
Storefront (door)	1.25	0.80	0.40

*Utilize one location (ci) = continuous insulation

162 EASTERN PROMENADE

PORTLAND, MAINE 04101

3 UNIT APARTMENT BULDING

162 EASTERN PROMENADE STREET •

REINF REQ'D RM

GENERAL CONTRACTOR

REQUIRED

PORTLAND, MAINE

162 EASTERN PROMENADE L.L.C.

CBL: 003 - A007001 ABBREVIATIONS GENERAL NOTES MATERIALS SYMBOLS CONCRETE I, ALL WORK SHALL CONFORM TO LOCAL AND STATE LAWS, ORDINANCES AND PREVAILING EDITIONS OF ADOPTED BUILDING CODES. SOUTH SUSPENDED ACOUSTICAL IT IS THE CONTRACTOR'S RESPONSIBILITY TO SECURE ALL PERMITS FOR WORK, ABOVE FINISH FLOOR 101 HANDICAP ROOM NUMBER HC HD WD ALUM or AL HARDWOOD CONCRETE MASONRY UNIT HDR HDWE ACOUSTICAL WALL PANEL HEADER 10 DOOR NUMBER SHOWER CURTAIN 2. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO COMMENCING THE WORK AND REPORT ANY HOLLOW METAL HORIZONTAL HEIGHT SOAP DISPENSER BENCH MARK BOTTOM DISCREPANCIES TO THE ARCHITECT, CONTRACTOR SHALL PROCEED WITH THE WORK ONLY AFTER SUCH DISCREPANCIES HAVE BEEN SCHEDULE WINDOW NUMBER SECTION SUSPENDED GYPSUM RESOLVED BY THE ARCHITECT. CONTRACTOR SHALL ALLOW A 48 HOUR TIME FRAME FOR RESOLVING DISCREPANCIES ONCE THE BEARING GRAVEL ARCHITECT HAS ACKNOWLEDGED THE CONDITION. BOARD CEILING INSIDE DIAMETEI BUILDING SECTION INSIDE FACE INCHES INSUL INT INSULATION SANITARY NAPKIN DISPOSAL 3, THE CONTRACTOR SHALL REVIEW AND VERIFY ALL EXISTING CONDITIONS PRIOR TO STARTING THE WORK IN ANY GIVEN AREA. CHALK BOARD INTERIOR SPECIFICATIONS WALL SECTION SYNTHETIC SPORTS SURFACE JNT or JT JOINT STUD PARTITION (EXISTING) 4. WORK WITH GIVEN DIMENSIONS AND LARGE SCALE DETAILS. DO NOT SCALE THE DRAWINGS AS THE REPRODUCTIVE PROCESS KITCHEN EQUIPMEN CONSULTANT TENDS TO DISTORT THE ACCURACY OF THE GRAPHIC SCALE INDICATED. STRUCTURAL KICK PLATE STRAIGHT VINYL BASE CASEWORK ELEVATION CONCRETE MASONRY UNIT SHEET VINYL 5. ALL CONSTRUCTION ACTIVITIES SHALL BE PERFORMED IN A NEAT, SAFE, AND CLEAN MANNER. ALL CONSTRUCTION WASTE SHALL LAVATORY ><WOOD FRAMING TEMPERED (GLASS) LABEL (FIRE) BE REMOVED FROM THE BUILDING. SITE BURNING IS NOT ALLOWED. LEAVE WORK AREA IN A CLEAN, SAFE CONDITION AT THE END INTERIOR ELEVATION OF EACH WORK DAY. LOCATION THERMAL (INSULATED) WOOD BLOCKING -VERTICAL ELEVATION DOUBLE DOOR CLOSER TOP OF BEAM 6. ALL CONSTRUCTION DEBRIS SHALL BE DISPOSED OF AT AN APPROVED OFF-SITE FACILITY IN COMPLIANCE WITH ALL REGULATIONS. MASONRY TOP OF MASONRY PLYWOOD MAXIMUM \triangleright PARTITION TYPE TOILET PAPER DISPENSER DIMENSION MARKER BOARD 7. ALL WOOD IN CONTACT WITH MASONRY OR CONCRETE SHALL BE PRESSURE TREATED. MECHANICAL GYPSUM BOARD STRUCTURAL CENTERLINE MANUFACTURER VAPOR BARRIER VINYL COMPOSITION TILE 8. ALL CEILINGS SHALL BE LEVEL TO TO A TOLERANCE OF 1/8" IN A 20'-0" RADIUS WHEN CHECKED WITH A 10' STRAIGHT EDGE. MISCELLANEOUS SUSPENDED ACOUSTICAL TILE MASONRY OPENING VINYL WALL COVERING MOP OPENING MOISTURE RESISTANT 9. INSTALL SOLID BLOCKING AT WALL FRAMING BEHIND ALL SURFACE MOUNTED FIXTURES, TRIM AND HANDRAILS. EACH FACE EXPANSION JOINT GYPSUM BOARD BATT INSULATION WATER CLOSET IO, ALL GRAB BARS AND HANDRAILS SHALL BE ABLE TO SUPPORT A DEAD WEIGHT OF 250 LBS, AT ANY POINT, RIGID INSULATION NOT APPLICABLE WATER FOUNTAIN NOT IN CONTRACT II. THESE ARCHITECTURAL DRAWINGS WERE PREPARED FOR THE OWNER AS PART OF AN ABBREVIATED SERVICES AGREEMENT, AND AS WOOD PANELING NOMINAL FINISH WOOD SUCH, DO NOT DELINEATE ALL ASPECTS OF THE WORK. ELECTRIC WATER COOLER EWC EXIST OF (E) Q 162 Eastern Promenade ONE HOUR RATED PARTITION 12. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF ALL ASPECTS OF THE WORK INCLUDING, BUT ON CENTER OUTSIDE DIAMETER EXTERIOR NOT LIMITED TO MECHANICAL AND ELECTRICAL DESIGN-BUILD ENGINEERING DISCIPLINES AND TRADES. OUTSIDE FACE 0 0 TWO HOUR RATED PARTITION OPENING OPPOSITE FLOOR COATING SYSTEM FLOOR DRAIN 13. THE LOCATION OF ANY DOOR JAMBS NOT DIMENSIONED SHALL BE 6" FROM ADJACENT PERPENDICULAR WALL. EXISTING PARTITION (SCREENED) PAINTED PANIC BAR 14. ALL WALL PARTITIONS SHALL EXTEND FLOOR TO STRUCTURE ABOVE, UNLESS OTHERWISE NOTED. NEW PARTITION PLYWOOD 15. ALL NEW SHEETROCK IN WET AREAS SHALL BE MOISTURE-RESISTANT TYPE, UNLESS OTHERWISE NOTED. PASSAGE LATCH SE PRESSURE TREATE PAPER TOWEL & WASTE DISPENSER OWNER 16. ALL INTERIOR WALLS SHALL HAVE FULL-1HICK ACOUSTICAL BATT INSULATION UNLESS NOTED OTHERWISE. 17, THE OWNER SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL HAZARDOUS MATERIALS PRIOR TO THE COMMENCEMENT OF THE GALGE GALVANIZED REFRIGERATOR 162 EASTERN PROMENADE L.L.C.

18. REFER TO THE ACCESSIBILITY DETAILS FOR AMERICANS WITH DISABILITIES ACT (ADA) AND MAINE HUMAN RIGHTS ACT (MHRA)

DRAWING INDEX A-O COVER SHEET-CODE ANALYSIS A-I MOODY STREET ELEVATION A-2 WEST SIDE ELEVATION A-3 EASTERN PROMENADE & NORTH SIDE ELEVATION A-4 BASEMENT PLAN A-5 FIRST FLOOR PLAN A-6 SECOND FLOOR PLAN A-7 1HIRD FLOOR PLAN A-8 BUILDING SECTIONS A-9 BUILDING SECTIONS A-10 DETAILS & SECTIONS A-II DETAILS & SCHEDULES S-I DETAILS, SECTIONS & NOTES 5-2 FOUNDATION PLAN S-3 IST FLOOR FRAMING PLAN 5-4 2ND FLOOR FRAMING PLAN 5-5 3RD FLOOR FRAMING PLAN 5-6 ROOF FRAMING PLAN PROJECT LOCATION MAP STRUCTURAL ENGINEER: ENGINEERING DESIGN PROFESSIONALS P.O. BOX 575 FREEPORT, MAINE 04032

GRANT HAY

ASSOCIATES ARCHITECTURE & INTERIOR DE/IGN

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∫EAL

REVI/ION/

PROJECT MAME

ADE

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APA

13 OCT 2015

1/4"=1'-0"

JAM/MFH

150815

BUILDING PERMIT SET

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