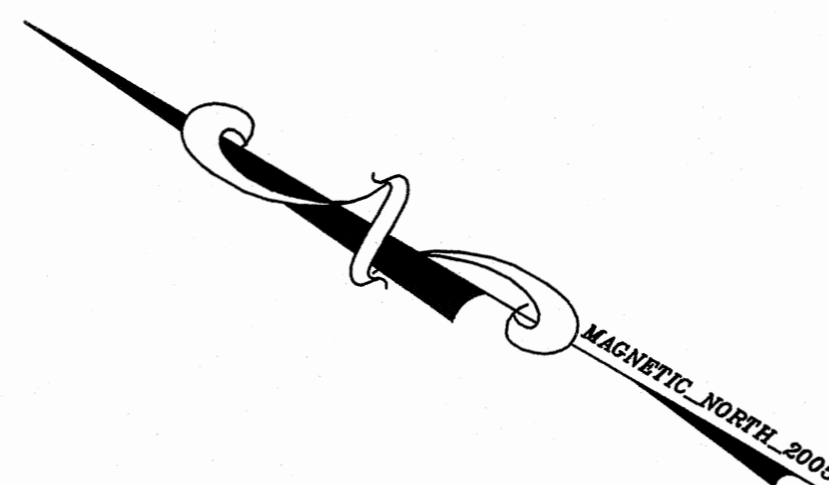
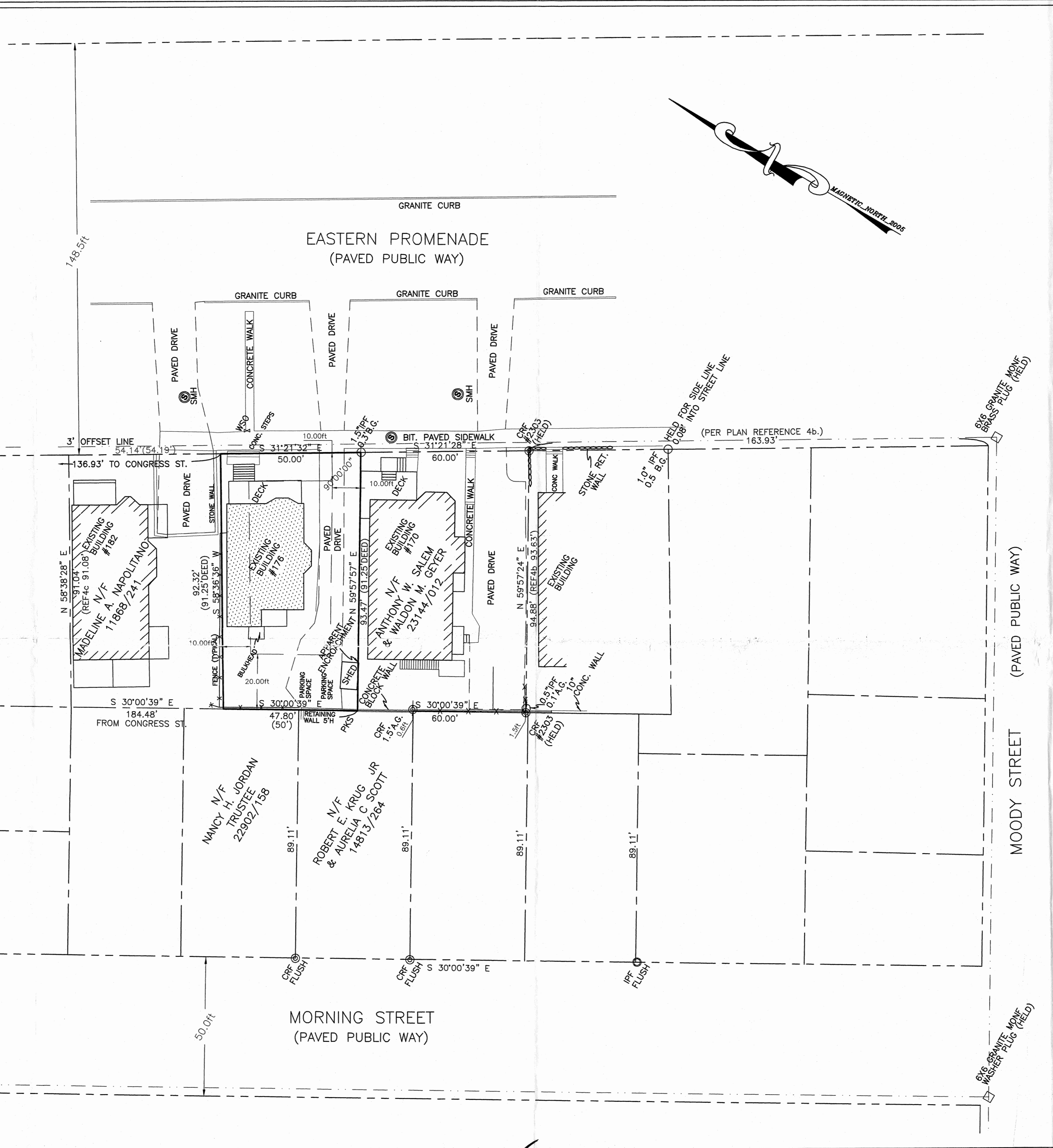
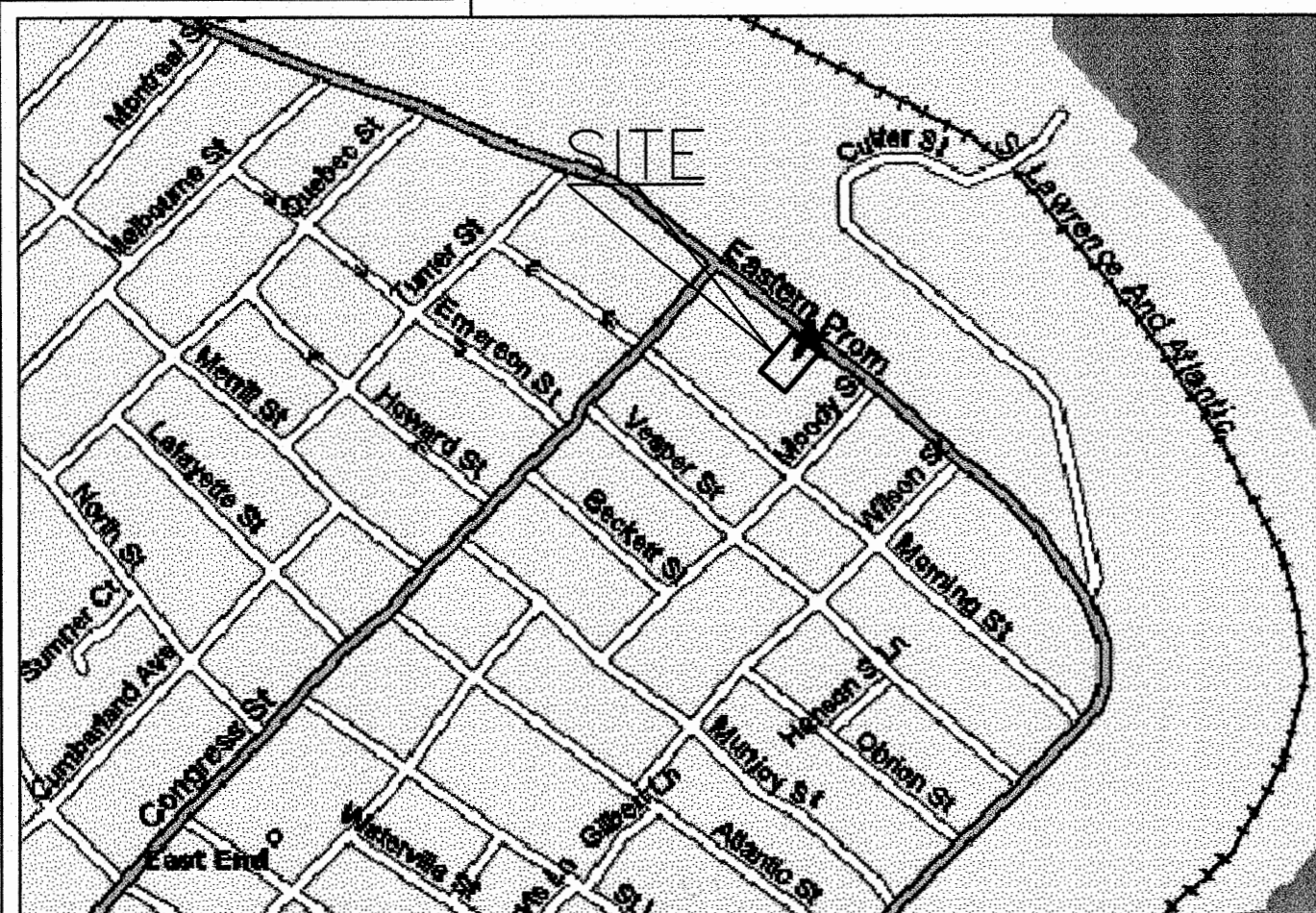


SITE LOCATION MAP:



GENERAL NOTES:

- RECORD OWNER OF PARCEL: ANTHONY W. SALEM & WALDON M. GEYER, DESCRIBED IN BOOK 24552, PAGE 116 AS RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS (C.C.R.D.).
- BEARINGS ARE BASED UPON PLAN REFERENCE 4a. THIS SURVEY, 06/21/2007, WAS MADE UTILIZING THE FOLLOWING EQUIPMENT: LIETZ SOKKISHA SET 4 TOTAL STATION, LIETZ SDR 33 DATA COLLECTOR.
- AREA OF SUBJECT PARCEL: 4,541.7 SQ. FT. SQ. FT., 0.10 ACRES
- REFERENCE IS MADE TO THE FOLLOWING PLANS:
 - PLAN ENTITLED "PROMENADE ESTATES CONDOMINIUM, AT 108 AND 172 EASTERN PROMENADE, PORTLAND, MAINE, FOR CASCO BAY VENTURES, INC.," DRAWING NUMBER 2005111, BY BACK BAY BOUNDARY, INC., REVISED FEBRUARY 23, 2007.
 - OCEAN VIEW CONDOMINIUM, 166-168 EASTERN PROMENADE, PORTLAND, MAINE, FOR JOHN A MCINTOSH JR., DATED 12/27/1982, BY WELLS ENGINEERING, INC., CE, RECORDED IN C.C.R.D. U.O.FILE #96-1.
 - PLAN OF LAND FOR DRAPER DEVELOPMENT, 188 EASTERN PROMENADE, PORTLAND, MAINE, MADE BY DELTA ENGINEERING, INC., DATED 12/17/1987, RECORDED IN C.C.R.D. PLAN BOOK 168, PAGE 23.
 - CITY OF PORTLAND STREET DEFINITION PLAN, EASTERN PROMENADE.
 - CITY OF PORTLAND STREET DEFINITION PLAN, MORNING STREET.
 - CITY OF PORTLAND STREET DEFINITION PLAN, CONGRESS STREET.
- ELEVATIONS ARE BASED UPON A VALUE OF 121.94 FT AT MONUMENT AT INTERSECTION OF 3' OFFSET LINES FOR EMERSON STREET AND 10' OFFSET LINE FOR CONGRESS STREET (PER PLAN REFERENCE 4a).
- THERE WERE NO APPARENT EASEMENTS OR RESTRICTIONS BURDENING OR BENEFITING SUBJECT PROPERTY AT THE TIME OF THIS SURVEY.

ZONING:

ZONE: R-6 RESIDENTIAL ZONE
 SETBACKS: FRONT - 10 FT (< AVERAGE OF ABUTTER LOTS)
 REAR - 20 FT
 SIDE - 1-3 STORIES - 10 FT; 4 STORIES - 12 FT
 MINIMUM LOT SIZE: 4500 SQ FT
 MINIMUM LOT WIDTH: 50 FT
 MAXIMUM BUILDING HEIGHT: 45 FT
 MAXIMUM LOT COVERAGE: 40%

FLOOD NOTE:

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE C OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 230051 14B, WHICH BEARS AN EFFECTIVE DATE OF JUL 17, 1986, AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.

LEGEND:

- MONF □ 3' Offset Monument Found 12345/99 Deed Book/Page of Local Registry
- RBF ● Rebar Found (50.00') Distance from reference plan or deed.
- CRF ⊙ Capped 5/8" Rebar Found Owen & Haskell or as noted
- IPF ○ Iron Pipe Found N/F Now Or Formerly
- SM ⊙ Sewer Manhole FFE First Floor Elevation
- Abutter Line
- Property Line
- Street Line
- 3' Offset Line
- Edge of Traveled Way
- Setback Line

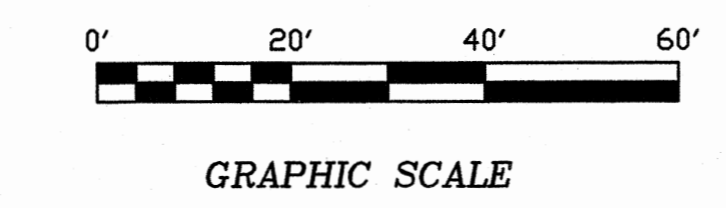
EXISTING CONDITIONS SITE PLAN
 AT 176 EASTERN PROMENADE, PORTLAND, MAINE
 FOR: CASCO BAY VENTURES

REVISIONS:

LOCATION: 176 EASTERN PROM, PORTLAND, MAINE

STATE OF MAINE, CUMBERLAND SS
 REGISTRY OF DEEDS

RECEIVED 2007
 AT : H .M. AND RECORDED IN
 PLAN BOOK PAGE



Signature

CERTIFICATE:

I HEREBY CERTIFY THAT THIS SURVEY CONFORMS TO THE MAINE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS' STANDARDS OF PRACTICE AS ADOPTED APRIL 01, 2001 WITH THE FOLLOWING EXCEPTIONS:

- NO WRITTEN REPORT
- NO NEW DESCRIPTION

ROBERT T. GREENLAW P.L.S., #2303
 V. PRESIDENT BACK BAY BOUNDARY, INC. DATE: JULY 2, 2007

PREPARED BY:
BACK BAY BOUNDARY, INC.
 LAND SURVEYING

643 FOREST AVENUE
 PORTLAND, MAINE 04101
 207-774-2855 FAX 207-347-4346

DRAWN BY: PJM
 CHECKED BY:
 SCALE: 1" = 20'
 SURVEY DATE: 06/21/2007
 JOB NUMBER: 2007070
 SHEET: 1 OF 6 REV. 2
 DRAWER: 2007 NO: 070